CITY OF DALY CITY

Regular Meeting - CITY COUNCIL

AGENDA

Monday, March 11, 2019 - 7:00 PM
City Hall Council Chambers – 2nd Floor
333 – 90th Street, Daly City, CA 94015

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

For those wishing to address the City Council on any Item on the Agenda or under Public Appearances/Oral Communications, please complete a Speaker Card located at the entrance to the Council Chambers and submit to a Staff Member as early in the meeting as possible.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should call the office of the City Clerk at 991-8078 as soon as possible.

CALL TO ORDER:

PLEDGE TO THE FLAG:

ROLL CALL:

PRESENTATIONS:

2019 Philippine Exchange Training Program (Captain Gamez and Lieutenant Fox, Daly City Police Department)

Certificates of Appreciation for Captain John Gamez, Lieutenant Matthew Fox and Lieutenant Eric Quema (Ret.)

Proclaiming March Women's History Month in Daly City (Aileen Cassinetto, Poet Laureate of San Mateo County)

APPROVAL OF MINUTES:

Regular Meeting of February 25, 2019

APPROVAL OF AGENDA:

AVAILABILITY OF PUBLIC RECORDS:

All public record to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

CONSENT AGENDA

All items listed on the Consent Agenda are considered to be routine and may be approved by one roll call vote of the City Council. There shall be no separate discussion of the matters on the Consent Agenda unless requested by a member of the City Council. If discussion is required, that item will be removed from the Consent Agenda and will be considered separately at the end of the Agenda.

Resolutions:

1. Requesting the Use of State Asset Forfeiture Funds to Proceed to Phase III and Phase IV with CDX Wireless for the Digital Radio System Implementation

2. Requesting Use of Federal Asset Forfeiture Funds (DEA) to Purchase Replacement Ballistic Load Bearing Vests for the Daly City Police Department

3. Authorizing Professional Services Agreements for the Preparation of Plans and Specifications for the 2018-19 Street Resurfacing and the 2019-20 Street Resurfacing projects.

4. Amend Traffic Regulations to: (1) Install street sweeping signs along the north side of Partridge Avenue, west of Rio Verde Street (TSR 19/41); (2) Remove an existing 23 ft. No Parking (Red) zone in front of 6160 Mission Street and install 2-hour parking meter (TSR 19/44); and (3) Remove existing red tips at driveway in front of 6160 Mission Street and install a 2-hour parking meter (TSR 19/45).

5. Setting Time and Place for a Public Hearing to Require Additional Building Material Survey Prior to Demolition of Selected Buildings that Potentially Contain Polychlorinated Biphenyls (PCBs)

6. Pre-Appropriate Funds and Resolution Authorizing the City Manager to Execute a Professional Services Agreement with MIG Consultants for the Development of the American Disability Act (ADA) Self-Evaluation and Transition Plan

7. Requesting Use of Federal Asset Forfeiture Funds (DEA) to Purchase a TruNarc Handheld Narcotics Analyzer for the Daly City Police Department

8. Second Extension of Exclusive Negotiating Agreement between the City of Daly City and Equity Residential for the Property at 6401 Mission Street

Authorizing Budgetary Adjustments:

9. Appropriating Funds for Contractual Services in the Building Division

END OF CONSENT AGENDA

COMMUNICATIONS:

10. Remove Crosswalk at Santa Barbara Avenue at Theta Avenue (TSR 18/54).

Staff:
Chan
Recommended Action:
Adopt Resolution
Roll Call

AWARD OF BIDS/CONTRACTS:

11. Award of Construction Contract for ADA Curb Ramps 2018-19 Project

Staff:
Yip
Recommended Action:
Adopt Resolution
Roll Call

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

NOTE: Speakers are limited to two minutes, unless modified by the Mayor. The Council cannot take action on any matter raised under this item

APPOINTMENTS: Board/Commission Membership Committee Appointments

REPORTS:

12. Council Committee

A Council Committee Meetings Feb. 25-Mar. 10, 2019

13. City Council

14. Staff

ADJOURNMENT:

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
February 25, 2019

To view videos of the City Council meetings, visit http://yt.vu/+dalycitycouncil

The meeting was called to order by Mayor Buenaventura at 7:00 P.M.

ROLL CALL: Councilmembers Present:

Raymond A. Buenaventura, Mayor
Glenn R. Sylvester, Vice Mayor
Roderick Daus-Magbual
Pamela DiGiovanni
Juslyn C. Manalo

Staff Present:

Shawnna Maltbie, City Manager
Rose L. Zimmerman, City Attorney
K. Annette Hipona, City Clerk

PRESENTATIONS:

Daly City Firefighters Local 1879 – Scholarship Program (Nick Gracia, President)

Nick Gracia, President of Daly City Firefighters Local 179 presented Natalie Spinetti a $1000 scholarship.

SFO Airport Development Plan (Doug Yakel, SFO Spokesperson)

SFO representative Doug Yakel presented the SFO Airport Development Plan.

APPROVAL OF MINUTES:

Regular Meeting of February 11, 2019

It was moved by Vice Mayor Sylvester, seconded by Councilmember DiGiovanni and carried to approve the minutes of February 11, 2019.

CONSENT AGENDA:

Councilmember DiGiovanni asked to remove item #4 for further discussion. It was moved by Vice Mayor Sylvester, seconded by Councilmember Manalo and carried to approve the amended consent agenda.

Resolutions:

Approval of 2018 Amendments to the Water Supply Agreement and Authorization of City Manager to Execute the Agreement

Resolution 19-25, Approving Amendments to the Water Supply Agreement Between the City and County of San Francisco and Wholesale Customers in Alameda County, San Mateo County, and Santa Clara County

Completion of City Council Adopted Reorganization Plan (Department of Water and Wastewater Resources) and Reclassification

Resolution 19-26, Approving Reclassification of Lead Plant and Equipment Maintenance Mechanic to Plant and Equipment Maintenance Supervisor in Range U-065 of the Miscellaneous Unrepresented Salary Schedule

Commending Victor Cabatic on the Occasion of His Retirement

Resolution 19-27, Commending Victor Cabatic on the Occasion of His Retirement

Implementation of a Pilot Hiring Incentive Program for the Daly City Police Department

Police Captain Cameron Christensen presented the details of a pilot incentive program for hiring and recruiting police officers.

It was moved by Vice Mayor Sylvester, seconded by Councilmember Daus-Magbual and carried to approve the following resolution:

Resolution 19-28, Implementing A Pilot Hiring Incentive Program for the Daly City Police Department

Setting Time and Place for a Hearing on Zoning Text Amendment ZC-9-18-13672, Amending the Zoning Ordinance to Exempt Certain Ancillary Uses from the Parking Requirement for Assembly Uses (Churches)

Resolution 19-29, Setting Time and Place of Public Hearing Regarding Zone Text Amendment ZC-9-18-13672

Check Registers for the month of January 2019

END OF CONSENT AGENDA

COMMUNICATIONS:

Use Permit UPR-12-18-13791 – Sign Program Amendment for 2001 Junipero Serra Boulevard (DC Station Office Building)

Planning Manager Michael Vanlonkhuysen discussed the sign program amendment requested by the owners of the DC Station Office Building (2001 Junipero Serra Blvd) to allow for four types of exterior building tenant signs.

It was moved by Vice Mayor Sylvester, seconded by Councilmember DiGiovanni and carried to approve the following resolution by unanimous roll call vote:

Resolution 19-30, Adopting Findings of Fact and Imposing Conditions of Approval on Use Permit UPR-12-18-13791 For Sign Program Amendment (2001 Junipero Serra Boulevard, Daly City, California) (DC Station Office Building)

Use Permit UPR-12-18-13808 – Conversion of Service Commercial Use to Residential Studio Apartment at 75 Pueblo Street (Permit Renewal)

Planning Manager Michael Vanlonkhuysen provided details of the applicant's request to reapprove an expired permit to convert part of a commercial building to a residential studio apartment.

It was moved by Councilmember Manalo, seconded by Councilmember Daus-Magbual and carried to approve the following resolution by unanimous roll call vote:

Resolution 19-31, Adopting Findings of Fact and Imposing Conditions of Approval on Use Permit (UPR-12-18-13808), to Convert a Commercial Building to Mixed-Use (75 Pueblo Street, Daly City, California)

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

Resident Ronnie Miller expressed gratitude to Council and staff for the prompt replacement of the broken fire hydrant in her neighborhood.

REPORTS:

City Council Committee:

C/CAG (Daus-Magbual)
Mosquito Vector Control District (Sylvester)
Council of Cities (Sylvester, DiGiovanni)
Commute.org (DiGiovanni)
CAFÉ (Center for Age Friendly Excellence) (Sylvester)

City Council:

Councilmember Manalo attended the following events: Black History Month, Walkabout Program, Fiftieth Commemoration of the Third World Liberation Front Strike, Journey for Justice - the Life of Larry Itliong Book Tour (attended by all Councilmembers), and the Southwest Chinese Lunar New Year Parade.

Vice Mayor Sylvester reported attending the Doelger Senior Center Supporters Crab Feed.

ADJOURNMENT:

The meeting was adjourned in memory of Jeff Adachi, Edward Only, Maximo Romani, and George David Hana at 8:22 PM.

_____
City Clerk

Approved as submitted, this 11th

day of March, 2019.

_____
Mayor

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: **Requesting the Use of State Asset Forfeiture Funds to Proceed to Phase III and Phase IV with CDX Wireless for the Digital Radio System Implementation**

Recommended Action

Staff recommends Council approve the use of State Asset Forfeiture Funds to contract with CDX Wireless to complete Phase III and Phase IV of the upgrade from an analogue to a digital radio system.

Background

The Daly City Police Department currently uses an analog system as our radio communications platform. Public safety agencies are increasingly switching from analog to digital radio platforms. The Police Department already completed Phases I and II, which included a needs assessment study, cost considerations, and system evaluation of switching to a digital radio system platform. Phase III and Phase IV will include contract preparation and review, purchasing of equipment, implementation, and 180 days of monitoring and service after implementation.

Discussion

The Daly City Police Department is currently using the analog system for all radio communications within the City and County. Some of our surrounding public safety agencies are transitioning to digital radio systems (San Francisco Police Department) or have already transitioned to a digital system (San Mateo County Sheriffs Office). The Police Department is requesting we enter into the final contract with CDX Wireless as we implement the digital radio system.

Fiscal Impact

The total cost for Phase III and Phase IV (Final) is $32,600.00. No matching funds are required. This will be the final contract with CDX Wireless. Funding is available through State Asset Forfeiture Funds.

Summary/Conclusions

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

John Gamez
Captain

Patrick Hensley
Chief of Police

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Requesting Use of Federal Asset Forfeiture Funds (DEA) to Purchase Replacement Ballistic Load Bearing Vests for the Daly City Police Department

Recommended Action

Staff recommends Council approve the use of Federal Asset Forfeiture Funds to purchase ballistic load bearing vests for the Daly City SWAT Team.

Background

Daly City SWAT Team members are trained and expected to operate in dangerous environments. SWAT Team members are equipped with specialized ballistic vests, which per industry standards should be replaced every 5-years. The current vests were purchased in 2013 and need to be replaced.

Discussion

The Daly City SWAT Team is provided equipment that offers the greatest safety and protection considering the environment team members are expected to operate in. The ballistic vests they use provide top tier ballistic protection and coverage. The vests are also load bearing, allowing members the ability to carry additional operational and safety equipment that may be required in critical situations. The current ballistic load bearing vests were put into operation in May of 2013. As with all ballistic vests in law enforcement, the industry standard for guaranteed performance is five years. After the five years, the manufacturer will not support the item or guarantee ballistic performance due to potential Kevlar degradation resulting from rigorous use. As a result, the current vests need to be replaced to ensure proper service and safety of our members.

Staff identified the Aardvark Project 7 ballistic vest as the preferred replacement following testing and evaluation of several different vendors. While ballistic protection is similar amongst all vests, the Aardvark provided improved operational mobility while maximizing ballistic coverage.

Fiscal Impact

Funding is available using Federal Asset Forfeiture Funds (DEA). The one-time purchase price for the (20) Aardvark Project 7 vests will not exceed $55,000.

Summary/Conclusion

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Cameron Christensen
Captain #91

Patrick Hensley
Chief of Police

City Council Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Authorizing Professional Services Agreements for the Preparation of Plans and Specifications for the 2018-19 Street Resurfacing and the 2019-20 Street Resurfacing projects.

Recommended Action

Staff recommends that the City Council authorize the City Manager to execute agreements and any amendments, in an amount not to exceed $243,000.00 total, for professional services with CSG Consultants, Inc. of Foster City, California, to provide engineering design services for two resurfacing projects: the 2018-19 Street Resurfacing project and the 2019-20 Street Resurfacing project.

Background

The street resurfacing projects complement the City's annual street slurry seal program to help Daly City maintain one of the highest pavement condition index (PCI) of any jurisdiction in San Mateo County. Whereas the annual slurry seal program cost-effectively extends the useful life of streets in fair and good conditions, the resurfacing projects perform more extensive pavement rehabilitation work to restore streets that are in poor condition.

The 2018-19 and 2019-20 Street Resurfacing projects include pavement rehabilitation for streets located mostly within the Hillside and Serramonte neighborhoods respectively. The streets to be rehabilitated were selected through a comprehensive evaluation of the City's Pavement Management Program, recommendations from the Street Maintenance Division, coordination with other planned City projects and availability of funds.

The rehabilitation work will include base failure repair, asphalt concrete (AC) overlay, and other reconstruction treatment options as determined by the consultant during design. ADA curb ramps within the limits of work will be evaluated and if found to be deficient, will be reconstructed to meet current federal ADA requirements. Approximately two centerline miles of roadway will be restored with these two projects as shown on the attached location maps.

Discussion

Staff released a Request for Proposals (RFP) for pavement engineering services on January 11, 2019 to three firms selected from the City's 2018 General Engineering Services short list with expertise in pavement design. Three proposals were received for each project and a panel consisting of staff from the Public Works department evaluated the proposals on their technical merits. CSG Consultants was ranked first and recommended for both projects.

CSG Consultants, Inc. has provided pavement design services for the Town of Hillsborough, the City of Millbrae, the City of Sunnyvale and many other jurisdictions in the Bay Area. Reference checks were positive with municipalities expressing their desire to continue to contract with CSG Consultants for future pavement design work.

The scope of work under these professional services agreements includes the following:

- Coordinate with utility agencies to avoid potential construction delays and unnecessary disruptions to public services.
- Perform pavement condition surveys of each street section based on distresses concurrent with field testing.
- Collect core samples of street pavement sections.
- Perform pavement analysis and design services; and develop pavement rehabilitation recommendations.
- Prepare design plans, specifications, and estimates (PS&E).
- Provide bid and construction support services.
- Survey and design ADA curb ramps consistent with Federal guidelines.

Fiscal Impact

The professional services agreements provide for a not-to-exceed amount of $110,106 for the 2018-19 Pavement Resurfacing project and for a not-to-exceed amount of $111,582 for the 2019-20 Pavement Resurfacing project.

These not-to-exceed amounts reflect a 10% discount for professional services provided by CSG Consultants for design efficiencies resulting from the award of both projects concurrently.

The amount allocated in the FY 2018-19 Capital Improvement Projects Account 17-312-611 (2018-19 Pavement Resurfacing) and 17-312-612 (2019-20 Pavement Resurfacing) will fully fund these professional services contracts.

Summary/Conclusion

Staff recommends that the City Council authorize the City Manager to execute agreements and any amendments, in an amount not to exceed $243,000.00 total, for professional services with CSG Consultants, Inc. of Foster City, California, to provide design services for both the 2018-19 and the 2019-20 Street Resurfacing projects.

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Jimmy Fu
Civil Engineering Associate

Richard Chiu Jr.
Director of Public Works

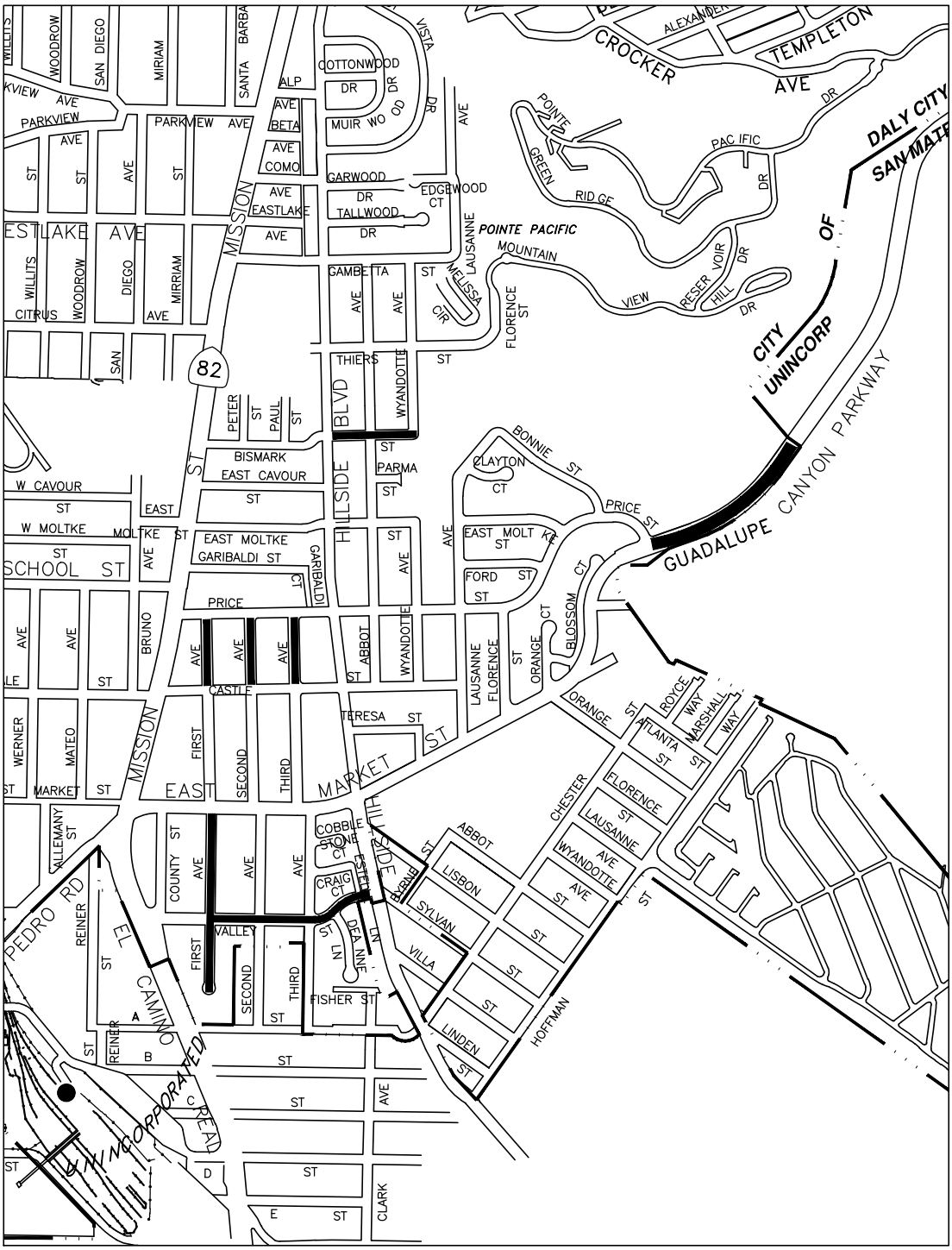
Attachment: Location Maps

CITY OF DALY CITY

SAN MATEO COUNTY, CALIFORNIA

PROJECT LOCATION MAP OF

2018-19 STREET RESURFACING
EXHIBIT A-1



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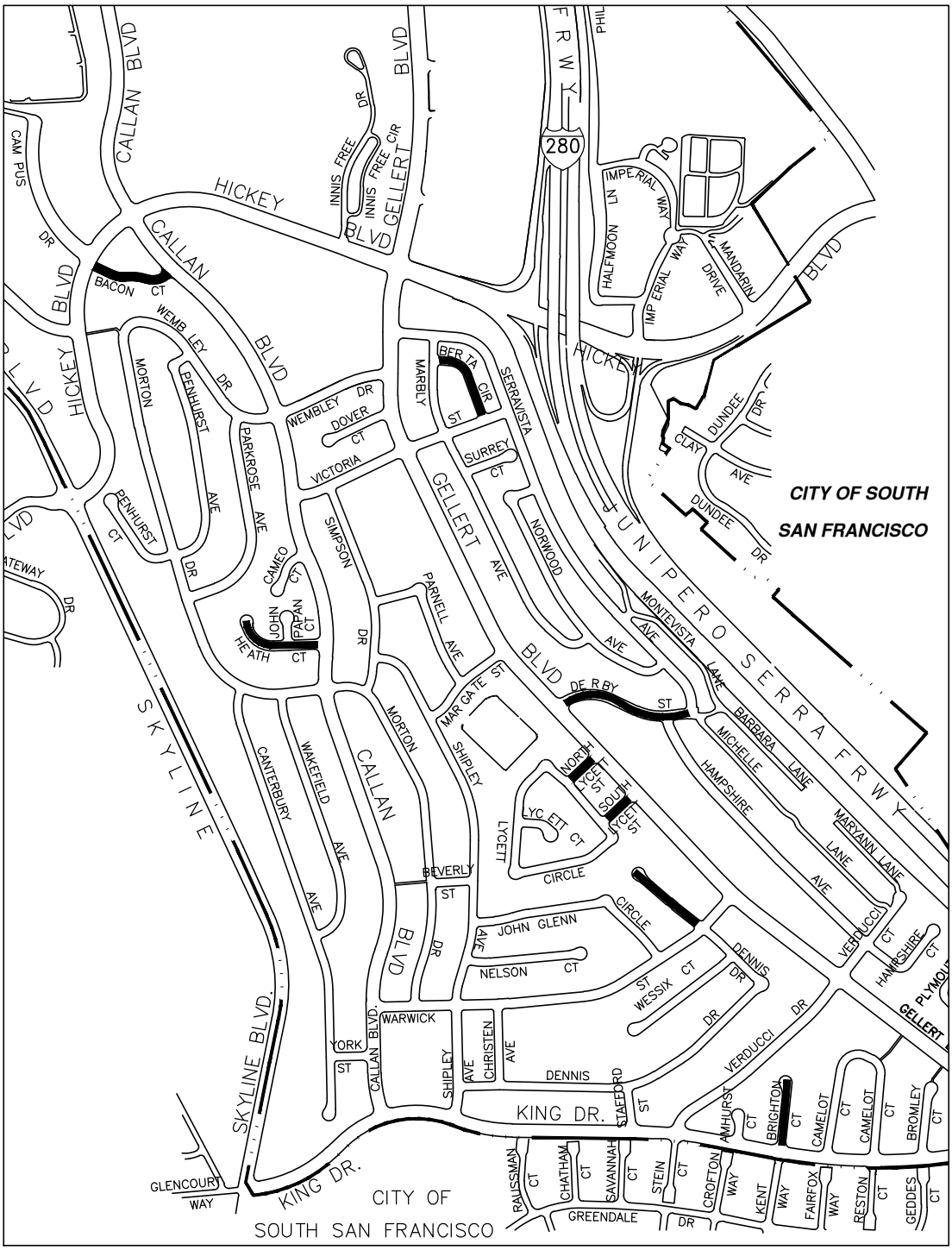
1" = 1000'-0"

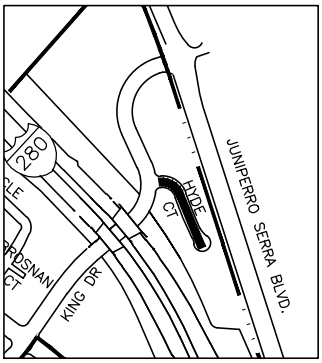
CITY OF DALY CITY

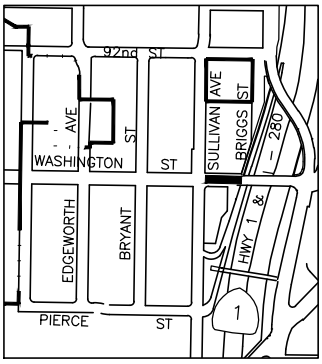
SAN MATEO COUNTY, CALIFORNIA

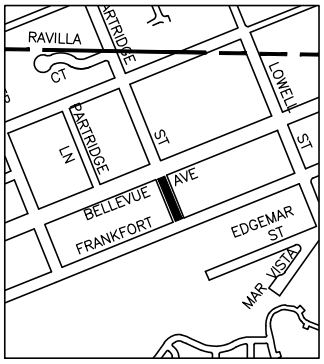
PROJECT LOCATION MAP

2019-20 STREET RESURFACING
EXHIBIT A-2









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1" = 1000'-0"

City Council Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: **Amend Traffic Regulations to: (1) Install street sweeping signs along the north side of Partridge Avenue, west of Rio Verde Street (TSR 19/41); (2) Remove an existing 23 ft. No Parking (Red) zone in front of 6160 Mission Street and install 2-hour parking meter (TSR 19/44); and (3) Remove existing red tips at driveway in front of 6160 Mission Street and install a 2-hour parking meter (TSR 19/45).**

Recommended Action

Recommend the City Council amend the City's traffic regulations as follows:

1. Install street sweeping signs along the north side of Partridge Avenue, west of Rio Verde Street. (TSR 19/41)

2. Remove an existing 23-ft. red zone in front of 6160 Mission Street and install a 2-hour parking meter. (TSR 19/44)

3. Remove existing red tips at the driveway in front of 6160 Mission Street and install a 2-hour parking meter. (TSR 19/45)

Background

On February 14, 2019, the City's Traffic Safety Committee met and reviewed various requests for traffic improvements, signage and pavement markings, and recommended that the City Manager proceed with amending the aforementioned traffic regulations.

Discussion

The amendments to the traffic regulations are recommended for the following reasons:

1. The north side of Partridge Avenue, west of Rio Verde Street, is not currently signed for street sweeping. It is recommended that parking be prohibited for the north side of Partridge Avenue, west of Rio Verde Street, on Tuesdays between 9:30 am – 11:30 am. These time restrictions are coordinated with the current street sweeping schedule along the north side of Partridge Avenue, east of Rio Verde Street.

2. Staff contacted the property owner to confirm that the red zone in front of the business is no longer needed. The removal of the red zone will create an additional parking space for the businesses and residents on Mission Street. It is also recommended that a 2-hour parking meter be installed for the new parking space, enforceable between 8am – 6 pm, Monday through Saturday, consistent with the metered parking spaces on the block.

3. The curb cut is no longer used for a driveway. The removal of the curb cut and red tips will create an additional parking space for the businesses and residents on Mission Street. It is also recommended that a 2-hour parking meter be installed for the new parking space, enforceable between 8am – 6 pm, Monday through Saturday, consistent with the metered parking spaces on the block.

Fiscal Impact

Funding is available for the proposed signs and/or markings in the Street Maintenance operating budget 01-314-330-4241 for the current Fiscal Year 2018-2019.

Summary/Conclusion

Recommend the City Council amend the aforementioned traffic regulations.

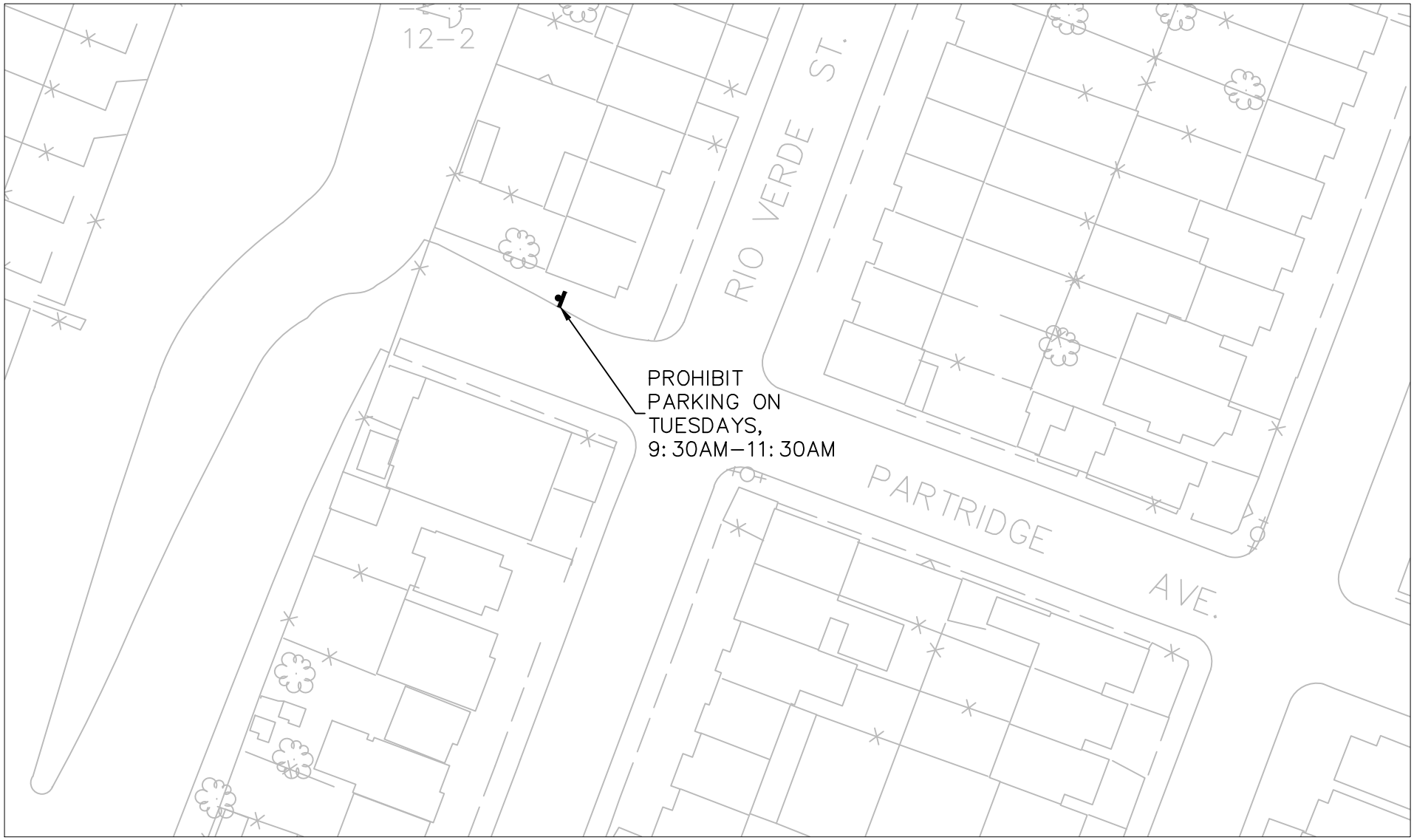
Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Shirley Chan
Traffic Engineer

Richard Chiu, Jr.,
Director of Public Works

Attachment: Traffic Improvements Location Maps



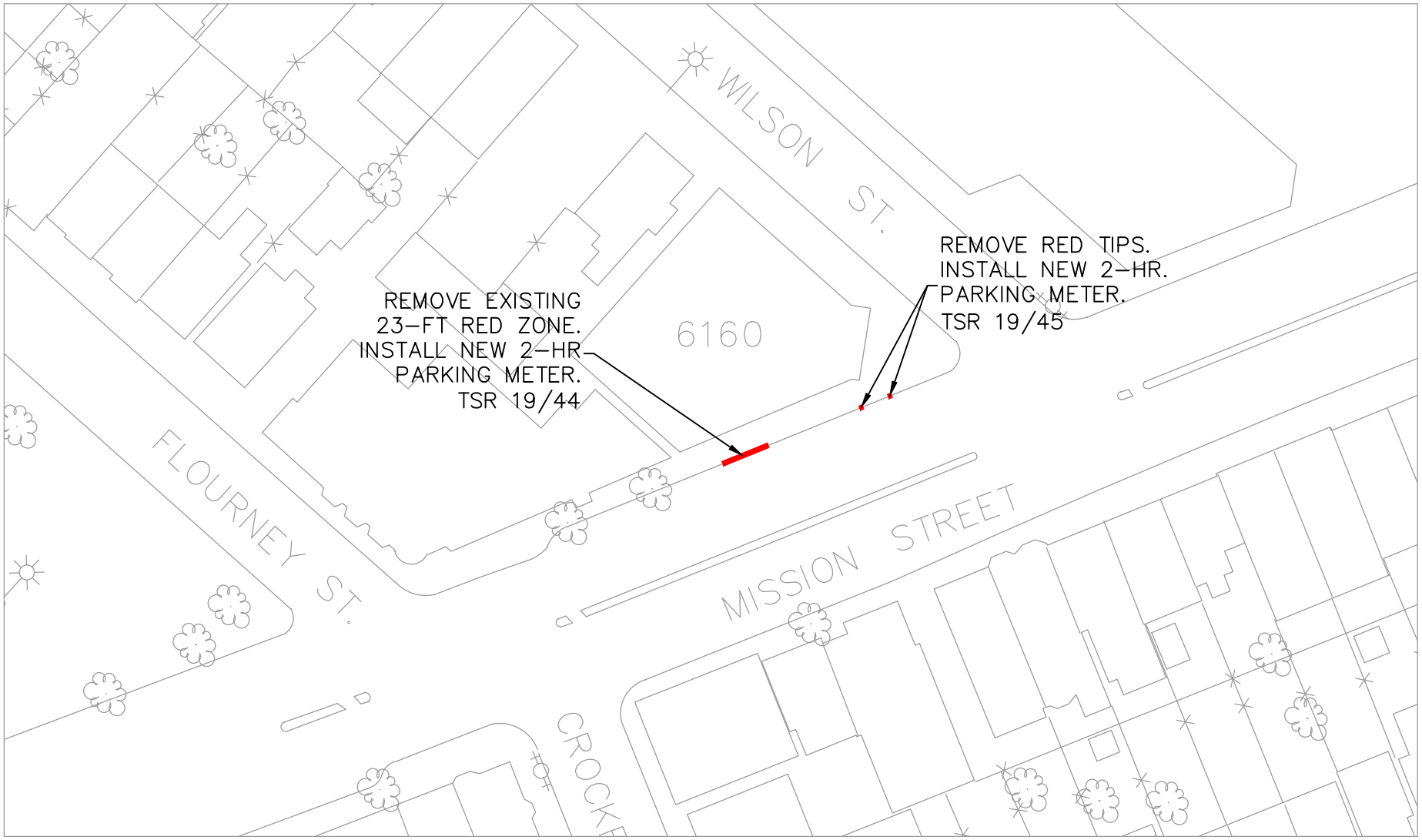
TSR 19-41

N.T.S.

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

TRAFFIC IMPROVEMENTS
PARTRIDGE AVE

DRAWN JQF	DATE 02/19	APPROVED _____ CITY ENGINEER	
CHECKED SCY	SCALE NTS	SHEET NO. 1 OF 1	TSR 19-41 DRAWING NUMBER
DESIGNED –	SURVEY NO.		REV.



TSR 19-44, 19-45

N.T.S.

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

TRAFFIC IMPROVEMENTS
6160 MISSION ST

DRAWN JQF	DATE 02/19	APPROVED _____ CITY ENGINEER	
CHECKED SCY	SCALE NTS	SHEET NO. 1 OF 1	TSR 19-44, 19-45 DRAWING NUMBER
DESIGNED –	SURVEY NO.		REV.

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: **Setting Time and Place for a Public Hearing to Require Additional Building Material Survey Prior to Demolition of Selected Buildings that Potentially Contain Polychlorinated Biphenyls (PCBs)**

Recommended Action

Set time and place for a Public Hearing on April 8, 2019 to add additional regulation to building demolition permits and to manage the disposal of building materials that potentially contain polychlorinated biphenyls (PCBs):

Background

This regulation targets selected building materials that may contain relatively high levels of PCBs, especially selected buildings that were constructed or remodeled from January 1, 1950 to December 31, 1980.

Certain building materials that contain high levels of PCBs such as caulking, thermal/fiberglass insulation, adhesive/mastic, and rubber window gaskets have been identified by appropriate regulatory agencies, including the U.S. Environmental Protection Agency (EPA), the San Francisco Bay Regional Water Quality Control Board (Regional Water Board), and/or the California Department of Toxic Substances Control (DTSC).

Urban stormwater runoff is considered a significant pathway for PCBs. PCB sources need to be identified and controlled to limit the levels of pollution entering the San Francisco Bay. Accordingly, regulatory agencies are requiring that Bay Area municipalities address sources of PCBs in stormwater runoff.

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Valentino J. Mandapat CBO
Chief Building Supervisor / Building Official

Tatum Mothershead
Director of Economic and Community Development

City Council Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: **Pre-Appropriate Funds and Resolution Authorizing the City Manager to Execute a Professional Services Agreement with MIG Consultants for the Development of the American Disability Act (ADA) Self-Evaluation and Transition Plan**

Recommended Action

It is recommended that the City Council pre-appropriate $165,000 from the FY 2019-20 approved CIP Budget for ADA Transition Plan and adopt a resolution authorizing the City Manager to execute a professional services agreement and any amendments with MIG Consultants of Berkeley, CA, in an amount not to exceed $200,000 for the development of the ADA Self Evaluation and Transition Plan.

Background

The Americans with Disabilities Act (ADA) enacted on July 26, 1990, provides comprehensive civil rights protections to persons with disabilities in the areas of employment, state and local government services, transportation, telecommunications and access to public accommodations.

In 1992, the City created an ADA Transition Plan to comply with Federal ADA regulations issued in July 1991. Title II of the Act went into effect in 2010 and covers programs, services and activities of public entities. It requires public agencies, to ensure that all services and programs are publicly accessible to and usable by individuals with disabilities, and to be in compliance with the nondiscrimination requirement of the ADA.

One important way to ensure that Title ll requirements are being met is through Self Evaluation, which is required by the ADA regulations. A Self Evaluation is a public entity's assessment of its current policies and practices which enables local governments to pinpoint the facilities, programs and services that must be modified or relocated to ensure compliance with the ADA.

The development of a Transition Plan is required to identify physical barriers that limit the accessibility to individuals with disabilities as they relate to public facilities, streets, roads and walkways. The Transition Plan should define methods used to ensure accessibility, recommend prioritized schedule for taking the steps necessary to achieve compliance, and designate the official responsible for implementation of the plan. A Transition Plan is also a requirement of the Rehabilitation Act of 1973, which requires that all organizations receiving federal funds make their programs available without discrimination toward people with disabilities.

Although, Daly City has taken many steps to improve accessibility for people with disabilities, including program changes and capital improvement projects such as sidewalk improvements, parking lot reconstructions, bathroom retrofits, and crosswalk upgrades, the City's Self Evaluation and Transition Plan is outdated and needs to be redone. An updated Self-Evaluation and Transition Plan will include a comprehensive analysis of all city-owned buildings, parking lots, public right-of-way and intersections. The Plan will include barrier removal cost estimates for long-term financial planning and serve as a guidance document for the City to continue meeting federal and state ADA standards.

Discussion

On December 17, 2018, the City issued a Request for Proposals (RFP) for professional services to develop the ADA Self Evaluation and Transition Plan. Five proposals were received from Accessology Too, LLC, Disability Access Consultants, LLC, Jensen Hughes, MIG, and Sally Swanson Architects, Inc.

Staff from the City Manager's Office, City Attorney's Office, and Public Works Department (Maintenance and Engineering Divisions) evaluated all proposals. Staff interviewed all five (5) firms and based on the interviews, MIG was selected as the top firm for Daly City's needs. MIG will provide a more customized product that will include feedback from different members of the community. The proposal amount received from MIG in the amount of $179,993 is in line with the engineer's estimate.

Staff recommends awarding the contract to MIG for their demonstrated project understanding, creative outreach abilities, motivation, innovative approach, and established qualifications.

The scope of work includes reviewing City policies and standards, conducting facility evaluations, conducting evaluation of pedestrian facilities in public right-of-way, providing full barrier assessment reports, conducting public workshop, providing a Transition Plan with recommendations and cost for proposed remedies, and establishing a database to log, map and track deficiencies. Throughout the assessment and development process, MIG will also be conducting public outreach and holding community meetings for interested residents. MIG will also administer the required City staff trainings.

Fiscal Impact

Funding for the ADA Self-Evaluation and Transition Plan was approved in the FY2018-19 ($50,000) and FY 2019-20 ($165,000) CIP budget. Pre-appropriation of the $165,000 budgeted in FY 2019-20 to the current FY 2018-19 is required to award this project.

Summary/Conclusion

Staff recommends that the City Council pre-appropriate the $165,000 from the FY 2019-20 approved CIP Budget for ADA Transition Plan and authorize the City Manager to execute the consulting services agreement and any amendments with MIG of Berkeley, CA, in an amount not to exceed $200,000 for the development of the ADA Self-Evaluation and Transition Plan.

Staff is available to provide additional information desired by the Mayor or Council Members.

Respectfully submitted,

Sibly C Callen

Senior Management Analyst
Public Works Department

Richard Chiu Jr.

Richard Chiu, Jr.
Director of Public Works

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Requesting Use of Federal Asset Forfeiture Funds (DEA) to Purchase a TruNarc Handheld Narcotics Analyzer for the Daly City Police Department

Recommended Action

Staff recommends Council approve the use of Federal Asset Forfeiture Funds to purchase a TruNarc handheld narcotics analyzer for use by the Daly City Police Department.

Background

Increasingly, police officers are coming across the synthetic opioid known as Fentanyl during routine patrol duties. Fentanyl can be absorbed through the skin, as well as through inhalation or ingestion, and its potency has made it one of the most lethal substances in the narcotic world. As a result, the law enforcement industry has changed narcotics handling practices and issued Narcan to counteract potentially lethal exposure. The TruNarc narcotics analyzer allows for substances to be tested without having to handle the substance directly, significantly limiting the potential for exposure.

Discussion

Fentanyl is 80-100 times more potent than morphine, and as a result it is being utilized in the uncontrolled manufacturing of heroin. This practice is leading to a sharp increase in narcotics related overdoses, and the potential for contamination exposure to first responders. The Daly City Police Department has changed its narcotics handling protocols to increase the safe handling of narcotics, with the understanding that a single fentanyl exposure can be lethal. Regardless of safeguards put into place, officers still need to manipulate potential narcotics as part of evidence collection. For years we have utilized liquid chemical agent testing kits, which requires physical manipulation of the actual substance, increasing the likelihood of exposure. The TruNarc handheld narcotics analyzer utilizes Raman spectroscopy to test substances through clear containers/plastics, reducing the potential for direct exposure. The result is nearly instantaneous and can be used as a presumptive result for prosecution. TruNarc is a sole source item through Fisher Scientific, and it is being utilized by law enforcement agencies throughout the country.

Fiscal Impact

Funding is available using Federal Asset Forfeiture Funds (DEA). The one-time purchase price for a single TruNarc device, and an associated 4-hour training course for (12) officers will not exceed $30,000.

Summary/Conclusion

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Cameron Christensen
Captain #91

Patrick Hensley
Chief of Police

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Second Extension of Exclusive Negotiating Agreement between the City of Daly City and Equity Residential for the Property at 6401 Mission Street, Daly City California

Recommendation

Authorize the City Manager to Execute the Second Extension of Exclusive Negotiating Agreement ("Second Extension") between the City of Daly City and Equity Residential.

Background

On March 31, 2017, the City released a Request for Qualifications to the development community for the development of 6401 Mission Street (Site #3) that was formerly owned by the Redevelopment Agency. On December 11, 2017, the City Council selected Equity Residential as the preferred developer of property at 6401 Mission Street. On April 19, 2018, the City Council entered an Exclusive Negotiation Agreement (ENA), and on October 19, 2018 the City Manager authorized an Amendment of the ENA to extend the term to March 19, 2019.

Although significant progress has been made with the developer for the disposition and agreement of the Project, the parties need additional time to complete their negotiations. The ENA provides that the City Council may grant addition extensions beyond the first extended period, extending the negotiation period to September 19, 2019.

Discussion

Equity Residential submitted a proposal for a mixed-use project with approximately 95-115 apartment units, ground floor retail, and the extension of the subterranean parking garage in Equity Residential's adjacent mixed-use development.

The Second Extension (Draft Attached) extends the due diligence period an additional 6 months to September 19, 2019. Section 5 of the ENA authorizes an extension of additional terms, with City Council approval.

Staff believes the approval of the Second Extension with Equity Residential would allow the parties to continue their negotiations and to facilitate the preparation of a Disposition and Development Agreement for the development of the site.

Conclusion

Staff recommends that the City Council authorize the City Manager to execute the attached Second Extension of Exclusive Negotiating Rights Agreement.

Respectfully submitted,

Tatum Mothershead
Director, Economic and Community Development

Rose Zimmerman
City Attorney

Attachment

Draft Second Extension of Exclusive Negotiating Rights Agreement

Attachment

SECOND EXTENSION OF EXCLUSIVE NEGOTIATING RIGHTS AGREEMENT

THIS SECOND EXTENSION OF THE EXCLUSIVE NEGOTIATING RIGHTS AGREEMENT (this "Second Extension **Agreement**") is entered into effective as of March 19, 2019 ("**Effective Date**") by and between the City of Daly City, a municipal corporation **("City")** and ERP Operating Limited Partnership, an Illinois limited partnership ("**Developer**"). City and Developer are hereinafter referred to collectively as the "**Parties**."

RECITALS

A. The City and Developer entered into an Exclusive Negotiating Rights Agreement ("ENRA") on April 19, 2018 for the purpose developing certain property located at 6401 Mission Street, Daly City, California.

B. The City and Developer entered into an Extension to the Exclusive Negotiating Rights Agreement ("ENRA") on October 19, 2018 for the purpose developing certain property located at 6401 Mission Street, Daly City, California.

C. The purpose of the ENRA is to establish the procedures and standards for the negotiation of a potential disposition and development agreement **("DDA")** that would address: (i) the disposition of the Property from the City to Developer, and (ii) Developer's development of the Project on the Property. As stated in the ENRA, the Agreement does not obligate the City to execute a DDA or convey the Property, or any portion thereof, to Developer, nor does it grant Developer the right, or obligate Developer, to develop the Project on the Property.

D. The ENRA, by its own terms, will terminate March 19, 2019, unless the ENRA is extended by mutual written agreement of the City and the Developer.

E. As of to date, the Parties continue to negotiate in good faith for the development of the Property and have made substantial progress in the negotiations, and desire to extend the ENRA an additional six (6) months to September 19, 2019.

AGREEMENT

NOW THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. Term. Pursuant to Section 5 of the Agreement, the ENRA between the City and Developer may be extended from the Effective Date of the Extension of the Exclusive Negotiation

Rights Agreement dated April 19, 2018, at the discretion of the City Council to September 19, 2019.

2. Full Force and Effect. All terms and conditions in the ENRA dated April 19, 2018 shall remain in full force and effect and both the City and the Developer shall continue to be bound to the original terms for the extended Term of this Agreement.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the date first written above.

CITY OF DALY CITY, a municipal corporation

By: _____
Shawnna Maltbie, Interim City Manager

APPROVED AS TO FORM:

By: _____
Rose Zimmerman, City Attorney

DEVELOPER:

ERP OPERATING LIMITED PARTNERSHIP,
an Illinois limited partnership

By: Equity Residential, a Maryland real estate investment trust,
its general partner

By: _____

Print Name: _____

Title: _____

DRAFT

City Council Meeting Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Budget Transfer for Contractual Services in the Building Division

Recommended Action

Request for City Council to approve transfer of funds in the amount of $110,700 from Salaries 01-300-340-4101 to Contractual Services 01-300-340-4219

Background

The current budget for Fiscal Year 18/19 Professional Services account 01-300-340-4219 is $100,500 which covers third party plan review consultants. Due to the vacancy of the Building Plan Engineer position, staff has been outsourcing new and revised construction projects with structural designs. It is anticipated that several new major development projects will be submitting plans for review this fiscal year in addition to the typical tenant improvement and residential alteration projects. As this is the case, staff had to seek additional assistance from third party plan check services. The current remaining balance of Professional Services Account 01-300-340-4219 is $68,433.

Discussion

To maintain a 10 to 15 days turnaround time frame for plan review, staff has been seeking the assistance of a third party plan check services including additional assistance of contractual building inspectors to maintain our goal of providing next business day inspection services.

The budget transfer request will cover the professional services expenditures that are currently pending for payment and anticipated major developments that are currently in the final stages of the design preparation of construction documents

A copy of the budget transfer request and current revenue and expenditures report are attached for review.

Staff is available to provide any additional information desired by the Mayor or Council Members.

Respectfully submitted,

Valentino J. Mandapat,
Chief Building Supervisor / Building Official

Tatum Mothershead
Director of Economic and Community Development

Attachments: A – Budget Transfer Request
B – Current Revenue and Expenditure Status Report Page 1 and 2

City of Daly City
Budget Transfer/Adjustment

Department/Division: ECD / Building **Date:** 4/11/2019

Month/Fiscal Year: April / 18-19

Explanation/Justification:
Due to the high volume of proposed construction projects and with the vacancy of the Building Plan Engineer, position, Building Division outsources new and re-check of proposed projects to a third party consulting firm to assist staff in reviewing construction documents and be able to complete the review in 15 working days. The current approved budget for professional services is $100,500 and as of February 1, 2019 the amount left in this line item is $68,433. It is anticipated that there construction projects that will be submitting for first round of review or changed to approved plan review before the end of this fiscal year that involves substantial revision or addition to the scope of work.

It is anticipated that there maybe a substantial amount of proposed addition with structural upgrades, maintenance, alteration and this trend had been an observation from past fiscal years and some are of decent size projects in which have not been anticipated to be submitted for plan review in addition to planned development, regular addition, alteration and improvement projects.

The current plan check revenue that has been collected as of February 1, 2019 is $350,778 which is now 91.4% the projected revenue of $383,716. It is anticipated that plan check revenue will exceed the projection.

Staff is requesting that an additional $110,700 be transferred from line item 01-300-340-4101 salary savings from a funded Building Inspector position (10 months salary savings) and Building Plans Engineer (6 months salary savings) that are currently vacant to line item 4219 Professional Services to cover review of construction documents currently under plan review that have been outsourced to assist staff in maintaining a 10 day turnaround time for reviewing construction

Approvals:

Originator

Valentino J. Mandapat - Chief Building Supervisor / Building Official

Director of Finance

Director of Economic and Community Development

City Manager/City Council

Department Head

City of Daly City Budget Transfer/Adjustment

Account Number	Account Name	Program/Project Name	Amount	Finance Only: Budget Balance Before	After
Use of Funds:					
01-300-340-4219	Professional Services		$100,500.00		
			$100,500.00	$	$
Source of Funds:					
Reduced Expenditures:					
New Revenue:					
01-300-340-4101	Salaries (Savings from Building Inspector and Building Plans Engineer)		$110,700.00		
				$	$
		Total Source of Funds	$110,700.00		

For Capital Projects Only - Transfer of Funding Between Projects

From Account Number	Name/Type Code	Amount	**To** Account Number	Name/Type Code	Amount

Finance Only:

Verified By/Date | Entered By/Date | Audited By/Date | Document No.

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*****************************************************************************
*                                                                           *
*                    A D   H O C   R E P O R T   W R I T E R                *
*                                                                           *
*        Requester's Name: Val Mandapat                                     *
*        Requester's Location: ONSITE                                       *
*        Current Date: TUE, FEB 26, 2019,  3:55 PM                          *
*        Name of Report File: STATUS1.RDF.ADMIN                             *
*        Report Title:           City of Daly City, California              *
*                                                                           *
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SELECT  ORGANI 01300340
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City of Daly City, California

Revenue and Expenditure Status Report
By Program
For the Period Ended 01/31/19

* Fund 01 GENERAL FUND
* Division 300 ECD ADMINISTRATION
* Program 340 BUILDING

Obj Code Description	Prior Year Actual	Current Year Budget	Current Month Actual	Year-to-Date Actual	Encumb-rances	Remaining Balance	Percent To-Date
REVENUES:							
LICENSES AND PERMITS:							
3321 BUILDING PERMITS	896,982.09	882,741.00	83,484.47	496,426.55	0.00	386,314	56.2
3322 ELECTRICAL PERMITS	144,575.35	139,667.00	11,146.36	100,110.58	0.00	39,556	71.7
3323 PLUMBING PERMITS	112,099.25	107,971.00	12,363.03	70,870.78	0.00	37,100	65.6
3325 MECHANICAL PERMITS	74,001.77	72,834.00	6,669.48	41,410.52	0.00	31,423	56.9
3327 PLAN CHECK FEES	538,603.04	383,716.00	51,894.78	350,778.79	0.00	32,937	91.4
3329 ARCHIVE FEE	39,494.86	33,700.00	3,032.61	23,841.35	0.00	9,859	70.7
3341 TECHNOLOGY FEE	18,432.00	15,204.00	1,741.72	10,409.19	0.00	4,795	68.5
Total LICENSES AND PERMTS	1,824,188.36	1,635,833.00	170,332.45	1,093,847.76	0.00	541,985	66.9
CHARGES AND FEES:							
3727 BUILDING CNDTN RPRTS	75,600.00	70,000.00	5,100.00	40,200.00	0.00	29,800	57.4
3730 STRONG MOTION FEES	1,375.97	1,500.00	247.48	463.06	0.00	1,037	30.9
3795 SALE OF DOCUMENTS	2,267.63	1,000.00	(36.29)	2,097.93	0.00	(1,098)	209.8
Total CHARGES AND FEES	79,243.60	72,500.00	5,311.19	42,760.99	0.00	29,739	59.0
MISCELLANEOUS REVENUES:							
3860 MISCELLANEOUS REVENU	1,016,309.28	320,000.00	60,101.39	359,264.46	0.00	(39,264)	112.3
3915 BAD DEBT RECOVERIES	207.33	0.00	0.00	0.00	0.00	0	0.0
Total MISCELLANEOUS REVNS	1,016,516.61	320,000.00	60,101.39	359,264.46	0.00	(39,264)	112.3
Total Revenues	2,919,948.57	2,028,333.00	235,745.03	1,495,873.21	0.00	532,460	73.7
EXPENDITURES:							
SALARIES AND BENEFITS:							
4101 SALARIES	697,816.25	920,689.78	43,037.46	414,510.98	0.00	506,179	45.0
4102 HOURLY WAGES	94,136.70	0.00	5,843.72	53,127.07	0.00	(53,127)	0.0
4104 PERS RETIREMENT	134,144.39	339,735.34	8,860.69	83,665.93	0.00	256,069	24.6
4105 GROUP INSURANCE	130,107.16	150,122.64	9,327.76	70,809.17	0.00	79,313	47.2
4106 WORKERS COMPENSATION	16,877.10	19,230.00	1,137.40	11,359.85	0.00	7,870	59.1
4107 MEDICARE	10,973.22	13,350.00	967.75	6,956.92	0.00	6,393	52.1
4110 TERMINATION PAY	0.00	0.00	18,852.81	18,852.81	0.00	(18,853)	0.0
4119 SOCIAL SECURITY	1,207.14	0.43	0.00	0.00	0.00	0	0.0
4126 UNFUNDED PRS CNTRBTN	115,784.01	0.00	8,401.51	81,304.61	0.00	(81,305)	0.0
Total SALARIES AND BENFTS	1,201,045.97	1,443,128.19	96,429.10	740,587.34	0.00	702,541	51.3

* Fund 01 GENERAL FUND
* Division 300 ECD ADMINISTRATION
* Program 340 BUILDING

Obj Code Description	Prior Year Actual	Current Year Budget	Current Month Actual	Year-to-Date Actual	Encumb-rances	Remaining Balance	Percent To-Date
SERVICES AND SUPPLIES:							
4211 ADVERTISING	0.00	100.00	0.00	0.00	0.00	100	0.0
4212 COMMUNICATIONS	6,532.13	5,930.00	1,642.28	3,928.22	0.00	2,002	66.2
4217 EQPMNT MNTNNC CNTRCT	0.00	500.00	0.00	0.00	0.00	500	0.0
4219 PROFESSIONAL SERVICS	47,021.55	100,500.00	24,709.33	32,066.68	0.00	68,433	31.9
4220 OTHER CONTRCTL SRVCS	21,679.13	47,203.05	1,709.75	6,007.95	4,003.05	37,192	21.2
4230 OFFICE EXPENSE	6,430.92	6,470.00	599.34	3,273.95	0.00	3,196	50.6
4231 SAFETY GEAR	976.33	900.00	0.00	0.00	0.00	900	0.0
4237 CLOTHING	833.06	1,300.00	0.00	0.00	0.00	1,300	0.0
4255 SMALL EQUIPMENT	497.14	1,200.00	0.00	148.05	0.00	1,052	12.3
Total SERVICES AND SUPPLS	83,970.26	164,103.05	28,660.70	45,424.85	4,003.05	114,675	30.1
OTHER CHARGES:							
4302 MEMBERSHPS & PBLCTNS	4,721.17	4,471.00	0.00	325.00	0.00	4,146	7.3
4303 TRAVEL & MEETINGS	894.40	2,283.00	0.00	426.88	0.00	1,856	18.7
4304 EDUCATION & TRAINING	3,837.15	5,906.00	2,540.00	4,220.00	0.00	1,686	71.5
4433 BAD DEBTS	267.33	0.00	0.00	0.00	0.00	0	0.0
Total OTHER CHARGES	9,720.05	12,660.00	2,540.00	4,971.88	0.00	7,688	39.3
FIXED CHARGES:							
4208 TELEPHONE SRVC CHRGS	1,773.84	848.28	70.69	494.83	0.00	353	58.3
4216 VEHICLE SERVIC CHRGS	30,031.11	30,888.91	2,574.08	18,018.56	0.00	12,870	58.3
4223 INFORMTN SRVCS CHRGS	185,111.52	206,335.43	17,194.62	120,362.34	0.00	85,973	58.3
4224 BLDG MNTNNC SVC CHRG	15,490.92	27,238.79	2,269.90	15,889.30	0.00	11,349	58.3
4226 MAIL/MESSENGER SERVC	1,558.20	1,688.56	140.71	984.97	0.00	704	58.3
4227 COPIER SERVICES	1,789.08	750.40	62.53	437.71	0.00	313	58.3
4233 POSTAGE	5,199.48	5,368.12	447.34	3,131.38	0.00	2,237	58.3
4301 GENERAL INSRNC CHRGS	11,532.96	14,833.35	1,236.11	8,652.77	0.00	6,181	58.3
Total FIXED CHARGES	252,487.11	287,951.84	23,995.98	167,971.86	0.00	119,980	58.3
Total Expenditures	1,547,223.39	1,907,843.08	151,625.78	958,955.93	4,003.05	944,884	50.5
Net for 340	1,372,725.18	120,489.92	84,119.25	536,917.28	(4,003.05)	(412,424)	23.3

* Fund 01 GENERAL FUND
* Division 300 ECD ADMINISTRATION
* Program 340 BUILDING

Obj Code Description	Prior Year Actual	Current Year Budget	Current Month Actual	Year-to-Date Actual	Encumb-rances	Remaining Balance	Percent To-Date
Total Fund Revenues	2,919,948.57	2,028,333.00	235,745.03	1,495,873.21	0.00	532,460	73.7
Total Fund Expenditures	1,547,223.39	1,907,843.08	151,625.78	958,955.93	4,003.05	944,884	50.5
Net for Fund 01	1,372,725.18	120,489.92	84,119.25	536,917.28	(4,003.05)	(412,424)	23.3

* Fund 01 GENERAL FUND
* Division 300 ECD ADMINISTRATION
* Program 340 BUILDING

Obj Code Description	Prior Year Actual	Current Year Budget	Current Month Actual	Year-to-Date Actual	Encumb-rances	Remaining Balance	Percent To-Date
Total Revenue - All Funds	2,919,948.57	2,028,333.00	235,745.03	1,495,873.21	0.00	532,460	73.7
Total Expend - All Funds	1,547,223.39	1,907,843.08	151,625.78	958,955.93	4,003.05	944,884	50.5
Net - All Funds	1,372,725.18	120,489.92	84,119.25	536,917.28	(4,003.05)	(412,424)	23.3

City Council Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Remove Crosswalk at Santa Barbara Avenue at Theta Avenue (TSR 18/54).

Recommended Action

It is recommended that the City Council hear public comments and authorize the removal of the crosswalk on the south side of Santa Barbara Avenue at Theta Avenue and extend the existing passenger loading/unloading zone 10 feet south.

Background

In February 2018, the principal at Woodrow Wilson Elementary School contacted staff to establish a passenger loading/unloading (white) zone on Santa Barbara Avenue next to the school. On February 8, 2018, the City's Traffic Safety Committee (Committee) met and reviewed various requests for traffic improvements. The Committee recommended the removal of the crosswalk on the south side to create a continuous, uninterrupted white zone.

The removal of the south crosswalk will increase safety by channeling pedestrians to the crosswalk on the north side, away from the white zone. Motorists would also have better visibility of pedestrians crossing the street since the pedestrians would no longer cross in between parked vehicles.

Discussion

Per Section 21950.5 of the California Vehicle Code, an existing marked crosswalk may not be removed unless notice and opportunity to be heard is provided to the public not less than 30 days prior to the scheduled date of removal. On February 8, 2019, staff posted notices at the subject crosswalk regarding the proposed crosswalk removal. The notice listed two meetings where residents can provide their comments: An informational meeting on February 26, 2019 at Woodrow Wilson Elementary School and a City Council meeting on March 11, 2019. Meeting notices were also mailed to the residents one block north, south and east of the intersection as well as being available to parents of Woodrow Wilson Elementary School students.

At the February 26, 2019 informational meeting, only one parent, the school principal and a teacher attended along with city staff. The one parent/resident was not in favor of the crosswalk removal. She felt the existing configuration is safe and no change is needed. The school principal and teacher are in support of staff's recommendation for the crosswalk removal. As of the date of preparation of this staff report, no other comments have been received.

Summary/Conclusion

Staff recommends that the city Council hear any public comments and authorize the removal of the crosswalk on the south side of Santa Barbara Avenue at Theta Avenue and extend the existing passenger loading/unloading zone 10-ft. south.

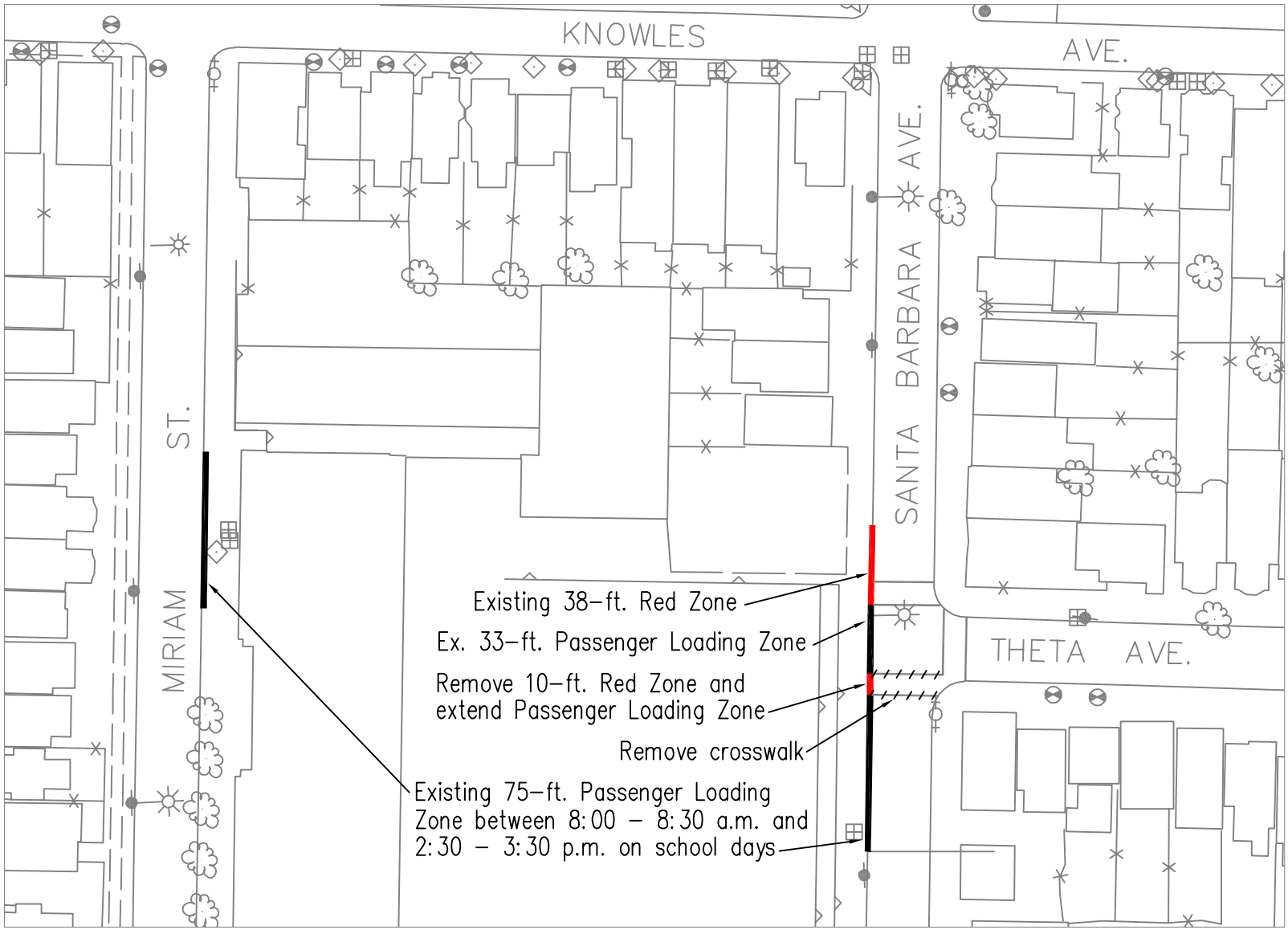
Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Shirley Chan
Traffic Engineer

Richard Chiu, Jr.,
Director of Public Works

Attachment: Traffic Improvements Location Map



TSR 18-54

N.T.S.

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

TRAFFIC IMPROVEMENTS
Santa Barbara Ave. & Theta Ave.

DRAWN SCY	DATE 03/19	APPROVED_____ CITY ENGINEER	
CHECKED KF	SCALE NTS	SHEET NO. 1 OF 1	TSR 18-54 DRAWING NUMBER
DESIGNED SCY	SURVEY NO.		REV.

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City Council Agenda Report

Item # _____

Meeting Date: March 11, 2019

Subject: Award of Construction Contract for ADA Curb Ramps 2018-19 Project

Recommended Action

Staff recommends that the City Council accept all responsive bids, award a construction contract to Golden Bay Construction of Hayward, California for the Base Bid in the amount of $78,083.00, and authorize the City Manager to execute a contract. Staff further recommends that the City Council approve the design documents and affirm the CEQA determination of Categorical Exemption for the ADA Curb Ramps 2018-19 project.

Background

The ADA Curb Ramps 2018-19 project includes construction of American's with Disabilities Act (ADA) compliant concrete curb ramps, sidewalk, curb and gutter, brick work, and asphalt conform. In addition to replacing concrete curb ramps, the contract also includes repair of damaged or hazardous sidewalk, driveways, and curb and gutter.

The base bid includes miscellaneous concrete work and a total of seven (7) curb ramps located at:

- Santa Barbara Avenue and Theta Avenue
- Hillside Blvd. and East Vista Drive
- School Street and Mission Street
- 92nd Street and Bryant Street
- East Moltke Street and Bruno Avenue

The Add Alternate 1 is the additional curb ramp at Santa Barbara Avenue and Theta Avenue that would only be necessary if the additional crosswalk at that location is kept in place.

Discussion

Staff prepared the design documents in-house and advertised the project on February 3, 2019. Six (6) bids ranging from $83,204.00 to $162,855.00 were received on February 26, 2019.

The following table summarizes the three lowest bids and the Engineer's Estimate:

Bidder	Base Bid	Add Alternate 1	Total Bid (Base Bid plus Add Alternate 1)	Comments
1. Golden Bay Construction	$78,083.00	$5,121.00	$83,204.00	Responsive Bid
2. Empire Engineering & Construction, Inc.	$79,560.00	$9,570.00	$89,130.00	Responsive Bid
3. Kerex Engineering, Inc.	$80,960.00	$8,920.00	$89,880.00	Responsive Bid
Engineer's Estimate	**$75,490.00**	**$7,350.00**	**$82,840.00**	

Determination of the lowest bidder was based on the lowest combined total of the Base Bid and Bid Alternate 1. If City Council supports staff recommendation to eliminate the crosswalk at Santa Barbara Ave. and Theta Ave., only the Base Bid will be awarded, otherwise Base and Add Alternate 1 will be awarded.

Golden Bay Construction of Hayward, California, has been in business since 1983. They hold the required Class A contractor's license, which is current and in good standing. Golden Bay Construction has successfully completed the Walnut Creek BART Parking Lot, the Brewster Avenue Road Modifications and Improvement Project in Redwood City, and the Oregon Expressway Improvements for the County of Santa Clara.

Fiscal Impact

The construction budget for the planned work is $101,600.00, which includes a twenty percent (20%) contingency, five percent (5%) construction inspection, and five percent (5%) contract administration cost. The amount allocated in the approved FY 2019-20 CIP Budget Account 17-314-601 will fully fund the project.

Summary/Conclusion

Staff recommends that the City Council accept all bids, award a construction contract to Golden Bay Construction of Hayward, California for the Base Bid in the amount of $78,083.00, and authorize the City Manager to execute a contract. Staff further recommends that the City Council approve the design documents and affirm the CEQA determination of Categorical Exemption for the ADA Curb ramps 2018-19 project.

Staff is available to provide any additional information desired by the Mayor or Council members.

Respectfully submitted,

Roland Yip
Senior Civil Engineer

Richard Chiu Jr
Director of Public Works

Attachments:
1. ADA Curb Ramps 2018-19 Project Plans (Sheets 1 – 7)
   (The complete Contract Documents are available for viewing at the City Clerk's Office.)
2. CEQA Notice of Exemption

CITY OF DALY CITY

SAN MATEO COUNTY, CALIFORNIA

PROJECT PLANS FOR CONSTRUCTION OF

ADA CURB RAMPS 2018-19

INDEX OF SHEETS

SHEET NO.	SHEET TITLE
BASE BID	
1	TITLE SHEET
2	SCHOOL ST. – MISSION ST.
3	SANTA BARBARA AVE. – THETA AVE.
4	HILLSIDE BLVD. – E. VISTA DR. AND 92ND ST. – BRYANT ST.
5	E. MOLTKE ST. – BRUNO AVE.
6	SANTA BARBARA AVE. – THETA AVE. (SW CORNER) ADD ALTERNATE – PLAN
7	STANDARD DRAWING

APPROVALS:

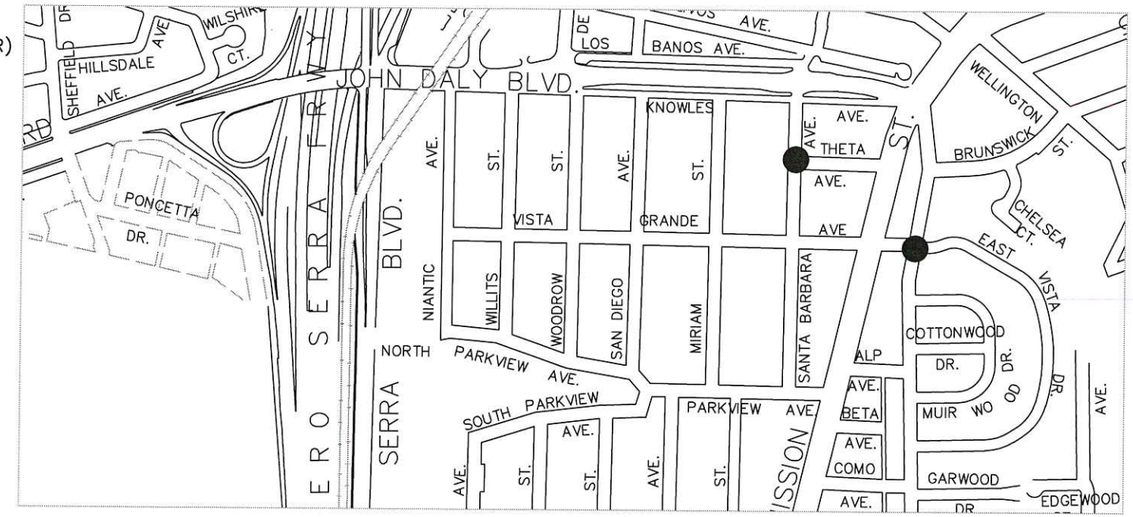
Richard Chu — 1-31-2019
Director of Public Works — Date

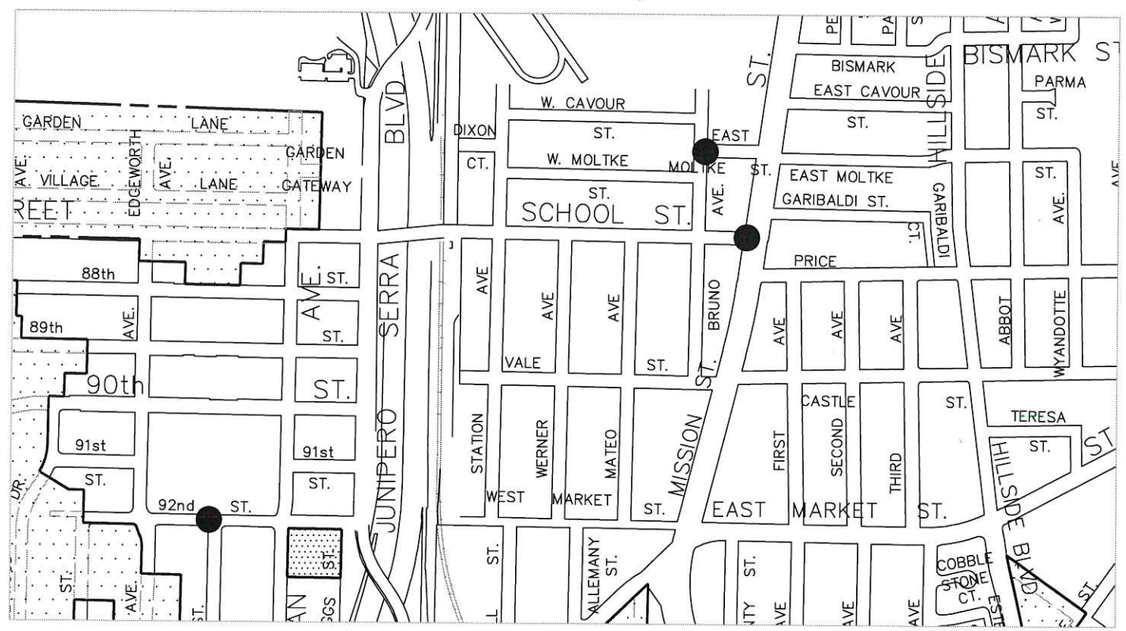
Jeffery M. Tomini — 1/30/19
Public Works Assistant to Director — Date

Jan. 28, 2019
Traffic Engineer — Date

J. S. Stalcile Jr — 1/28/2019
Public Works – Maintenance Supervisor — Date

1/25/2019
Construction Engineer — Date





SCALE IN FEET

0 1000 2000

Plans Approved for Construction

Roland Yip — 1/25/19
ROLAND W. YIP, RCE #78990
PROJECT ENGINEER — DATE

REGISTERED PROFESSIONAL ENGINEER ROLAND W. YIP No. 78990 Exp. 03-31-20 CIVIL STATE OF CALIFORNIA

1/25/2019
KEVIN M. FEHR, RCE #78518
CITY ENGINEER — DATE

Plans Conform to "As Built" Condition

KEVIN M. FEHR, RCE #78518
CITY ENGINEER — DATE

REGISTERED PROFESSIONAL ENGINEER KEVIN M. FEHR No. 78518 Exp. 9-30-19 CIVIL STATE OF CALIFORNIA

CITY COUNCIL

MAYOR	RAYMOND A. BUENAVENTURA
VICE MAYOR	GLENN R. SYLVESTER
COUNCIL MEMBERS	JUSLYN C. MANALO
	ROD DAUS-MAGBUAL
	PAMELA DIGIOVANNI
INTERIM CITY MANAGER	SHAWNNA MALTBIE

CIVIC CENTER: 333 90TH STREET, DALY CITY, CA 94015
PHONE: (650) 991-8064
FAX: (650) 991-8243

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

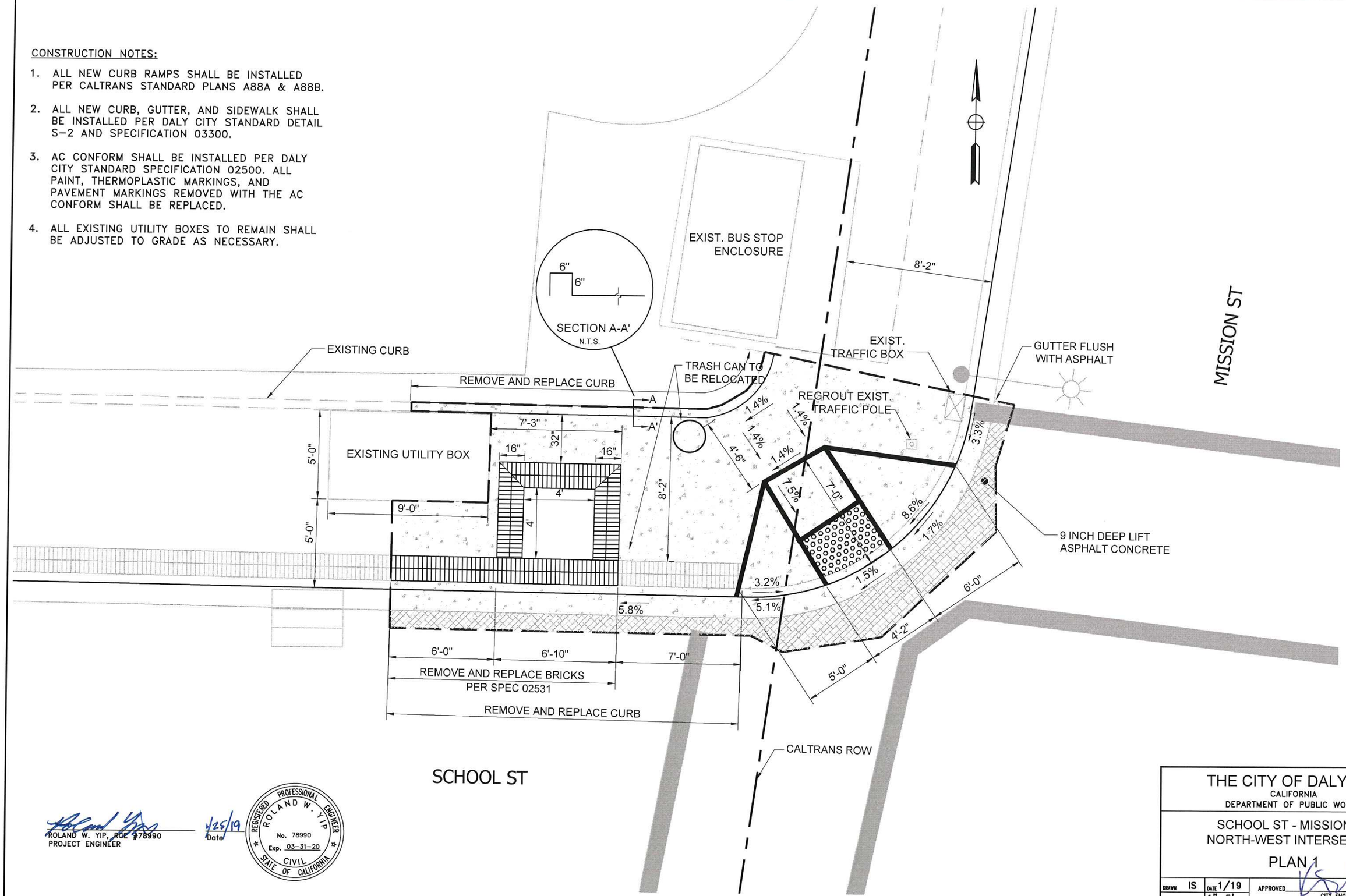
ADA CURB RAMPS 2018-19

TITLE SHEET

DRAWN IS	DATE 1/19	APPROVED	CITY ENGINEER
CHECKED RY	SCALE 1"=1000'		
DESIGNED GW	SURVEY NO.	SHEET NO. 1 OF 7	DRAWING NUMBER 1802D01 REV.

CONSTRUCTION NOTES:

1. ALL NEW CURB RAMPS SHALL BE INSTALLED PER CALTRANS STANDARD PLANS A88A & A88B.
2. ALL NEW CURB, GUTTER, AND SIDEWALK SHALL BE INSTALLED PER DALY CITY STANDARD DETAIL S-2 AND SPECIFICATION 03300.
3. AC CONFORM SHALL BE INSTALLED PER DALY CITY STANDARD SPECIFICATION 02500. ALL PAINT, THERMOPLASTIC MARKINGS, AND PAVEMENT MARKINGS REMOVED WITH THE AC CONFORM SHALL BE REPLACED.
4. ALL EXISTING UTILITY BOXES TO REMAIN SHALL BE ADJUSTED TO GRADE AS NECESSARY.



ROLAND W. YIP, RCE #78990
PROJECT ENGINEER

1/25/19
Date

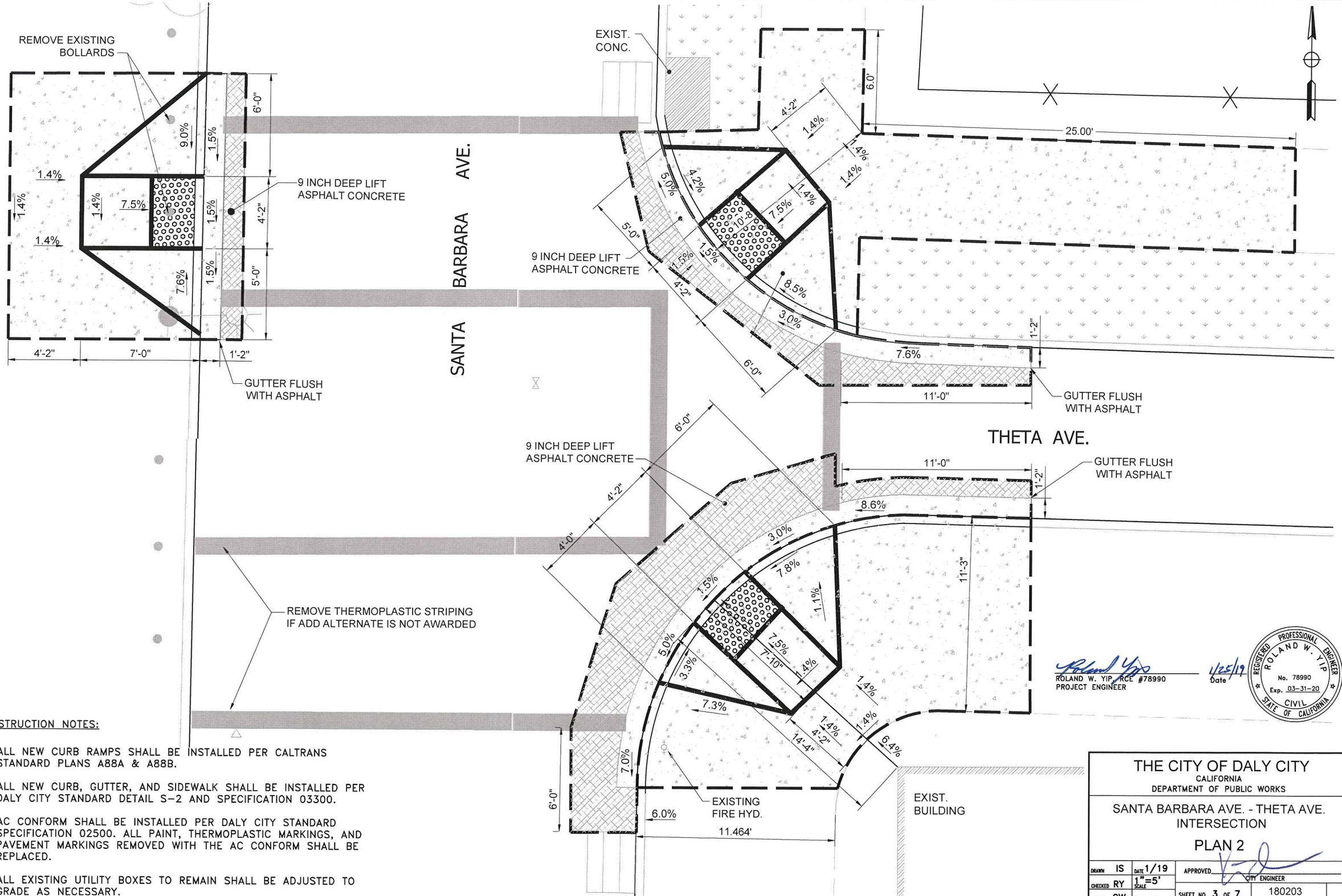
REGISTERED PROFESSIONAL ENGINEER
ROLAND W. YIP
No. 78990
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

SCHOOL ST - MISSION ST
NORTH-WEST INTERSECTION

PLAN 1

DRAWN IS	DATE 1/19	APPROVED	CITY ENGINEER
CHECKED RY	SCALE 1"=5'		
DESIGNED GW	SURVEY NO.	SHEET NO. 2 OF 7	DRAWING NUMBER 180202 REV.



ROLAND W. YIP, RCE #78990
PROJECT ENGINEER

1/25/19
Date

REGISTERED PROFESSIONAL ENGINEER
ROLAND W. YIP
No. 78990
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

CONSTRUCTION NOTES:

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2. ALL NEW CURB, GUTTER, AND SIDEWALK SHALL BE INSTALLED PER DALY CITY STANDARD DETAIL S-2 AND SPECIFICATION 03300.
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THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

SANTA BARBARA AVE. - THETA AVE.
INTERSECTION

PLAN 2

DRAWN IS	DATE 1/19	APPROVED _____ CITY ENGINEER	
CHECKED RY	SCALE 1"=5'		
DESIGNED GW	SURVEY NO.	SHEET NO. 3 OF 7	180203 DRAWING NUMBER	REV.

CONSTRUCTION NOTES:

1. ALL NEW CURB RAMPS SHALL BE INSTALLED PER CALTRANS STANDARD PLANS A88A & A88B.
2. ALL NEW CURB, GUTTER, AND SIDEWALK SHALL BE INSTALLED PER DALY CITY STANDARD DETAIL S-2 AND SPECIFICATION 03300.
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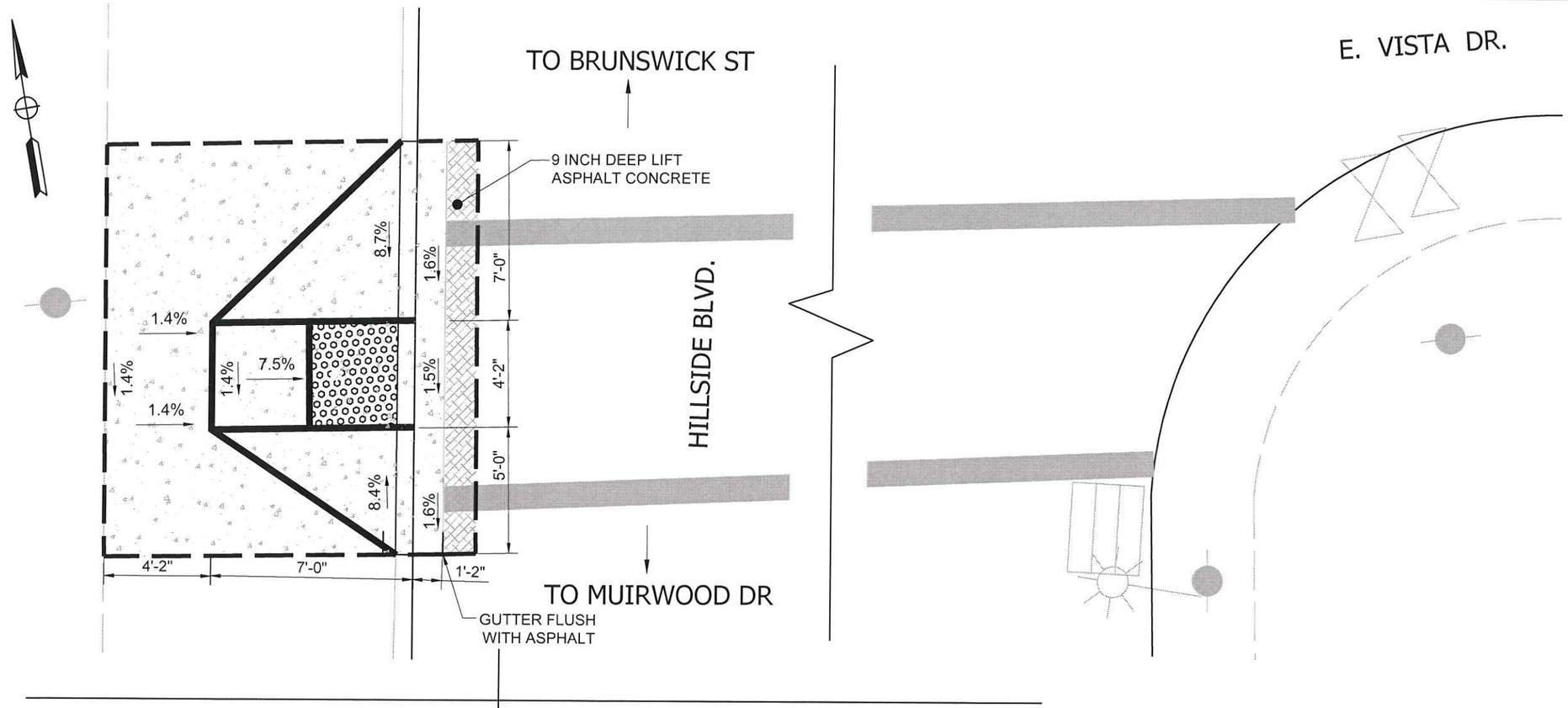

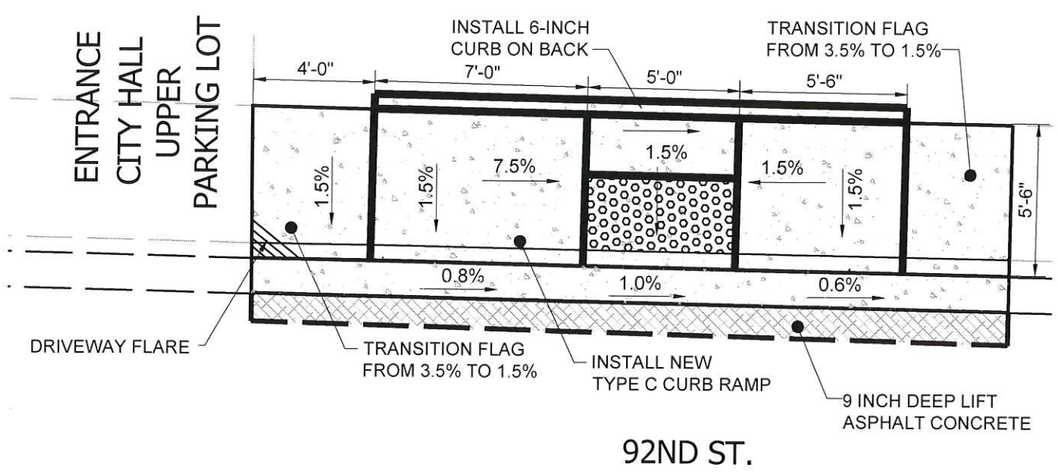

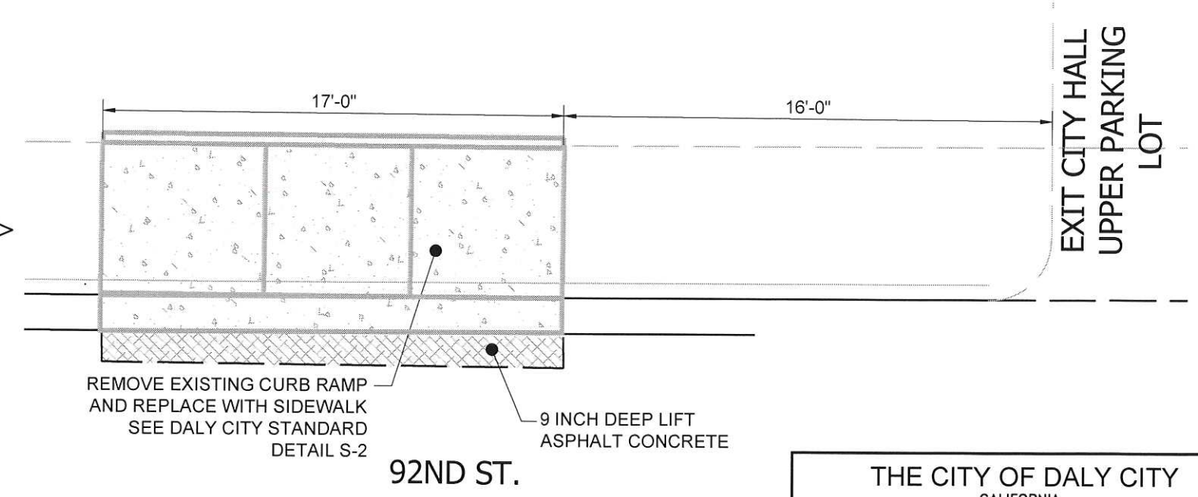

ROLAND W. YIP RCE #78990
PROJECT ENGINEER

1/25/19
Date

REGISTERED PROFESSIONAL ENGINEER
ROLAND W. YIP
No. 78990
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

HILLSIDE BLVD. - E. VISTA DR.
AND
92ND ST - BRYANT ST.
PLAN 3

DRAWN IS	DATE 11/18	APPROVED	CITY ENGINEER
CHECKED RY	SCALE 1"=5'		
DESIGNED GW	SURVEY NO.	SHEET NO. 4 OF 7	DRAWING NUMBER 180204 REV.

CONSTRUCTION NOTES:

1. ALL NEW CURB RAMPS SHALL BE INSTALLED PER CALTRANS STANDARD PLANS A88A & A88B.
2. ALL NEW CURB, GUTTER, AND SIDEWALK SHALL BE INSTALLED PER DALY CITY STANDARD DETAIL S-2 AND SPECIFICATION 03300.
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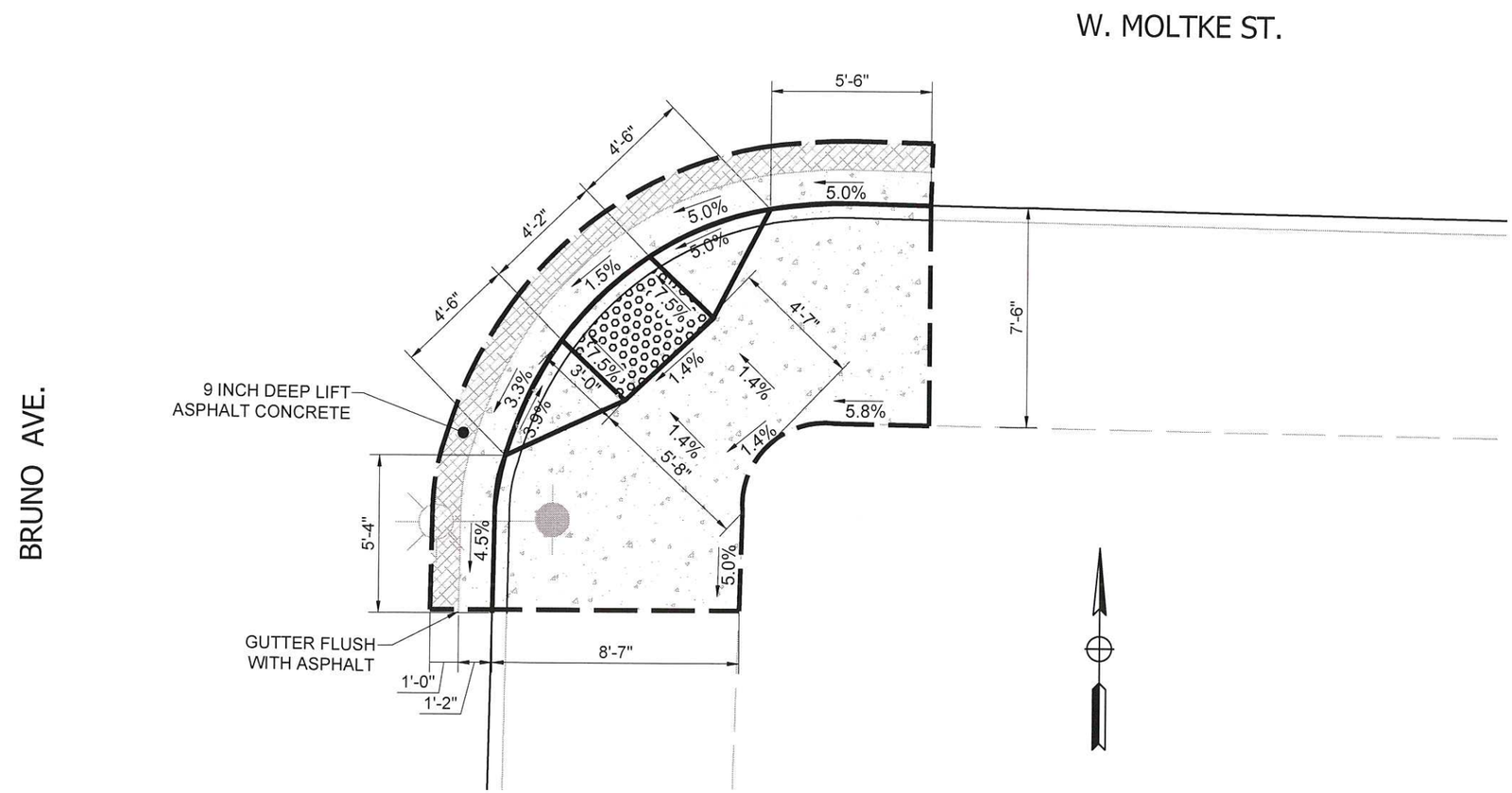


ROLAND W. YIP, RCE #78990
PROJECT ENGINEER

1/25/19
Date

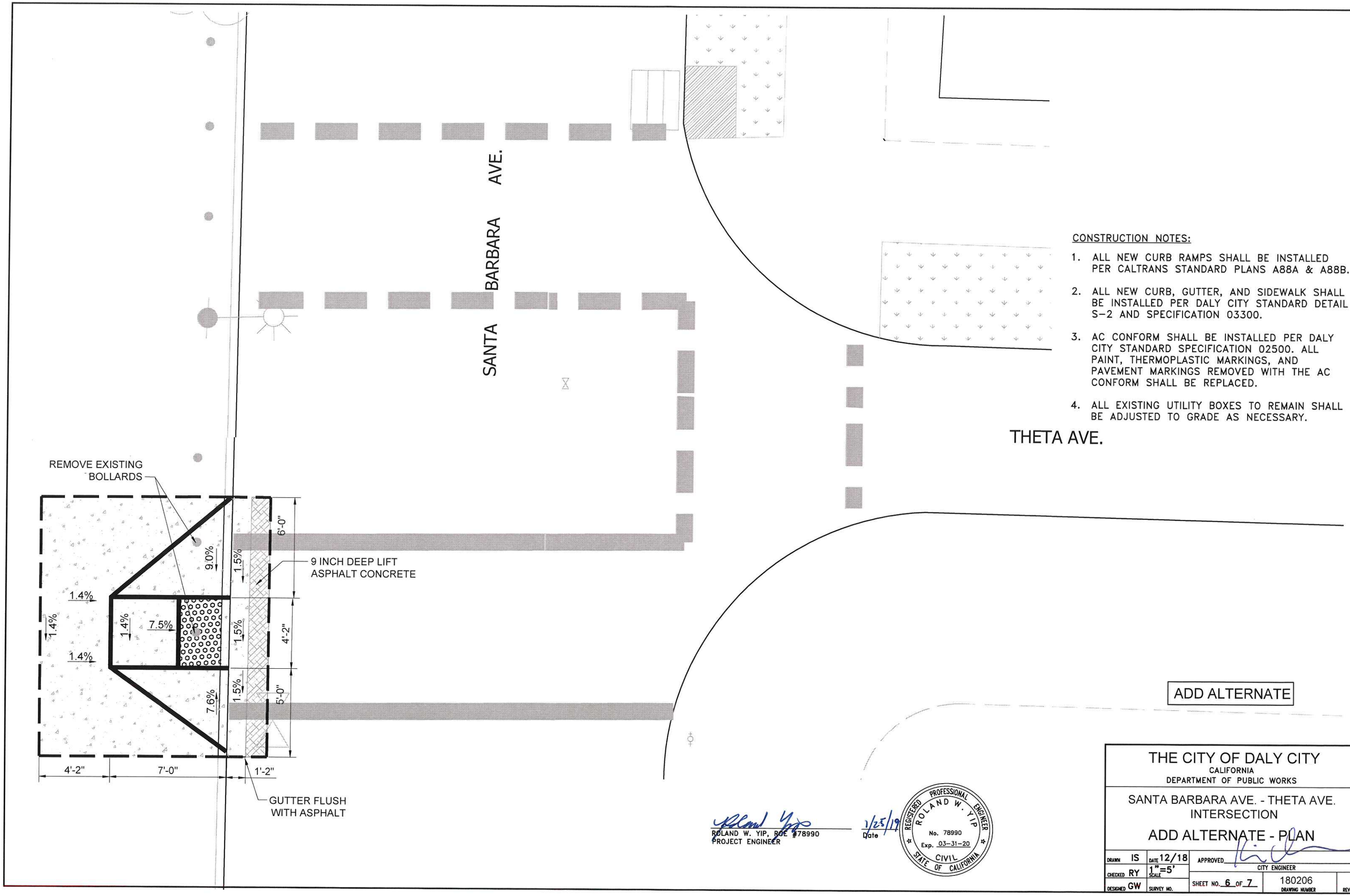
REGISTERED PROFESSIONAL ENGINEER
ROLAND W. YIP
No. 78990
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

WEST MOLTKE ST. - BRUNO AVE.
(SE CORNER)

PLAN 4

DRAWN IS	DATE 11/18	APPROVED	CITY ENGINEER
CHECKED RY	SCALE 1"=5'	SHEET NO. 5 OF 7	180205 DRAWING NUMBER
DESIGNED GW	SURVEY NO.		REV.



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2. ALL NEW CURB, GUTTER, AND SIDEWALK SHALL BE INSTALLED PER DALY CITY STANDARD DETAIL S-2 AND SPECIFICATION 03300.
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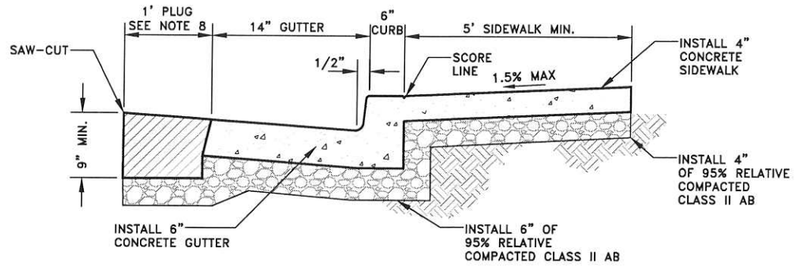
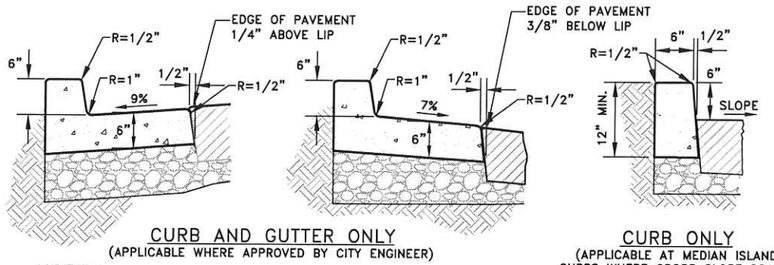


MONOLITHIC CURB, GUTTER & SIDEWALK



CURB AND GUTTER ONLY

(APPLICABLE WHERE APPROVED BY CITY ENGINEER)

CURB ONLY

(APPLICABLE AT MEDIAN ISLAND CURBS WHERE CROSS SLOPE DRAINS AWAY FROM CURB)

NOTES:

1. WHERE A NEW SIDEWALK IS TO BE CONSTRUCTED, THE SIDEWALK SHALL BE EXTENDED UP TO AN ADDITIONAL 35 FEET OR 25%, WHICHEVER IS GREATER TO CONNECT WITH AN EXISTING SIDEWALK.
2. ALL CONCRETE DEMOLITION SHALL BE TO SCORE LINES OR JOINTS. ALL CUTS SHALL BE SAWED NEAT AND STRAIGHT AND SHALL HAVE A MINIMUM DEPTH OF 1-1/2". WATER USED FOR SAWCUTTING OPERATIONS SHALL BE VACUUMED IMMEDIATELY.
3. ALL NEW CONCRETE SHALL BE CLASS A, SIX SACK CEMENT, USING 1-1/2" MAX SIZE AGGREGATE. ALL NEW CONCRETE SHALL HAVE LAMP BLACK TO MATCH COLOR OF ADJACENT CONCRETE AND FINISHED UNIFORM FINE BROOMED TEXTURE. CURING SHALL BE BY NO-PIGMENTED CURING COMPOUND METHOD.
4. 1/4" WIDE EXPANSION JOINTS SHALL BE PLACED AT 20' INTERVALS, AT CURB RETURNS, AND AT ENDS OF DRIVEWAY APRONS. NEW SIDEWALKS SHALL BE SCORED AT 4' INTERVALS AND ALONG BACK OF SIDEWALK. LONGITUDINAL SCORES ARE REQUIRED AT THE CITY ENGINEER'S DIRECTION FOR SIDEWALK WIDTHS GREATER THAN 5'. REPLACEMENT SHALL BE SCORED TO MATCH CONTIGUOUS EXISTING SIDEWALK AND CURB.
5. IMPRINT A 4-INCH HIGH LETTER "S" ON TOP OF CURB AT SEWER LATERAL CROSSING AND "W" AT WATER LATERAL CROSSING.
6. CONTRACTOR SHALL CALL FOR INSPECTION OF FORMING, POURING AND COMPLETION, GIVING 24-HOURS ADVANCE NOTICE.
7. IF ANY CURB, GUTTER, OR SIDEWALK ARE EXISTING, NEW CURB, GUTTER, OR SIDEWALK SHALL DOWEL INTO EXISTING CONCRETE EVERY 18". USE 9" LONG No.4 DOWELS, INSERTED MIN. 4" INTO EXISTING CONCRETE.
8. FOR ANY CURB, GUTTER, OR DRIVEWAY REPAIR, SAW-CUT AND REMOVE 1 FOOT WIDE SECTION OF AC PLUG, MIN. 9" DEPTH BACKFILL WITH HMA 1/2" AGGREGATE.

WORK WITHIN CITY RIGHT-OF-WAY REQUIRES ENCROACHMENT PERMIT FROM CITY'S ENGINEERING DIVISION

	CITY OF DALY CITY, CALIFORNIA DEPARTMENT OF PUBLIC WORKS	STANDARD DETAIL
	CURB, GUTTER & SIDEWALK	**S-2**
	REVIEWED BY: _____ CITY ENGINEER ADOPTED ON: DEC 10, 2018 CITY COUNCIL	DATE: NOV 2018

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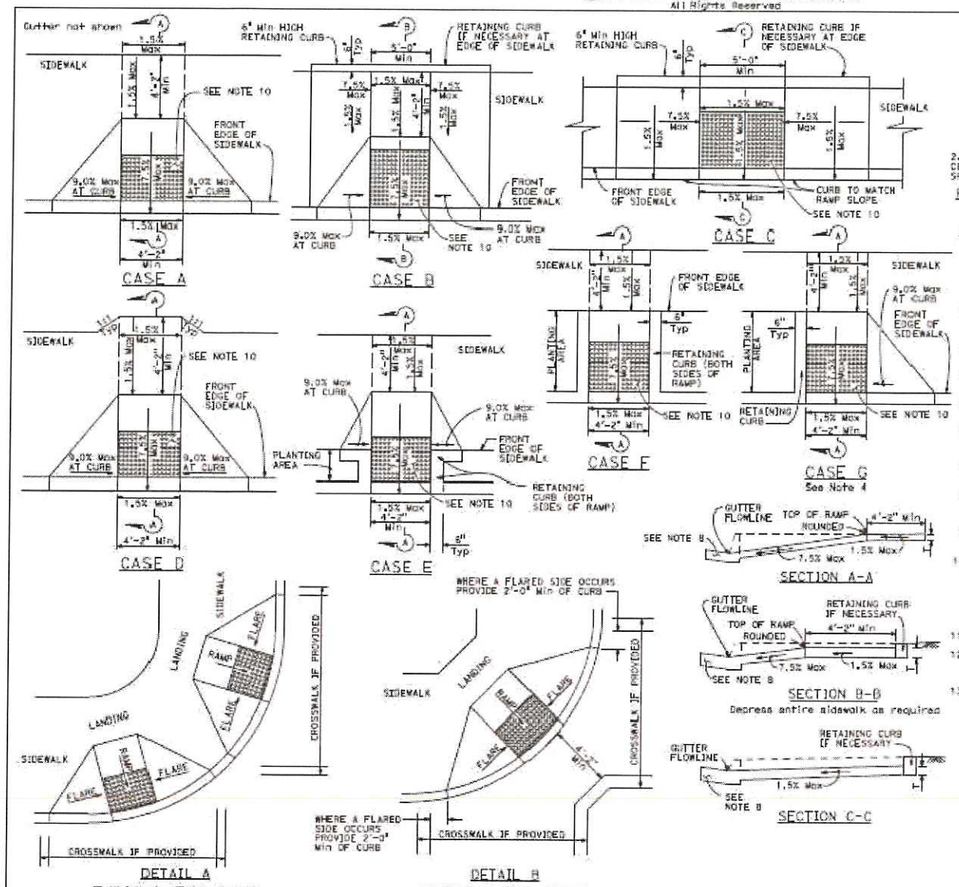
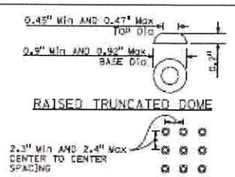




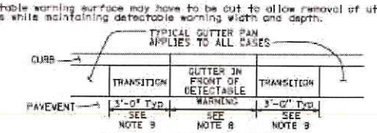
RAISED TRUNCATED DOME

RAISED TRUNCATED DOME PATTERN (IN-LINE)

DETECTABLE WARNING SURFACE

NOTES: See Note 10

1. As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid block locations, as site conditions dictate. For specific site condition configuration, including the conform to existing sidewalk, see Project Plans.
2. If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-2" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B or C or may be widened as in Case D.
3. When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
4. As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
5. The ramp portion of the curb ramp is a typical rectangle, unless modified in the Project Plans.
6. Slope slope of ramp flares vary uniformly from a maximum of 9.0% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
7. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.
8. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1:20(H (5.0%). Gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.
9. Transition gutter pan slope from 1" of depth for each 2'-0" of width to match typical gutter pan slope per Standard Plan A87A.
10. The detectable warning surface will be a rectangle as shown at back of curb, unless modified in the Project Plans. Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable warning surfaces shall extend the full width of the ramp except a maximum gap of 1 inch is allowed on each side of the ramp. Detectable warning surfaces shall conform to the requirements in the Standard Specifications.
11. Sidewalk and ramp thickness, "T", shall be 3½" minimum.
12. Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to, or in conjunction with, curb ramp construction.
13. Detectable warning surface may have to be cut to allow removal of utility covers while maintaining detectable warning width and depth.



CUTTER PAN TRANSITION

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION

CURB RAMP DETAILS

NO SCALE

RSP A88A DATED JULY 21, 2017 SUPERSEDES RSP A88A DATED JULY 15, 2016 AND STANDARD PLAN A88A DATED OCTOBER 30, 2015 - PAGE 127 OF THE STANDARD PLANS BOOK DATED 2015.

REVISED STANDARD PLAN RSP A88A

DIST.	COUNTY	ROUTE	POST MILEPS TOTAL PROJECT	SHEET NO.	TOTAL SHEETS

REGISTERED CIVIL ENGINEER
July 21, 2017
PLANS APPROVAL DATE
THE STATE OF CALIFORNIA OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF COMPUTERIZED OR ELECTRONIC COPIES OF THIS PLAN SHEET.
REGISTERED PROFESSIONAL ENGINEER Hector Ocelotl Carrillo No. C41987 Exp. 3-31-18 CIVIL STATE OF CALIFORNIA

TO ACCOMPANY PLANS DATED _____

2015 REVISED STANDARD PLAN RSP A88A

ROLAND W. YIP, RCE #78990
PROJECT ENGINEER

1/25/19
Date

REGISTERED PROFESSIONAL ENGINEER ROLAND W. YIP No. 78990 Exp. 03-31-20 CIVIL STATE OF CALIFORNIA

THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

STANDARD DRAWINGS

DRAWN IS	DATE 12/18	APPROVED _____ CITY ENGINEER	
CHECKED RY	SCALE NTS		
DESIGNED GW	SURVEY NO.	SHEET NO. 7 OF 7	180207 DRAWING NUMBER REV.

CITY OF DALY CITY

333-90TH STREET

DALY CITY, CA 94015-1895

DATE: February 12, 2019

TO: Gary Webber, Engineering Technician

FROM: Brian Paland, Assistant Planner

601 – seven (7) curb ramps and associated minor concrete work at Santa Barbara St and Theta Ave (3), Hillside Blvd. and East Vista Dr. (North. (1)), School St. and Mission St. (1), 92nd St. and Bryant St. (1), and E. Moltke St. and Bruno Ave (1)

Enclosed, as requested, is the environmental review clearance prepared by the Planning Division for the above project. Based on the information you submitted, it was determined that the project can be exempt pursuant to the requirements of CEQA. As such, a Notice of Exemption was prepared and is attached for your records.

The filing of the Notice is not mandatory, but if done establishes a 35-day statute of limitations period on legal challenges to the decision that the project is exempt from CEQA. If the Notice is not filed, a 180-day statute of limitations will apply.

If you decide to file the Notice with the County, the Notice is posted there for at least 30 days for public inspection and is thereafter returned to us. If the project requires any State agency approval, a copy to the State Office of Planning & Research (OPR) is also appropriate. The addresses for both the County and OPR are provided at the top of the Notice.

Please be advised, however, that the Notice must NOT be filed with the County Clerk or OPR until the project has been approved.

CEQA encourages public agencies to post the Notice of Exemption in electronic format on the Internet.

Should the project lie within the jurisdiction of the State Coastal Commission, approval by that body may be necessary.

If you have any questions or need further assistance, please call me at extension 8035.

NOTICE OF EXEMPTION

CITY OF DALY CITY
Economic & Community Development
333 – 90th Street
Daly City, CA 94015

TO: ☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

☒ Office of County Clerk
Special Services Division
555 County Center, First Floor
Redwood City, CA 94063

PROJECT TITLE: 2018-19 ADA Curb Ramps Project; Project No. 17-314-601

PROJECT LOCATION: Santa Barbara St and Theta Ave (3), Hillside Blvd. and East Vista Dr. (North. (1)), School St. and Mission St. (1), 92nd St. and Bryant St. (1), and E. Moltke St. and Bruno Ave (1).

PROJECT DESCRIPTION: The purpose of the project is to construct seven (7) curb ramps and associated minor concrete work.

PUBLIC AGENCY APPROVING PROJECT: City of Daly City, 333 – 90th Street, Daly City, CA 94015

AGENCY CARRYING OUT PROJECT: City of Daly City, Department of Public Works,
333 – 90th Street, Daly City, CA 94015

EXEMPT STATUS:

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a);
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☑ Categorical Exemption: Section 15301 Rehabilitation of Damaged Structures

REASONS WHY PROJECT IS EXEMPT: Project involves minor improvements to existing public sidewalks and meets the exemption statute pursuant to CEQA Guidelines.

LEAD AGENCY CONTACT PERSON: Gary Webber, Engineering Technician **Phone:** (650) 991-8297

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: [signature] **Title:** Assistant Planner **Date:** 2/13/19

Date Received for Filing and Posting at OPR:

City Council Meeting Agenda Report

Item # ____

Meeting Date: March 11, 2019

To: Honorable City Council

From: Angie Padilla, City Manager's Office

Date: March 11, 2019

Subject: Council Committee Meetings February 25-March 10, 2019

Date of Meeting:	Meeting:	In Attendance:
Feb. 25, 2019	Development Council Committee Hotel & Conference Ctr.	Sylvester Manalo Maltbie Zimmerman Mothershead Van Lonkhuysen
Feb. 28, 2019	Development Council Committee Carvana	Sylvester Manalo Maltbie Zimmerman Mothershead Van Lonkhuysen
March 4, 2019	CDBG Council Committee Discuss 2019-2020 CDBG Allocations	Sylvester Daus-Magbual Maltbie Mothershead Zobell Suliguin

/ap

CITY OF DALY CITY INTER-OFFICE MEMORANDUM

DATE: February 8, 2019

TO: See Below

FROM: Angie Padilla, City Manager's Office

SUBJECT: **MEETING NOTICE**

RE: **Development Council Committee**
HOTEL AND CONFERENCE CENTER

DATE: **Monday, February 25, 2019**

TIME: **5:00 p.m. – 6:00 p.m.**

PLACE: Administrative Conference Room
City Hall

ATTENDING:

City Participants:

Glenn Sylvester, Vice Mayor

Juslyn Manalo, Councilmember

Shawnna Maltbie, Interim City Manager

Rose Zimmerman, City Attorney

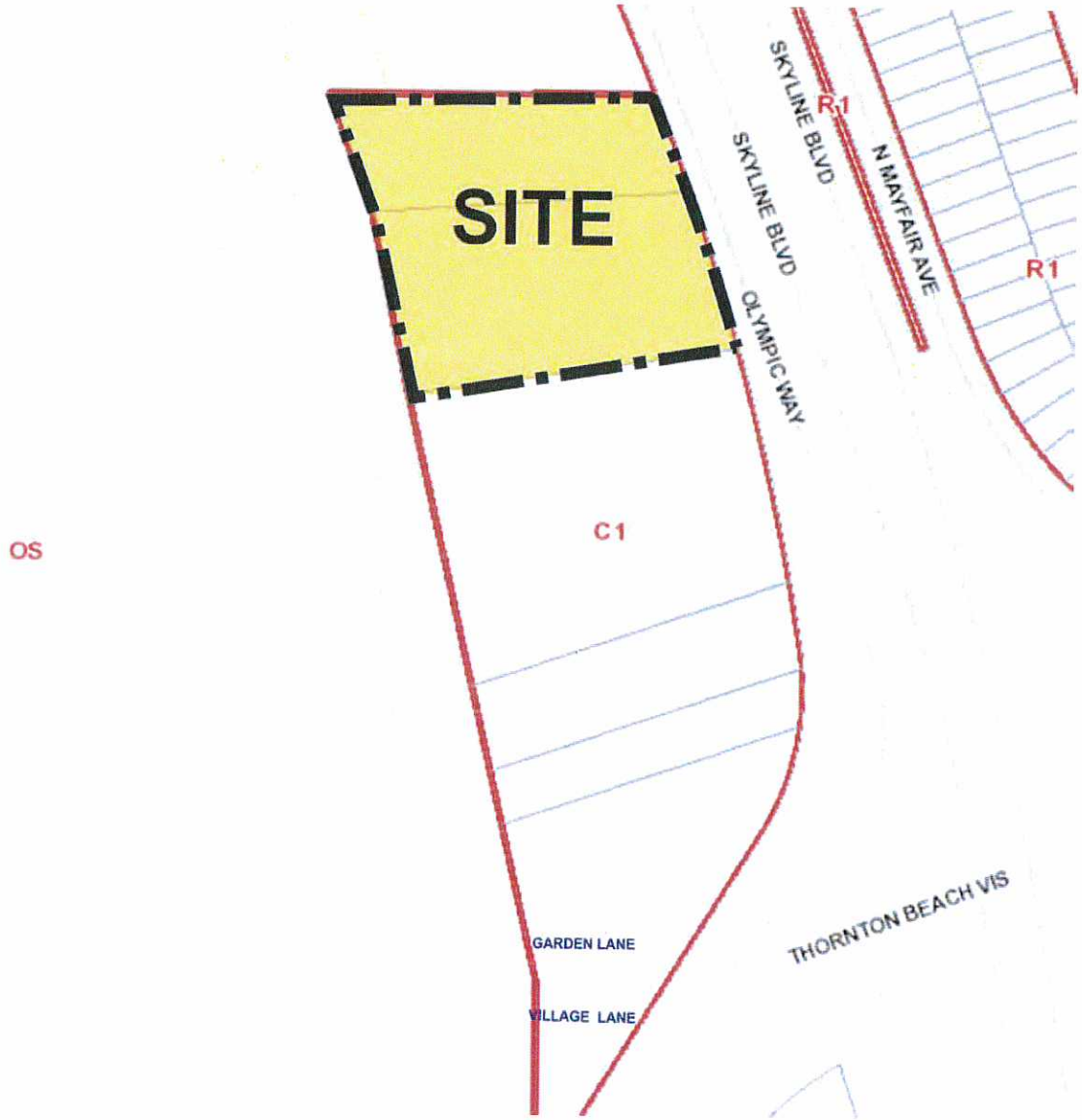
Tatum's Mothershead, Dir of ECD

Michael Van Lonkhuysen, Planning Mgr.

Other Participants:

APPLICANT

cc: City Council



ATTACHMENT A

MAR VISTA HOTEL, HOSTEL & STABLES

PRE-APPLICATION SET

2116 Olympic Way
Daly City, California 94018

ATTACHMENT B

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Marion
eomarion@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 7200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 536 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

NOT FOR CONSTRUCTION

DISCLAIMER

THE ARCHITECT/ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY DEFECTS, COSTS, LOSS OR DAMAGE OF EVERY KIND AND NATURE RESULTING TO ANY USE OF THE DESIGN FOR ANY PURPOSE OTHER THAN THE INTENDED PURPOSE ON THE PROJECT. THE OWNER AGREES TO MEET CHARGEBACK BY CONTRACTOR WITH ALL RELATED DESIGN WORK. ANY DEL RIVING REMEDIATED TO THE TEAM SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT/ENGINEER. THE OWNER AGREES TO CONTACT THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH ANY WORK. DRAWINGS REQUIRED DIMENSIONS ARE TO BE USED FOR ORDER PLACING.

DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

PRE PLANNING

REVISION

NOVEMBER 14, 2018

SCALE NOT TO SCALE

DRAWN BY LS

CHECKED BY EG

RENDERING

T-100

MAR VISTA HOTEL, HOSTEL & STABLES

PROJECT ADDRESS:

2116 Olympic Way
Daly City, California 94018

PROJECT DESCRIPTION:

THIS PROJECT DESCRIPTION IS FOR PRE-APPLICATION CONFERENCE OF THE MAR VISTA HOTEL DEVELOPMENT. THE PROJECT SITE IS LOCATED ON THE 2.523 ACRE PROPERTY ON 2116 OLYMPIC WAY, DALY CITY, CALIFORNIA.

DALY CITY 2030 GENERAL PLAN DEFINES THE PROJECTS PLANNING AREA'SKYLINE' AS "ALTHOUGH PHYSICALLY SIMILAR TO AND TECHNICALLY A PART OF THE WESTLAKE NEIGHBORHOOD, THIS AREA IS DISTINGUISHED DUE TO ITS LOCATION WITHIN THE CALIFORNIA'S COASTAL ZONE. THE BASIC GOALS OF THE COASTAL ACT ARE TO PROTECT ENVIRONMENTAL RESOURCES, PROMOTE A BALANCED UTILIZATION AND CONSERVATION OF COASTAL RESOURCES, MAXIMIZE PUBLIC ACCESS (BOTH PHYSICAL AND VISUAL) TO THE COASTLINE, AND ASSURE PRIORITY FOR COASTAL DEPENDENT DEVELOPMENT."

THE DALY CITY COASTAL ELEMENT REQUIRES THAT THE DEVELOPMENT OF LAND ON THE BLUFFTOP OVERLOOKING THORNTON BEACH SHALL BE RESERVED FOR "RECREATION AND VISITOR SERVING USES". USES ARE NOT CLEARLY DEFINED, ONLY GENERALLY REFERRED TO AS NOT RESIDENTIAL GENERAL INDUSTRIAL, OR OTHER COMMERCIAL LAND USES.

DALY CITY 2030 GENERAL PLAN DESIGNATED THE PROPERTY AS 'COMMERCIAL (C-RO') ZONE AND DEFINES IT AS "THIS LAND USE DESIGNATION CONSISTS OF RETAIL AND OFFICE USES BOTH REGIONAL AND CITY WIDE IN SCOPE. TYPICALLY APPLICABLE TO A WIDE RANGE OF COMMERCIAL SHOPPING AREAS. THE FAR VARIES FOR LAND USES WITHIN THIS CATEGORY AND RANGES FROM 2.5 FAR TO 5.0 FAR."

THIS PROJECT IS FOR A HOTEL, HOSTEL AND STABLE OPEN TO THE PUBLIC.

THE DEVELOPMENT PLAN WILL INCLUDE ~90 HOTEL ROOMS, ~40 HOSTEL BEDS AND ~10 HORSE STABLES; 6,263 SQUARE FEET OF LOBBY/ DINING SPACE AND 3,669 SQUARE FEET OF ADMINISTRATIVE/ SUPPORT SPACE.

THE PROJECT IS FULLY COMPLIANT WITH THE DALY CITY 2030 GENERAL PLAN.

DRAWING INDEX:

PAGE	DESCRIPTION	SCALE
T-100	RENDERING	NOT TO SCALE
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AX-100	EXISTING SITE PLAN	NOT TO SCALE
AX-101	EXISTING STABLE BUSINESS CONDITIONS	NOT TO SCALE
AX-102	EXISTING STABLE BUSINESS CONDITIONS	NOT TO SCALE
AX-103	EXISTING STABLE BUSINESS CONDITIONS	NOT TO SCALE
AX-104	LAND USE MAP	NOT TO SCALE
A-100	SITE PLAN	1/32" = 1'-0"
A-101	GROUND FLOOR PLAN	1/16" = 1'-0"
A-102	TYPICAL HOTEL FLOOR PLAN	1/16" = 1'-0"
A-200	RENDERING	NOT TO SCALE
A-201	RENDERING	NOT TO SCALE
A-300	SITE SECTIONS	1/16" = 1'-0"
A-400	VISION BOARD	NOT TO SCALE
A-401	VISION BOARD	NOT TO SCALE
A-402	VISION BOARD	NOT TO SCALE

PROJECT DIRECTORY

DEVELOPER
HARBINGER DEVELOPMENT
103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
email: eomarah@harbingerdev.com

ARCHITECT
ERIK GRUNIGEN
955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

CIVIL ENGINEER
SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.
1700 S.WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

PROJECT CODES:

THE MAR VISTA HOTEL PROJECT SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 (CALIFORNIA BUILDINGS STANDARDS CODE), THE AMERICANS FOR DISABILITIES ACT, AND THE MUNICIPAL CODE OF DALY CITY.

2016 CALIFORNIA ADMINISTRATIVE CODE
2016 CALIFORNIA BUILDING CODE, VOL. 1 & 2
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALI GREEN BUILDING STANDARDS CODE
2016 CALI REFERENCED STANDARDS CODE

SITE INFORMATION

EXISTING SITE PLAN & AERIAL

CALIFORNIA

SAN MATEO COUNTY

PROPOSED SITE PLAN

DATA TABLE

ENTITLEMENT APPROVALS

COASTAL DEVELOPMENT PERMIT
ARCHITECTURE AND SITE PERMIT

SUBSEQUENT APPROVALS

CONSTRUCTION PERMITS

GOVERNING AGENCIES: DESIGNATION

MUNICIPALITY:	STATE OF CALIFORNIA
APPLICABLE CODES	CALIFORNIA BUILDING CODES (CBC) 2016
GENERAL DESIGNATION:	SKYLINE PLANNING AREA DALY CITY COASTAL ELEMENT
ZONING:	C-RO (COMMERCIAL)
GENERAL PLAN AREA:	SKYLINE

CODE COMPLIANCE/ DEVIATIONS

	APPLICABLE STANDARD	PROPOSED
USE & OCCUPANCY CLASSIFICATION	CBC 2016	ASSEMBLY GROUP A-2 RESIDENTIAL GROUP R-1
PUBLIC USE ACCESS TRAIL	BLUFFTOP ACCESS REQUIRED	ACCESS PROVIDED, SEE A-100
REAR YARD SETBACK LIMIT	50' SETBACK FROM BLUFF EDGE (COASTAL ELEMENT)	50' SETBACK FROM BLUFF EDGE
FRONT YARD SETBACK LIMIT	10' MIN.	> 10 FEET
HEIGHT LIMIT	36' (ZONING) 20' (COASTAL ELEMENT)	29 FEET
BUILDING STORIES	1 (COASTAL ELEMENT)	3
FAR	2.5 - 5.0 (ZONING) 0.1 (COASTAL ELEMENT)	0.45

		EXISTING	PROPOSED
LOT COVERAGE	10%	35% (38,550 SF)	19% (21,300 SF)
VIEW CORRIDOR	15% MIN. (ZONING)	0%	15% (45 FEET)

SITE STATISTICS

SITE AREA (ACRES)	2.523
SITE AREA (GROSS SQUARE FEET)	109,906
EXISTING BUILDINGS FOOTPRINT (SQUARE FEET)	38,550
EXISTING IMPERVIOUS SURFACE AREA (SQUARE FEET)	0
SITE GRADE ELEVATIONS	218.1' - 217.2'

BUILDING AREA BY PROGRAM

		SQUARE FEET
HOTEL		
GROUND LEVEL:	ADMINSTRATIVE/SUPPORT ROOMS	2,312
	LOBBY	1,336
	CAFE & RESTAURANT	3,149
	ROOMS (17)	6,803
SECOND FLOOR:	ROOMS (33)	12452
	CIRCULATION	1,848
THIRD FLOOR:	ROOMS (33)	12,452
	CIRCUALTION	1,848
HOSTEL	LOBBY/DINING	1,778
	SUPPORT ROOMS	457
	36 BEDS (6 ROOMS)	1,915
HORSE STABLES	STABLES (10)	2,650
	ADMINISTRATIVE/ SUPPORT ROOMS	900
TOTAL NET FLOOR AREA		21,300
TOTAL GROSS FLOOR AREA		49,900
TOTAL UNENCLOSED AREA (TERRACES, BALCONIES, RAMPS, ELEVATED WALKWAYS)		2,347

PARKING SUMMARY

	REQUIRED STALLS	PROVIDED STALLS	TOTAL PROVIDED
DIMENSIONS	8'-6" x 19'-0"	8'-6" x 19'-0"	
PARKING COUNT	121 (* 83+6+12+20)	62	62

* ONE STALL PER ROOM PLUS ONE STALL FOR EACH 300 SF OF LOBBY AND ADMINISTRATIVE AREA. ONE STALL FOR EVERY 200 SF OF ASSEMBLY AREA.

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT
103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS
955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.
1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

NOT FOR CONSTRUCTION

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

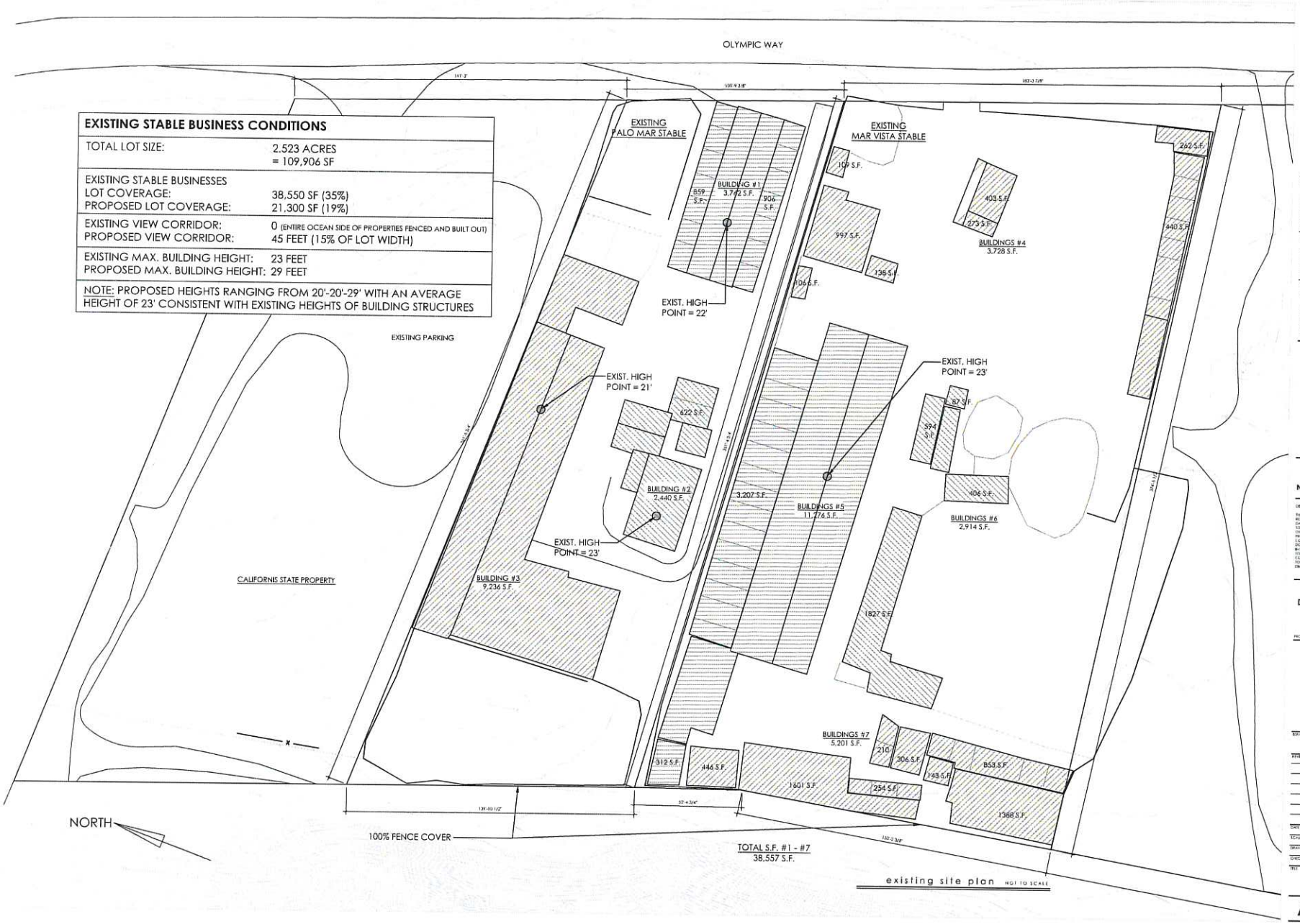
PRE PLANNING

REVISION

DATE	NOVEMBER 14, 2018
SCALE	NOT TO SCALE
DRAWN BY	LS
CHECKED BY	EG

TITLE **PROJECT INFORMATION & DATA**

T-101



existing site plan NOT TO SCALE

EXISTING STABLE BUSINESS CONDITIONS	
TOTAL LOT SIZE:	2.523 ACRES = 109,906 SF
EXISTING STABLE BUSINESSES LOT COVERAGE:	38,550 SF (35%)
PROPOSED LOT COVERAGE:	21,300 SF (19%)
EXISTING VIEW CORRIDOR:	0 (ENTIRE OCEAN SIDE OF PROPERTIES FENCED AND BUILT OUT)
PROPOSED VIEW CORRIDOR:	45 FEET (15% OF LOT WIDTH)
EXISTING MAX. BUILDING HEIGHT:	23 FEET
PROPOSED MAX. BUILDING HEIGHT:	29 FEET
NOTE: PROPOSED HEIGHTS RANGING FROM 20'-20'-29' WITH AN AVERAGE HEIGHT OF 23' CONSISTENT WITH EXISTING HEIGHTS OF BUILDING STRUCTURES	

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT
103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS
955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 3200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.
1700 S. WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

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DATE NOVEMBER 14, 2018
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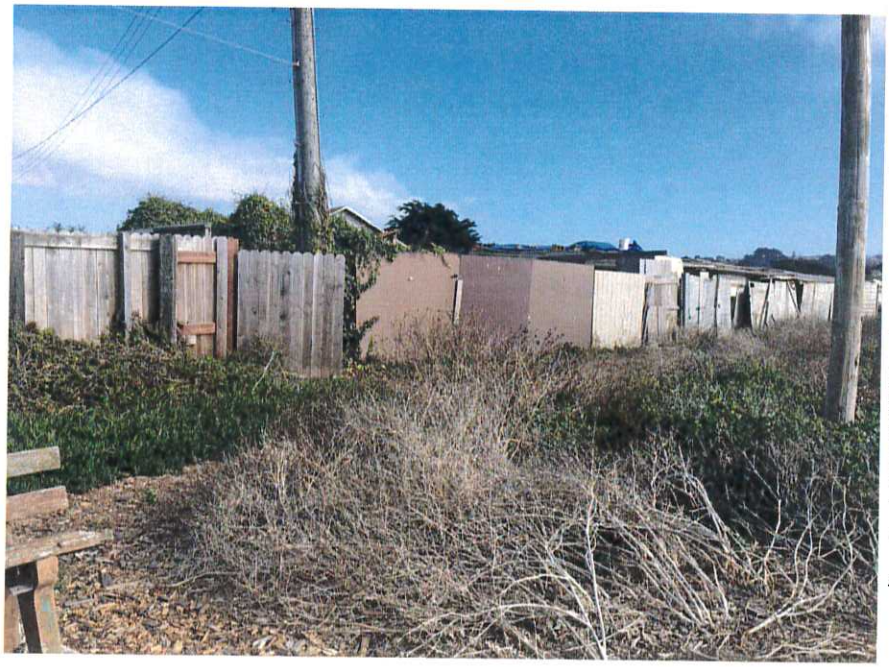
TITLE **EXISTING SITE PLAN**

AX-100



MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN DILCOTT
email: kdilcott@sandis.net

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PROJECT PHASE

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TITLE **EXISTING STABLE BUSINESS CONDITIONS**

AX-101

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 3200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

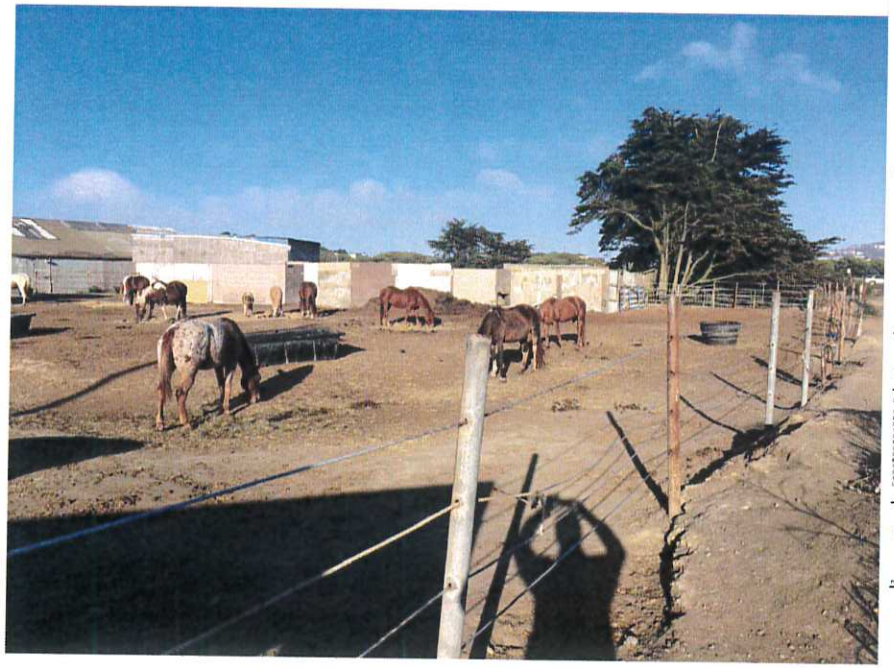
PROJECT PHASE

GRAPHICS: PRE SCHEMATIC

REVISION:

DATE: NOVEMBER 14, 2018
SCALE: NOT TO SCALE
DRAWN BY: LS
CHECKED BY: EG
TITLE: **EXISTING STABLE BUSINESS CONDITIONS**

AX-102



MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Moran
eomoran@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

NOT FOR CONSTRUCTION

DISCLAIMER

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUANCE
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DATE NOVEMBER 14, 2018
SCALE NOT TO SCALE
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TITLE **EXISTING STABLE BUSINESS CONDITIONS**

AX-103

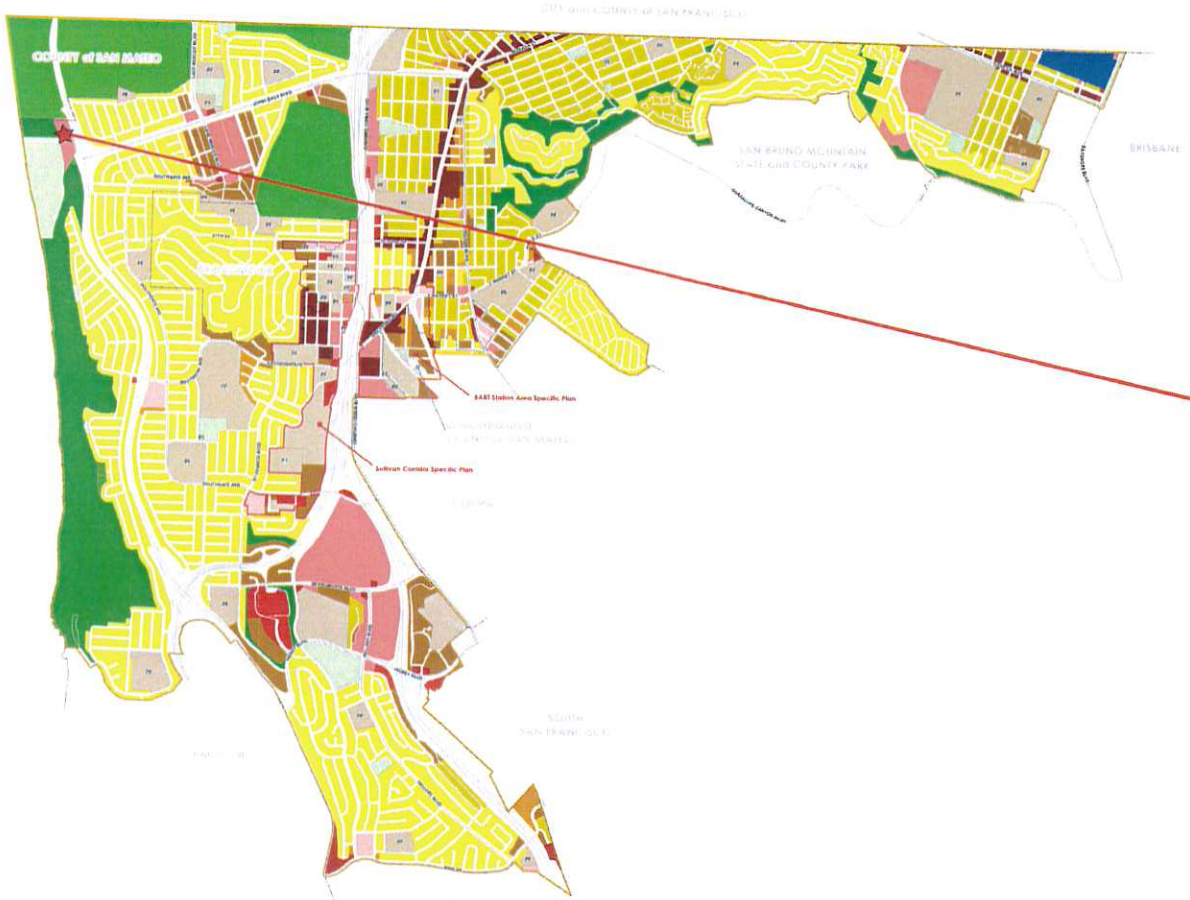

Figure LUE-3
FUTURE LAND USE

Residential
- Residential Open Space (R-OS)
- Low Density (R-LD)
- Medium-Low Density (R-MLD)
- Medium Density (R-MD)
- High Density (R-HD)
- Very High Density (R-VHD)

Recreation and Open Space
- Public Park (PP)
- Private Recreation (PR)
- Open Space Preservation (OSP)

Commercial
- Neighborhood (C-N)
- Retail and Office (C-RO)
- Office (C-O)
- Service (C-S)
- Mixed Use (C-MU)

- Industrial (I)

Public & Institutional Facilities
- BART (BART)
- Cemeteries (CEM)
- Public Facilities (PF)
- Hospitals (H)

- Sphere of Influence

CITY OF DALY CITY

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT
103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS
955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.
1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

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DATE	NOVEMBER 14, 2018
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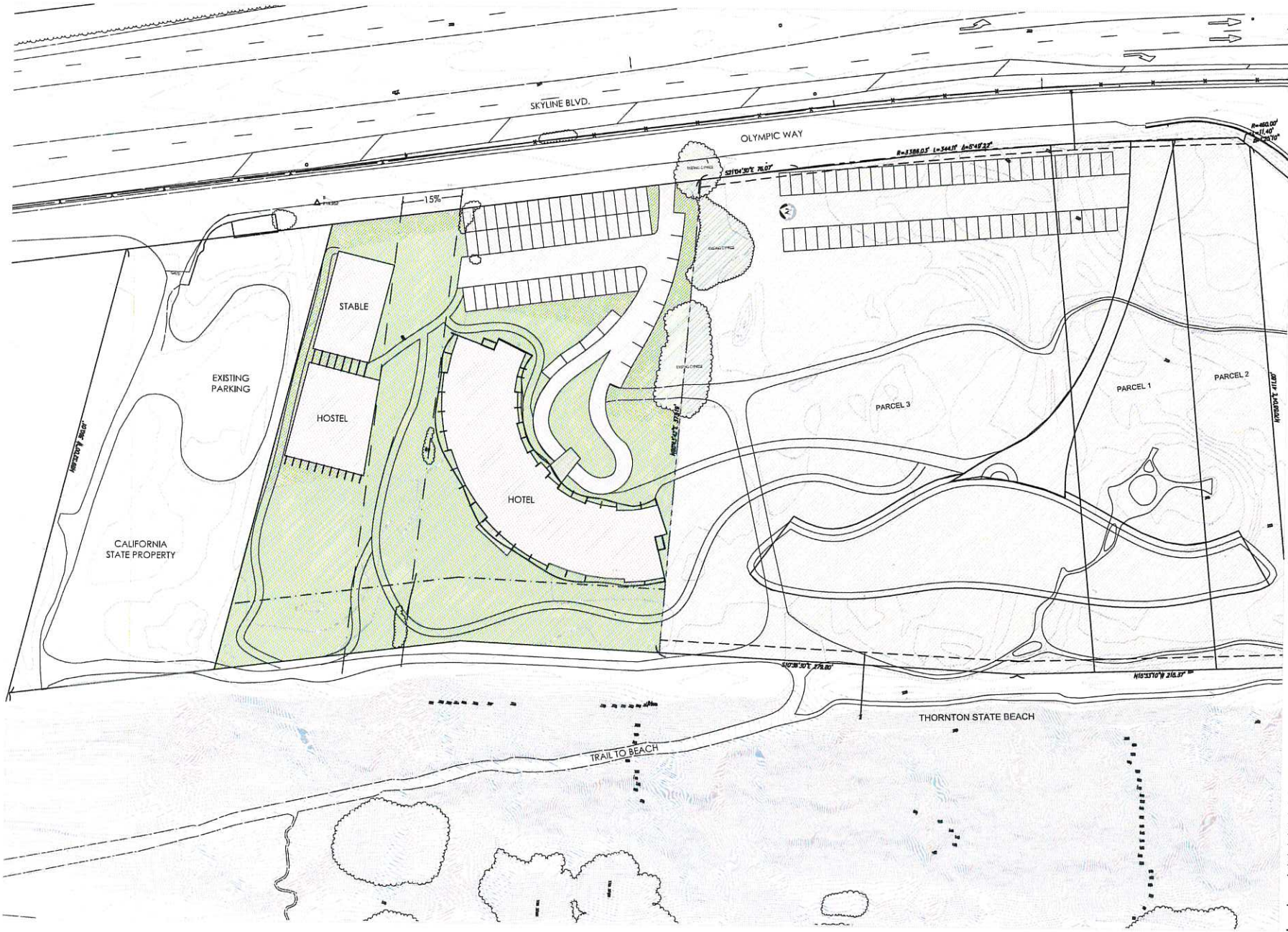
TITLE: **LAND USE MAP**

AX-104



MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT
103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Moran
eomoran@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS
955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC
1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

NOT FOR CONSTRUCTION

DISCLAIMER

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

PRE-SCHEMATIC

REVISION

DATE NOVEMBER 14, 2018
SCALE 1/32" = 1'-0"
DRAWN BY AF
CHECKED BY EG
TITLE **SITE PLAN**

A-100

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 3200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN GLCOTT
email: kidgott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUANCE

PRE-SCHEMATIC

REVISION

NOVEMBER 14, 2018

SCALE 1/16" = 1'-0"

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GROUND FLOOR PLAN

A-101

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Kieran
eomarch@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 7200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 2900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUANCE: PRE-SCHEMATIC

REVISION:

NOVEMBER 14, 2018

SCALE: 1/16" = 1'-0"

DRAWN BY: AF

CHECKED BY: EG

TYPICAL FLOOR PLAN

A-102

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Meara
eomeara@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 7200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S. WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0100
CONTACT: KEN DUCOTT
email: kducott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

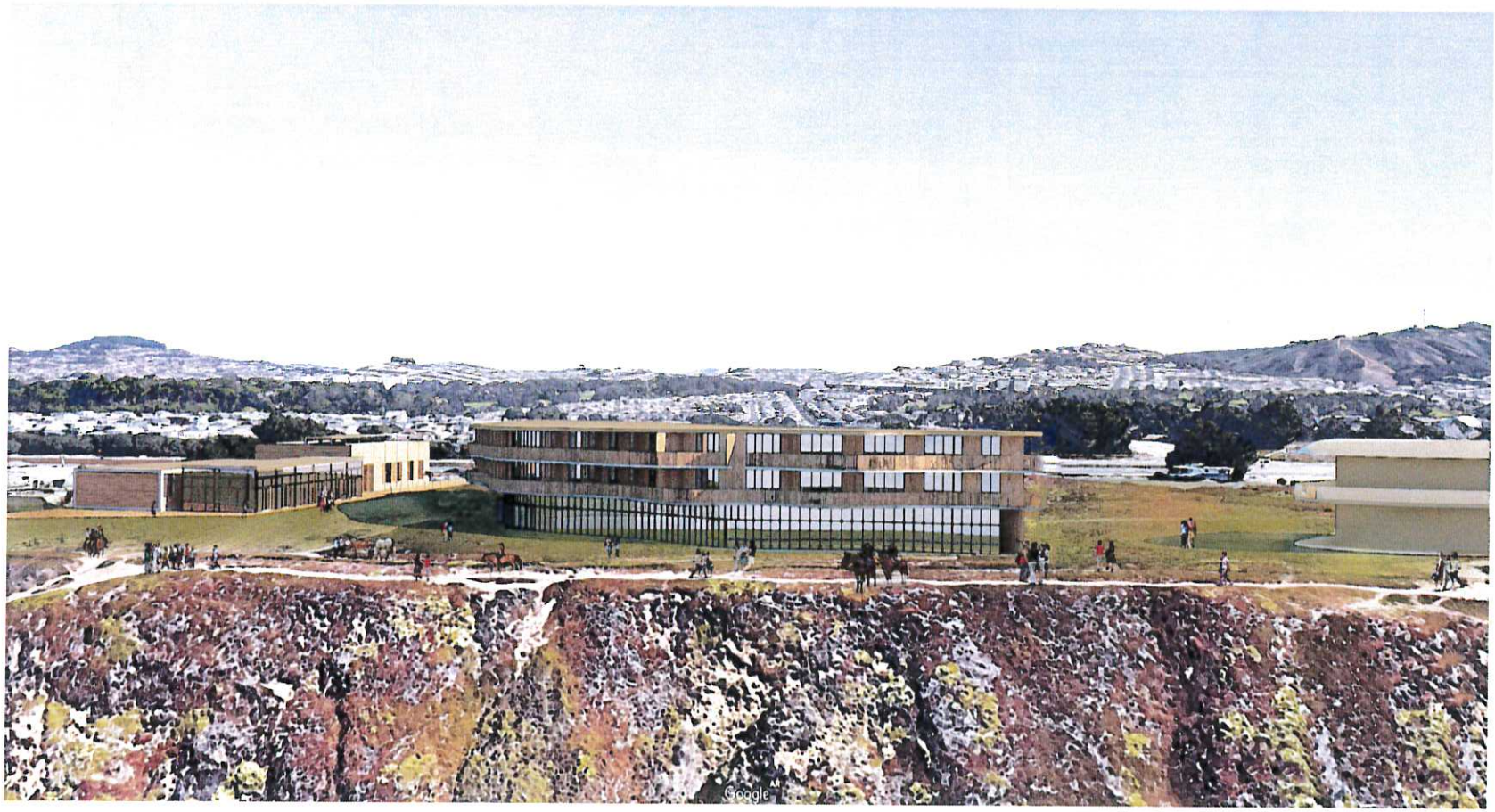
PROJECT PHASE

SUBMITTAL PRE SCHEMATIC

REVISION

DATE NOVEMBER 14, 2018
SCALE NOT TO SCALE
DRAWN BY LS
CHECKED BY EG
TITLE **RENDERING**

A-200



MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S. WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUANCE PRE SCHEMATIC

REVISION

DATE NOVEMBER 14, 2018
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TITLE **RENDERING**

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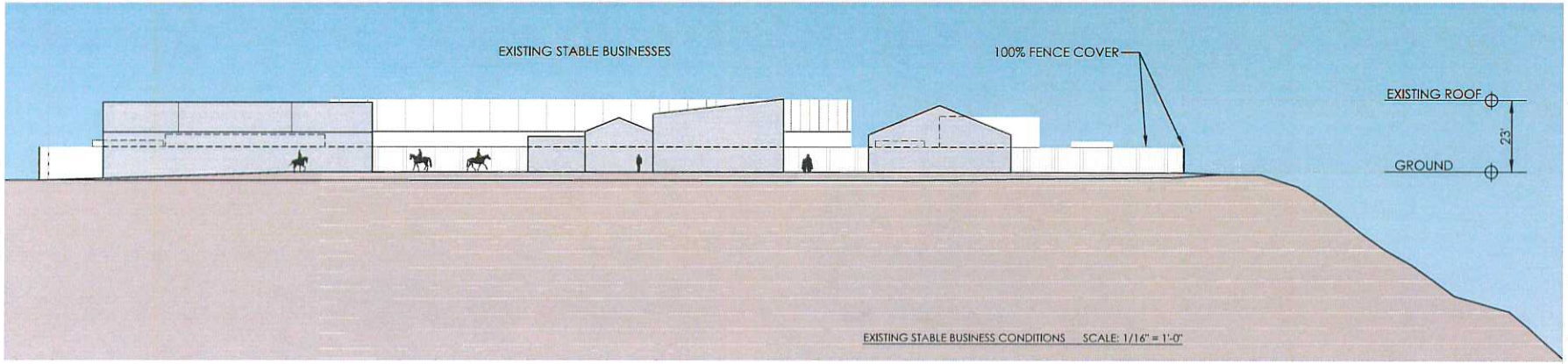

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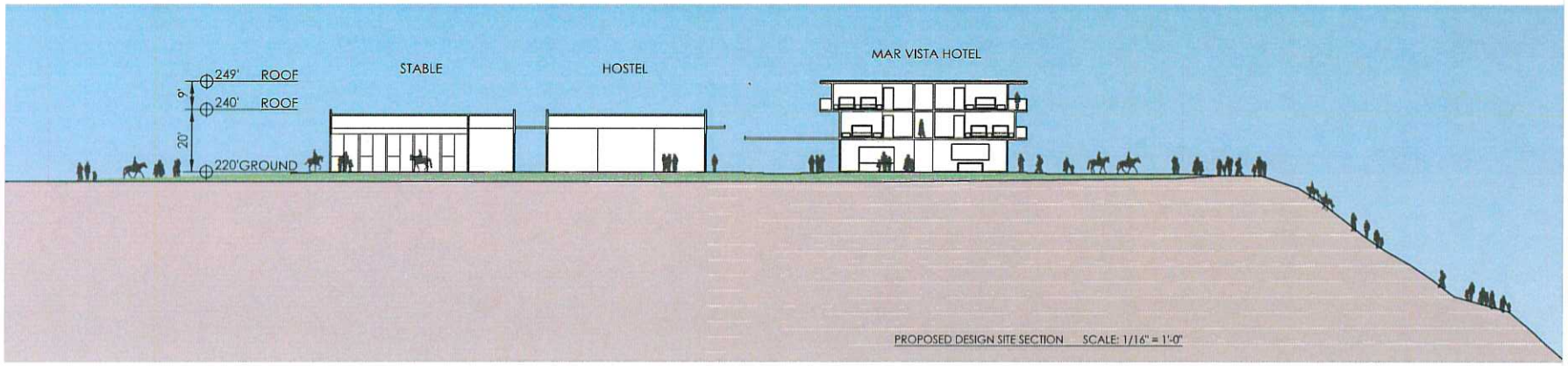
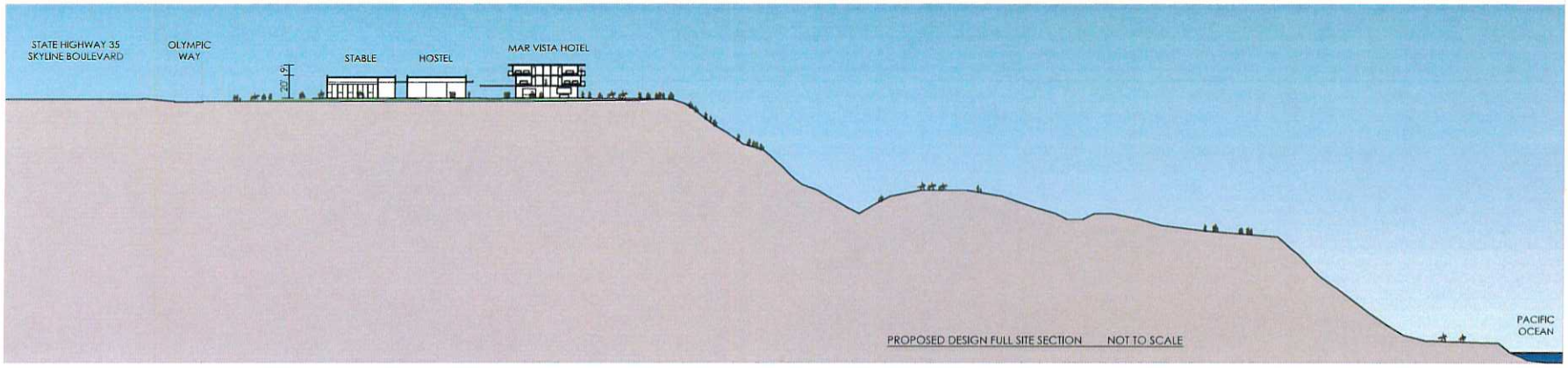


PROPOSED DESIGN SITE SECTION SCALE: 1/16" = 1'-0"



PROPOSED DESIGN FULL SITE SECTION NOT TO SCALE

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER
DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Marah
eomarah@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 823 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636-0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUE FOR PRE SCHEMATIC

REVISION

DATE NOVEMBER 14, 2016
SCALE 1/16" = 1'-0"
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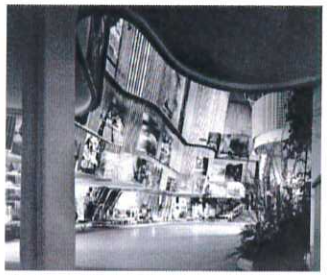
TITLE **SITE SECTIONS**

A-300



MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Mahoney
eomahony@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC

1700 S. WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 536 0900
CONTACT: KEN DILCOTT
email: kdilcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

ISSUANCE
PRE-SCHEMATIC

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SCALE	NOT TO SCALE
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CHECKED BY	EG

VISION BOARD

A-400

MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 9999
CONTACT: Eamon O'Moran
eomoran@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 822 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S. MANCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 626 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

GRAPHICS: PRE SCHEMATIC

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DATE: NOVEMBER 14, 2016
SCALE: NOT TO SCALE
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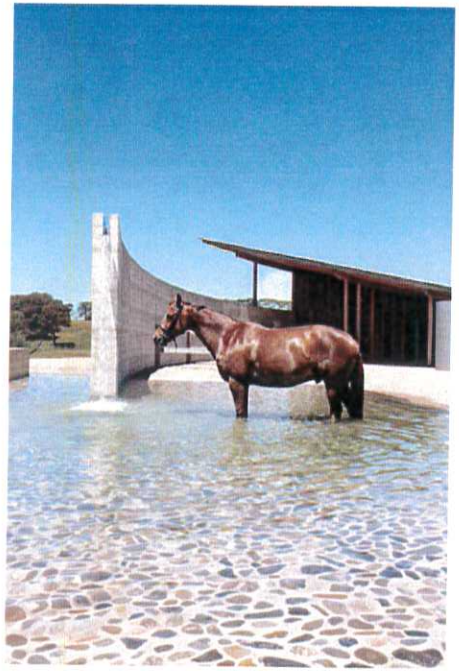
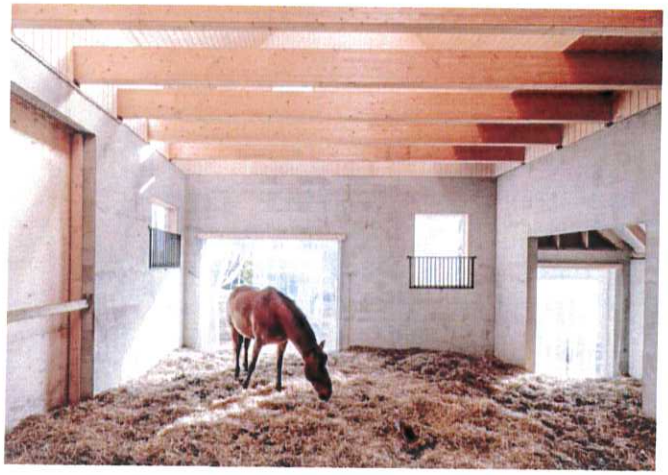
TITLE: **VISION BOARD**

A-401





MAR VISTA HOTEL, HOSTEL & STABLES

HARBINGER DEVELOPMENT

HARBINGER DEVELOPMENT

103 CENTRAL STREET
WELLESLEY, MA 02482
phone: 781 992 5999
CONTACT: Eamon O'Meara
eomeara@harbingerdev.com

ERIK GRUNIGEN ARCHITECTS

955 LOVELL AVENUE
MILL VALLEY, CA 94941
phone: 617 833 2200
email: erik.grunigen@gmail.com

SANDIS CIVIL ENGINEERS SURVEYS PLANNERS, INC.

1700 S. WINCHESTER BLVD., STE 200
CAMPBELL, CA 95008
phone: 408 636 0900
CONTACT: KEN OLCOTT
email: kolcott@sandis.net

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DALY CITY PLANNING PRE-APPLICATION

PROJECT PHASE

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REVISION

DATE NOVEMBER 14, 2018
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TITLE **VISION BOARD**

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HARBINGER
DEVELOPMENT

SCANNED
11-16-18

RECEIVED
NOV 16 2018
CITY OF DALY CITY
ECD/PLANNING DIV.

November 14, 2018

Michael VanLonkhuysen,
Planning Manager
City of Daly City
333 90th Street
Daly City, CA 94015

RE: Pre-Application Submittal_ Mar Vista Hotel, Hostel & Stables
2116 Skyline Boulevard (APNs: 001-011-040 and 050)

Dear Michael:

Please see attached our Pre-Application Form and plans for formal review of our Re-Development of the Mar Vista and Palo Mar Stables Parcels in Daly City, CA.

Existing Stable Businesses on the Parcels:
The Mar Vista Stables is currently active for public use with horse riding access through trails down the coastal bluff slope, but the facilities are in severe disrepair. The overall poor condition of the stable facilities limits the public use experience of the Property and houses the horses in inadequate conditions. The Palo Mar Stables are Closed.

Stables Existing Conditions consist of the following:

- 38,550 square feet of structural Lot Coverage on the Property = 35% Lot Coverage.
- 0% "Viewshed" from Skyline Blvd. to the Pacific Ocean; 8-10 foot fence entire Lot Line.
- 23 foot tall existing structures in several two-story structures.
- Entire ~110,000 square foot Property is hardened, utilized and disturbed.

Project Description:
The Mar Vista Hotel, Hostel & Stables is proposed to be a 49,900 square foot project in three buildings dispersed on 2.523 acres (the "Project). The Project will range from one-story to three-stories new structures including extensive "public amenities":

- ~85 room Hotel with 4,485 square feet of public space restaurant, bar & café lobby on the ground floor that is flexible for meeting capacity.
- ~36 beds in a Hostel with 1,778 square feet dedicated kitchen, lounge and lobby.
- ~10-12 stall Horse Stable facility with additional Office management space.

ATTACHMENT C

- The Project building heights range from ~20 feet for the Stable, ~20 feet for the Hostel and ~29' for the Hotel with an average Height across the Project of 23 feet which is compatible with the maximum height of the stables building to the north at 23 feet high.
- The combined three-building Project has a Net Site Coverage of 21,300 equal to 19% Lot Coverage.
- The Project will have a Floor Area Ratio of ~0.45.
- Per City code requirements, we incorporated a 15% "Viewshed" from Skyline Boulevard.
- Project set back 50 feet from the Property Line and for public access along the "bluff edge".
- ~65 parking stalls, although we would like to work with the City on ways to reduce to the total on-site parking and overall hardscape paving areas. We expect the majority of our hotel and hostel guests will arrive to the Property via Uber, Lyft or livery. Harbinger will complete a parking analysis prepared by a City-approved parking consultant.
- We intend to collaborate with the proposed Olympic Way Retreat on the abutting Parcels which is envisioned as a public and private event center managed primarily as a non-denominational retreat center and also potentially for weddings and panel discussions to corporate retreats by local companies. We have met with Sand Hill Property Company to discuss site planning, access, parking and final programming.

Project Vision

The Mar Vista Project embraces this spectacular Site and its 'Sea View' with a new equestrian facility and hotel with hostel to provide price range and options to attract more people and provide more public access to this spectacular location on the Coastline in Daly City. At this "location along the bluff…viewpoints can be established," that are now 100% blocked to and along the coast.

As stated in the Daly City Local Coastal Plan (LCP), the real purpose in aiming "to maximize public access to the beach is to enhance public recreation opportunities in the coastal zone". To achieve these policies and goals, the LCP promotes and encourages visitor-serving, commercial recreational broadly such as hotel & hostel and the inclusion of horse stables as acceptable uses at the Property.

Hotels are 100% facilities of public accommodation by their use - and maximize public access. The ground floor will have a great destination food & beverage component open to all to enjoy the 'Sea View', open bluff and gradual trails to the beach. The Hostel will offer a lower price point for accommodations at this special site to attract a broader range of people to visit and enjoy recreation at this coastal location.

HARBINGER
DEVELOPMENT

At the time of the Daly City LCP certification, the existing horse stables were the "only existing commercial recreation facility" and a valuable "historic resource". Unfortunately at this time, Palo Mar Stables are Closed - and not an active horse stable or recreation facility. Mar Vista Stables is operating but the facilities are in disrepair. The Horse Stables component is very important to the character and identity of the Project…we envision horses being ridden along the bluff to beach trails passing visibly in front of the public spaces in the hotel & hostel which will animate the experience for all. By introducing new, clean, safe and functional stables and support facilities, we will ensure that horse riding as a commercial recreation with access to the beach will remain at this location for generations to come.

We believe our proposed Project greatly improves coastal access and views - and importantly maintains horseback riding at this location while introducing new "recreation and visitor serving uses". We recognize the importance of this coastal Site in a Resource Protection (RP) Combining District and its development influence by the Daly City LCP, and as such would request that you also help schedule a meeting with the California Coastal Commission Staff to gain feedback and allow us to present our vision for this Property in Daly City.

We look forward to receiving your comments and meeting with you.

Sincerely,

Eamon C. O'Marah
Managing Partner

Attachments
Attachment A – Pre-Application Form with Notarized signatures and Check for Fees
Attachment B – Project Information and Plans

DALY CITY INTER-OFFICE MEMORANDUM

COUNCIL COMMITTEE
DATE: February 25, 2019

TO: Development Council Committee
Glenn Sylvester, Vice Mayor
Juslyn Manalo, Councilmember

FROM: Michael VanLonkhuysen, Planning Manager

VIA: Tatum Mothershead, Director of Economic and Community Development
Shawnna Maltbie, City Manager

SUBJECT: Mar Vista Hotel, Hostile, and Stables - 2116 Olympic Way (APNs 002-001-040 and 050); Pre-Application Conference PAC-11-18-13763

BACKGROUND

The applicant, Harbinger Development, LLC, has submitted a request to receive preliminary comments from the Council Committee on a proposal to construct a 85-room hotel with bar and restaurant in three one- to three-story buildings on vacant parcel on Olympic Way (see Attachment A – Site Location). The project includes a 12-stall horse stable and 36-bed hostel (see Attachment B – Project Plans and Attachment C – Project Narrative).

The subject site is presently occupied by the Mar Vista Horse Stables, which provides boarding and access to adjacent trails down to Thornton State Beach which is otherwise inaccessible. The Palo Mar Stables, which also occupies the site, appears to be closed.

DISCUSSION

The proposed 49,900 square foot project would consist of three buildings on 2.5-acres, ranging from one to three stories, and consisting of the following:

- 85-room hotel with 4,485 square foot restaurant;
- 36-beds hostel with 1,778 square feet dedicated kitchen, lounge, and lobby; and
- 10-12 stall horse stable facility with office.

Proposed building heights would be 20 feet for the stable and hostel, and 29 feet for the hotel, providing an average height of approximately 23 feet. These heights, according to the applicant, would be generally the same height as the existing structures that occupy the properties. Also according to the applicant, the project plans reflect 19 percent lot coverage, which would be a reduction from the present 35 percent coverage. Buildings would also be set back from the adjacent bluff top at least 50 feet. Upon formal application, staff would review the project for conformance with all applicable development regulations.

In developing the above building program, the applicant is attempting to conform the project as much as possible to the existing coastal development regulations applicable to the site. These development regulations are established through the Resource Protection (-RP) combining zone district in the Zoning Ordinance and in the City's Coastal Element, which also serves as the City's Local Coastal Program (LCP). Staff anticipates that an amendment to the LCP would be necessary to fully implement the project as envisioned. The LCP amendment would be considered first by the City Council and then, if approved by the City Council, advanced to the California Coastal Commission for consideration. This process differs from most projects considered by City Council proposed in the -RP combining zone which do not require an LCP amendment (e.g., decks, rear additions to homes, etc.). In these cases the City Council is authorized to approve such projects and neighboring property owners or residents have appeal rights to the Coastal Commission (the Commission itself can also appeal any approval).

The Council Committee should be aware that the applicant has made an effort to collaborate with the potential developer of the adjacent property to the north, Sand Hill Property Company (SHPC). In May 2018, SHPC submitted preliminary plans to the Planning Division to construct a 30,040 square foot, two-story retreat center on the adjacent 4.27 acre property. The retreat center would include 4,270 square feet of banquette/multi-purpose space and kitchen space, 5,260 square feet of classroom/meeting rooms and 21,000 square feet of balcony, walkway and outdoor deck space. The final retreat center proposal is however still under development. Like the subject proposal, the retreat center also requires a Local Coastal Program amendment.

CONCLUSION

Staff recommends the Committee review the preliminary site plan for the proposed hotel, hostile, and stables, and direct any questions to staff and the applicant at the Committee meeting.

Attachment A – Site Location
Attachment B – Project Plans
Attachment C – Project Narrative

CITY OF DALY CITY INTER-OFFICE MEMORANDUM

DATE: February 11, 2019

TO: See Below

FROM: Angie Padilla, City Manager's Office

SUBJECT: **MEETING NOTICE**

RE: **Development Council Committee –Carvana**

DATE: **Thursday, February 28, 2019**

TIME: **3:00 p.m. – 4:00 p.m.**

PLACE: Administrative Conference Room
City Hall

ATTENDING:

City Participants:

Glenn Sylvester, Vice Mayor

Juslyn Manalo, Councilmember

Shawnna Maltbie, Interim City Manager

Rose Zimmerman, City Attorney

Tatum's Mothershead, Dir of ECD

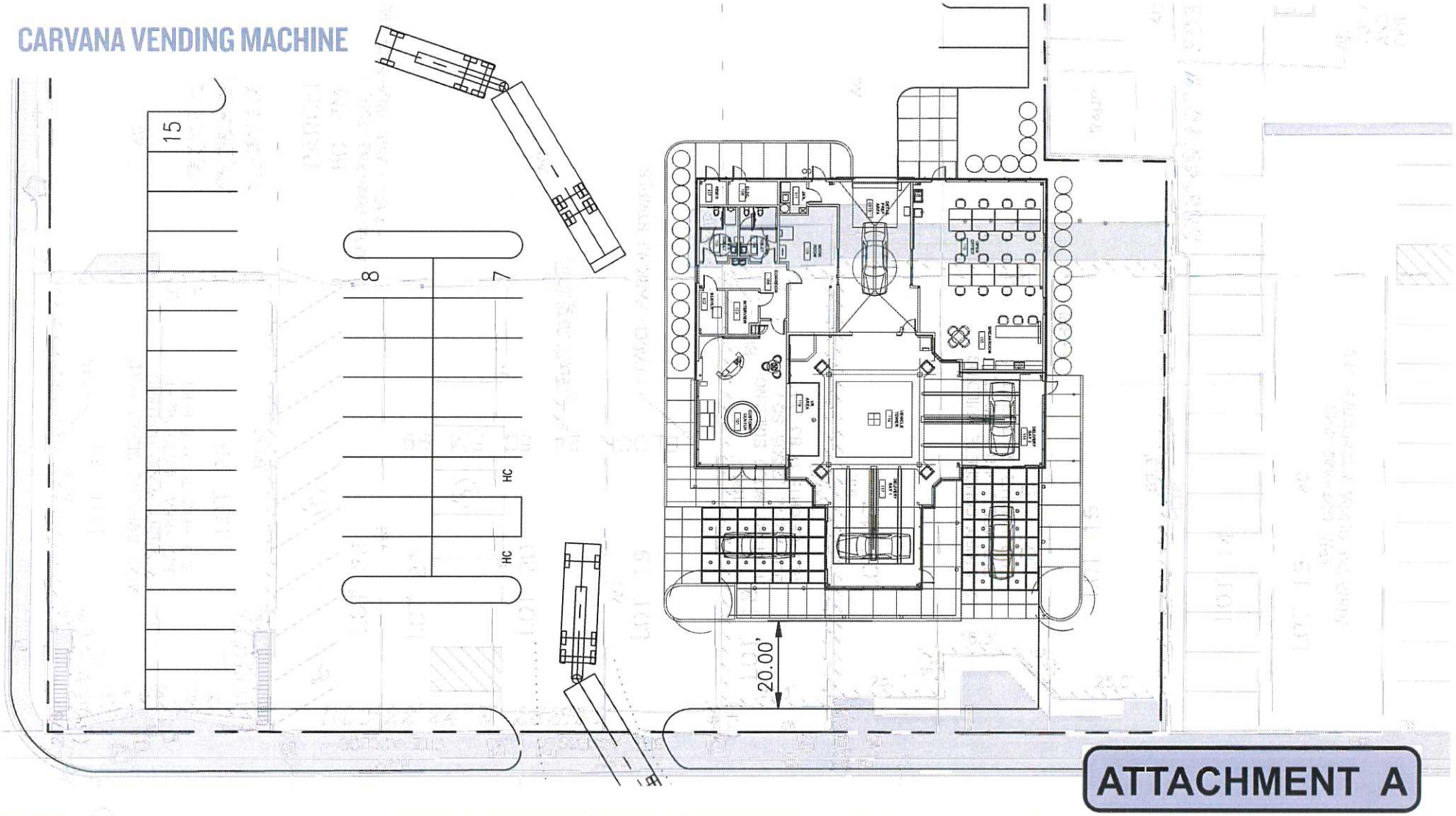
Michael Van Lonkhuysen, Planning Mgr.

Other Participants:

Arwa Lulu

Kevin Louie

cc: City Council



DUGGAN'S SERRA MORTUARY EXPANSION & CARVANA | FLOOR PLAN

DALY CITY, CA | JANUARY 14, 2019

CARVANA

wh n+ ARCHITECTS Designs for a changing world

VAN METER WILLIAMS POLLACK LLP

CARVANA

City of Daly City, CA
Attn: Planning Department
333 90th Street, Daly City, CA 94015

RE: Proposed Carvana at 2123 Junipero Serra Blvd., Daly City, CA 94014

Carvana is an online automotive retailer that is disrupting the used car industry. Through a robust, user-friendly website, Carvana offers over 11,000 pre-owned vehicles for sale and provides buyers the opportunity for a 360° view of the interior and exterior of the vehicle prior to purchase. When a customer finalizes a purchase online, they are welcomed to pick up their vehicle from one of our Vending Machine Fulfillment Centers. The Vending Machine location is strictly for customer pick up and interaction. There are no for sale vehicles located on site as all vehicles on display in the Tower have already been purchased. This center serves as an iconic facility for our customers to visit and enjoy a better car purchasing experience through the use of a fully automated Vending Machine.

The Carvana customer has the choice of either having their car delivered directly to their home or to receive it at a Vending Machine. Because of this, the Vending Machine is our only signature building that the general public can visually see but no cars are directly sold from the Vending Machine and thus only cars that have already been purchased are loaded into the Vending Machine. However, since the Vending Machine is our "visual representation of the company", the building itself employs a uniquely iconic and signature architecture that visually illustrates an innovative technology company. The Tower component is reflective of an iconic architectural landmark comprised of glass and steel. The open view through the glass windows allow us to display the vehicles inside the Tower on the elevator system making it an overall exciting experience for customers finding their way to the Vending Machine for final pickup of their vehicle.

The Carvana Vending Machine is operational daily from 7AM to 9PM and we employee onsite staff to assist customers receiving their cars and enhance the experience. The pre-purchased cars are loaded in the "Tower" section of the Vending Machine, which holds four cars per tier of the Tower. The customer entrance is where they are greeted by a customer advocate that assists them with placing their "token" into a slot that begins the process of retrieving their car from the fully automated Vending Machine. Music and lights that are vivid inside, while being non-intrusive to neighboring properties or the traveling public outside, begins the vending process. The Tower's conveyor system begins to spin and places the target car into the middle of the Tower where it slowly comes to the ground floor. Once it reaches the ground floor, it moves along another horizontal conveyor to one the bays. Once all the mechanisms have stopped (ensuring customer safety) the door of the bay opens and the customer is able to get into the car and drive home happy and satisfied. The entire process takes approximately 3 minutes.

ATTACHMENT B

CARVANA

Onsite our operations include on average 35-45 parking spaces. These parking spaces are utilized by customers, employees and as a temporary holding space for cars that have just been delivered to the Vending Machine location. Our operations allow us to meet with 2-3 customers per hour depending on scheduling and order fulfillment, therefore we make parking spaces available for customers entering the site to pick up their vehicle from the Vending Machine. Additionally, we employ around 10-12 employees on site at a time, therefore we provide them with enough parking on site during their work shift.

Carvana has multi-car haulers that make deliveries to the site on average twice a day up to six days a week during non-peak hours to unload vehicles. The Carvana branded hauler delivers nine vehicles at a time, therefore any unused parking space is utilized as a temporary holding space while the hauler is unloading all vehicles before all cars are loaded into the Tower for final display. It takes our drivers approximately 60-90 minutes to unload the hauler fully and exit the site.

In summary, the Carvana Vending Machine's hours of operation are daily from 7AM until 9PM. The Vending Machine employs anywhere from 10-12 employees at a time on site. Delivery of cars on a hauler truck occur at off-peak hours and all deliveries are unloaded and then quickly loaded into the Vending Machine "Tower" for final display before customer pick up. Customers receiving cars average 16-20 trips per day based on market and metro size. Lighting is internal and illumination studies were completed to maintain no offsite light bleeding and lights are full cutoff so they comply with Night Sky Ordinances. Noise is contained onsite and no odors are produced. In other words:

- Trips per day are lower than professional office uses
- Hours of operation are consistent with typical retail
- Deliveries are consistent with retail and typically less than a standard grocery store
- Light, noise, and odor do not permeate on to neighboring properties

The Carvana Vending Machine is simply the latest innovation and evolution of the delivery of goods and services. The Carvana Vending Machine is part customer experience, part entertainment, part e-commerce fulfillment, and a display of technological art through its iconic yet compatible architecture.

Please do not hesitate to reach out to me with any additional questions/concerns.

Thank You,

Arwa Lulu
Development Project Manager
Arwa.Lulu@carvana.com
480-244-3900

DALY CITY INTER-OFFICE MEMORANDUM

COUNCIL COMMITTEE
DATE: February 28, 2019

TO: Development Council Committee
Glenn Sylvester, Vice Mayor
Juslyn Manalo, Councilmember

FROM: Michael VanLonkhuysen, Planning Manager

VIA: Tatum Mothershead, Director of Economic and Community Development
Shawnna Maltbie, City Manager

SUBJECT: Review of Initial Site and Massing Concept for Carvana Used Car Building

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BACKGROUND

On January 24, 2019, the Council Committee convened to discuss the initial site and massing concepts for Duggan's Serra Mortuary Expansion and Carvana Used Car Building. This report will provide an overview of the current proposal by the developer of the Carvana Used Car Building.

DISCUSSION

As indicated in the January 2019 staff report, the Duggan's/Carvana proposal essentially includes development of two parcels on the north and south sides of Westlake Avenue, east of Junipero Serra Boulevard (see Attachment A – Preliminary Project Plans). The Carvana portion of the project occupies the parcel on the south side of Westlake Avenue and would operate independently of the mortuary.

As presently identified, the 12-story used-car building would be constructed on the south side of Westlake Avenue and provide a 23 additional parking spaces for persons arriving to pick up their purchased vehicle. Truck turning templates have been applied to the site plan to ensure that vehicle delivery trucks do not impede the use of parking spaces. It is unclear whether used cars are proposed to be parked in these spaces. It appears the building would provide small customer reception and office. A full narrative of the Carvana operation and use is attached (see Attachment B – Carvana Narrative).

The existing zoning for the site allows for a 270,000-square foot office building and therefore, a Planned Development amendment, design review, and CEQA analysis would be necessary prior to the approval of the DDA for both development proposals. A use permit would also be required for the used car building.

CONCLUSION

Staff recommends the Committee review the preliminary site plan for the proposed uses and direct any questions to staff and the applicant at the Committee meeting.

Attachment A – Preliminary Project Plans
Attachment B – Carvana Narrative

CITY OF DALY CITY INTER-OFFICE MEMORANDUM

DATE: February 20, 2019

TO: See Below

FROM: Angie Padilla, City Manager's Office

SUBJECT: **MEETING NOTICE**

RE: **CDBG Advisory Council Committee**
Discuss 2019-2020 CDBG Allocations

DATE: **Monday, March 4, 2019**

TIME: **11:00 p.m. – 12:00 Noon**

PLACE: **Administrative Conference Room**
City Hall

ATTENDING:

City Participants:

Glenn Sylvester, Vice Mayor

Dr. Rod Daus-Magbual, Councilmember

Shawnna Maltbie, City Manager

Tatum Mothershead, Dir. ECD

Betsy Zobell, HCD Supervisor

Lenelle Suliguin, Housing Coordinator

Other Participants:

cc: City Council

DALY CITY INTER-OFFICE MEMORANDUM

DATE: March 4, 2019

TO: Vice Mayor Glenn Sylvester
Councilmember Rod Daus-Magbual

FROM: Lenelle Suliguin, Housing Coordinator
Betsy ZoBell, Housing and Community Development Supervisor

CC: Shawnna Maltbie, City Manager
Tatum Mothershead, Economic and Community Development Director

SUBJECT: Allocation of FY 2019-20 Community Development Block Grant (CDBG) and HOME funds

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This memo provides information for our discussion of the FY19-20 CDBG and HOME funds on March 4, 2019.

A. CDBG AND HOME FUNDS

The City receives an annual allocation of CDBG and HOME funds from the Department of Housing and Urban Development (HUD). As an entitlement jurisdiction, the City receives CDBG funds that are used for housing and community development activities that serve lower income persons. As a participating jurisdiction, the City receives HOME funds that are used to increase the supply of affordable housing for lower income persons. The City prepares a draft Annual Action Plan that describes how it will allocate these funds for the program year that begins on July 1 and ends on June 30 of the following year. HUD requires that the draft Plan is made available for a 30-day public review period before it can be accepted by Council and submitted to HUD.

In FY18-19, the City received $1,058,728 in CDBG funds and $412,180 in HOME funds. To date, the City has not yet received notice from HUD of what its CDBG and HOME allocation amounts are for FY19-20. Attachment A shows an estimated CDBG revenue projection for FY19-20. For planning purposes, it assumes the same amount as last year plus estimated current year program income of $60,000 from rehab loan payments and $10,000 in unallocated funds; staff estimates $1,127,278 available for CDBG activities.

In order to fulfill our obligation to adopt and timely submit a One-Year Action Plan to HUD that has been made available for a 30-day public review period, staff has prepared Table 1 in Section B below. Table 1 assumes a zero change in our current CDBG and HOME allocations, but presents contingencies should the funding amounts increase or decrease.

When the City receives official notification of its CDBG and HOME amounts for FY19-20, staff will incorporate these into the final Annual Action Plan to be submitted to HUD. The final Plan will reflect the contingences described in the draft Action Plan that went out for public review.

B. RECOMMENDED CDBG ALLOCATIONS

FY 19-20 is the second year of the City's Five-Year HUD Consolidated Plan Period which began July 1, 2018 and goes to June 30, 2023. The City has a two year CDBG funding cycle for the first four years of the Consolidated Plan Period. This means that it issues a Request For Proposal (RFP) for CDBG funds only for Years 1, 3, and 5 of the Plan Period. For Years 2 and 4, the grantees of Years 1 and 3 are eligible to have their contracts renewed for the following program year as long as they are satisfactorily meeting their contract goals.

Staff recommends renewing the CDBG contracts for the FY18-19 CDBG grantees through Year 2 of the Plan Period. Table 1 shows the recommended allocations and the contingencies in the event that the FY19-20 CDBG funding levels differ from FY18-19.

Table 1: FY19-20 allocations with contingency

	FY18-19 Current Allocation	FY19-20 Recommendation
General Administration	223,546	223,546
Section 108 Loan Payments (P&I)	354,165	370,839
Residential Rehab	400,000	412,393
Project Sentinel/Fair Housing	7,500	7,500
Peninsula Family Service	22,000	22,000
Legal Aid/Homesavers	12,000	12,000
LifeMoves/Emergency and Transitional Housing	16,000	16,000
Human Investment Project/Homesharing (HIP)	12,000	12,000
Rebuilding Together/Safe at Home	10,000	10,000
CID/Housing Accessibility Modification (HAM) Program	10,000	10,000
Project Read	20,000	20,000
Daly City Youth Health Center/Youth Vocational Support	6,000	6,000
John's Closet	5,000	5,000
TOTAL	**1,098,211**	**1,127,278**

Contingencies:

If CDBG allocation is **less** than estimated:
1- General Administration amount will be reduced so that it does not exceed 20% admin cap.
2- Activities will be funded in descending order. If a public service is not able to be funded by at least $10,000 it will be defunded, unless the recommended amount shown above is already less than $10,000.

If CDBG allocation is **more** than estimated: 1- General Administration amount will be increased so that it is at the 20% admin cap 2- The balance of the increase will go to Residential Rehab.

Attachment B is from the project Summary section of the FY18-19 Action Plan and provides descriptions of the activities in Table 1.

C. RECOMMENDED HOME ALLOCATIONS

The City receives an annual allocation of HOME funds that are to be used to increase the supply of affordable housing for lower income households. HOME funds have been used to provide funds for the construction of several affordable housing developments in the City, including:

- Sweeney Lane, 52 unit apartment by MidPen Housing
- Hillcrest Gardens, 40 unit senior apartments by ABHOW
- 7555 Mission St, 36 unit condominium by Habitat for Humanity

Fifteen percent of each annual HOME allocation is limited to projects developed by a Community Housing Development Organization (CHDO), and ten percent of each annual HOME allocation is reserved for program administration. Table 2 below shows the current balance of the City's HOME funds.

Table 2: HOME balance

Program Year	HOME balance	Available for housing development
2016	$100,602	$100,602
2017	$255,751	$255,751 (at least $42,625 reserved for CHDO)
2018	$412,180	$370,962 (at least $61,827 reserved for CHDO)
TOTAL	$768,533	$727,315 (at least $104,452 reserved for CHDO)

Staff continues to work with developers to identify affordable housing developments that can be funded with HOME funds. Because one annual allocation is insufficient to build one unit of affordable housing, several years of allocations are often combined to fund a development.

For the 2019 HOME allocation, staff recommends that these funds be allocated per the HOME regulations: 10% for program administration; 90% for affordable housing development of which at least 15% will be reserved for a CHDO development project. Staff will confer with the Affordable Housing Committee when an affordable housing project is identified and present to Council to allocate HOME funds to a specific project.

ATTACHMENT A

TABLE 1 - Estimated CDBG REVENUE PROJECTIONS for FY2019-20

Sources	Sub-Totals		Totals
FY 2019-20 CDBG Entitlement Grant			1,057,728
FY 2019-20 Estimated Program Income			60,000
Bepler Parking Lot Revenue		0	
Meter Collections	0		
Permit Collections	0		
Rehab Loan Repayments		60,000	
Loan Repays	60,000		
Loan Payoffs	0		
Enterprise Development		0	
Brochure Revenues	0		
Small Business Receipts	0		
Unallocated FY2018-19 Funds			10,000
Unappropriated Funds		10,000	
Excess Program Income		0	
Rehab Loan Repayments			
Housing Devt. Loan Repayments		0	
Estimated FY2018-19 Year-End Unspent Funds			0
Residential Rehabilitation (303)	0		
CDBG Administration (305)			
Micro enterprise (309)	0		
Subrecipents			
ESTIMATED REVENUES FOR FY2019-20			1,127,728

HUD CAPS for FY 2019-20	ACTUAL
Planning / Admin. 20% Limitation (+20% of FY2019-20 program income)	223,546
Public Service 15% Limitation (+15% of FY18-19 est. program income)	167,659

Calc'd FY 2018-19 Est. Program Income	Budgeted	Y-E Estimate	EXCESS
Rehab Loan Repayments	60,000	60,000	0
Housing Development Loan Repayme	0	0	0
TOTALS	60,000	60,000	0

ATTACHMENT B

1	**Project Name**	2018 CDBG Program Administration
	Target Area	
	Goals Supported	
	Needs Addressed	
	Funding	CDBG: $223,546
	Description	Program administration for FY18-19 CDBG allocation.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Not applicable
	Location Description	
	Planned Activities	Writing reports, planning activities, monitoring contracts, ensuring compliance with CDBG reaquirements.
2	**Project Name**	Rebuilding Together Minor Home Repair
	Target Area	
	Goals Supported	Provide minor home repair
	Needs Addressed	AFH: Lack of accessible housing Maintain and improve housing stock
	Funding	CDBG: $10,000
	Description	Safe at Home minor home repair program for low income households.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that six low income households will benefit.
	Location Description	Daly City locations to be determined during program year.
	Planned Activities	This project consists of Rebuilidng Togehter Safe at Home program that provides minor home repair assistance.
3	**Project Name**	City Residential Rehab Program
	Target Area	

	Goals Supported	AFH4: Fund rehab and accessibility improvements Provide City Residential Rehabilitation Program
	Needs Addressed	AFH: Lack of accessible housing Maintain and improve housing stock
	Funding	CDBG: $400,000
	Description	Provide City Residential Rehabilitation program
	Target Date	
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 15 low income households will benefit.
	Location Description	Daly City, specific locations to be determined.
	Planned Activities	Provide and process senior home grants, minor home repair loans, complete rehabilitation loans.
4	**Project Name**	CID/Housing Accessibility Modification (HAM) Program
	Target Area	
	Goals Supported	Provide minor home repair
	Needs Addressed	AFH: Lack of accessible housing
	Funding	CDBG: $10,000
	Description	Provide home accessibility modifications such as ramps and grab bars.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that five households with disabilities will benefit.
	Location Description	Daly City, specific locations to be determined.
	Planned Activities	Install grab bars, shower heads, ramps and other accessibility features as needed.
5	**Project Name**	DCYHC/Youth Vocational Support
	Target Area	
	Goals Supported	Provide public servcies for children and youth
	Needs Addressed	Public Services

	Funding	CDBG: $6,000
	Description	
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 15 low income at-risk youth and young adults will benefit.
	Location Description	2780 Junipero Serra Blvd., Daly City
	Planned Activities	Provide a minimum of three hours of counseling tailored to career needs and interest. Provide job search assistance and guidance in creating a resume and/or written career plan.
6	**Project Name**	Human Investment Project/Homesharing
	Target Area	
	Goals Supported	Provide public services - general
	Needs Addressed	AFH: Loss/lack of affordable housing
	Funding	CDBG: $12,000
	Description	Provide information and referrals for low income households seeking affordable housing and matching them with people who have rooms to share.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 13 households will benefit.
	Location Description	Weekly office hours are held at 350-90th Street at the Daly City Community Service Center.
	Planned Activities	Administer homesharing program which includes screenign applicants, matching clients in homesharing, facilitating Living Together Agreements, and providing follow-up support to homesharing matched clients including mediation as needed.
7	**Project Name**	LifeMoves Family Crossroads
	Target Area	
	Goals Supported	Provide public services for the homeless
	Needs Addressed	Public Services

	Funding	CDBG: $16,000
	Description	Provide temporary transitional housing and services to homeless families and individuals. Services include case management, intake and assessment, and community referrals.
	Target Date	6/30/0019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 12 homeless households will be assisted (or 60 persons)
	Location Description	50 Hillcrest, Daly City, CA
	Planned Activities	Provide transitional housing to homeless Daly City families. All clients will receive individualized case management and housing information and referrals.
8	**Project Name**	Johns Closet
	Target Area	
	Goals Supported	Provide public servcies for children and youth
	Needs Addressed	Public Services
	Funding	CDBG: $5,000
	Description	Provide new clothing and hygiene kits for low income children ages 4 to 18.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 90 low income children will benefit.
	Location Description	Colma Elementary School, 444 E. Market St., Daly City
	Planned Activities	Procure and provide clothing for low income school children. This program is made possible by about 30 volunteers and is a 100% run volunteer program.
9	**Project Name**	Legal Aid/Homesavers
	Target Area	
	Goals Supported	Provide public services - general