

CITY OF DALY CITY

Regular Meeting - CITY COUNCIL

AGENDA

Monday, February 25, 2019 - 7:00 PM
City Hall Council Chambers – 2nd Floor
333 – 90th Street, Daly City, CA 94015

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

For those wishing to address the City Council on any Item on the Agenda or under Public Appearances/Oral Communications, please complete a Speaker Card located at the entrance to the Council Chambers and submit to a Staff Member as early in the meeting as possible.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should call the office of the City Clerk at 991-8078 as soon as possible.

CALL TO ORDER:

PLEDGE TO THE FLAG:

ROLL CALL:

PRESENTATIONS:

Daly City Firefighters Local 1879 - Scholarship Program (Nick Gracia, President)

SFO Airport Development Plan (Doug Yakel, SFO Spokesperson)

APPROVAL OF MINUTES:

Regular Meeting of February 11, 2019

APPROVAL OF AGENDA:

CONSENT AGENDA

All items listed on the Consent Agenda are considered to be routine and may be approved by one roll call vote of the City Council. There shall be no separate discussion of the matters on the Consent Agenda unless requested by a member of the City Council. If

AVAILABILITY OF PUBLIC RECORDS:

All public record to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

discussion is required, that item will be removed from the Consent Agenda and will be considered separately at the end of the Agenda.

Resolutions:

1. Approval of 2018 Amendments to the Water Supply Agreement and Authorization of City Manager to Execute the Agreement
2. Completion of City Council Adopted Reorganization Plan (Department of Water and Wastewater Resources) and Reclassification
3. Commending Victor Cabatic on the Occasion of His Retirement
4. Implementation of a Pilot Hiring Incentive Program for the Daly City Police Department
5. Setting Time and Place for a Hearing on Zoning Text Amendment ZC-9-18-13672, Amending the Zoning Ordinance to Exempt Certain Ancillary Uses from the Parking Requirement for Assembly Uses (Churches)

Check Registers:

6. Check Registers for the Month of January 2019

END OF CONSENT AGENDA

COMMUNICATIONS:

7. Use Permit UPR-12-18-13791 – Sign Program Amendment for 2001 Junipero Serra Boulevard (DC Station Office Building)
 - A. Findings
 - B. Environmental Assessment (Categorical Exemption)
 - C. UPR-12-18-13791

Staff:

Van Lonkhuysen

Recommended Action:

Adopt Resolution

Roll Call

8. Use Permit UPR-12-18-13808 – Conversion of Service Commercial Use to Residential Studio Apartment at 75 Pueblo Street (Permit Renewal)
 - A. Findings
 - B. Environmental Assessment (Categorical Exemption)
 - C. UPR-12-18-13808

Staff:

Van Lonkhuysen

Recommended Action:

Adopt Resolution

Roll Call

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

NOTE: Speakers are limited to two minutes, unless modified by the Mayor. The Council cannot take action on any matter raised under this item

APPOINTMENTS: Board/Commission Membership Committee Appointments

REPORTS:

9. Council Committee

10. City Council

11. Staff

ADJOURNMENT:

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The meeting was called to order by Vice Mayor Sylvester at 7:04 P.M.

ROLL CALL: Councilmembers Present:

Glenn R. Sylvester, Vice Mayor
Roderick Daus-Magbual
Pamela DiGiovanni
Juslyn C. Manalo

Councilmembers Absent:

Raymond A. Buenaventura, Mayor

Staff Present:

Rose L. Zimmerman, City Attorney
Shawwna Maltbie, City Manager

Staff Absent:

K. Annette Hipona, City Clerk

APPROVAL OF MINUTES:

Regular Meeting of January 28, 2019

It was moved by Councilmember DiGiovanni, seconded by Councilmember Manalo and carried to approve the minutes of January 28, 2019.

COMMUNICATIONS:

Economic and Community Development Presentation

Ken Hira of Kosmont Companies presented an overview of the economic and community development opportunities in Daly City and discussed with Council and the City Manager about hiring an economic and development coordinator to focus on these growth opportunities.

Appointment of Director to the Bay Area Water Supply and Conservation Agency and Regional Finance Authority

City Manager Shawwna Maltbie recommended City Council reappoint Councilmember Manalo as director of the Bay Area Water Supply and Conservation Agency and Regional Finance

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Authority so that there may be continuous City representation on both boards for another four-year term beginning in July 2019 as her term expires in June 2019.

It was moved by Councilmember DiGiovanni, seconded by Vice Mayor Sylvester and carried to approve the following resolution by unanimous roll call vote:

Resolution 19-23, Appointing Director to the Bay Area Water Supply and Conservation Agency and Regional Finance Authority

AWARD OF BIDS/CONTRACTS:

Appropriate Funds and Award Construction Contract for the Westlake Elementary School Green Streets Improvement Project

Public Works Director Richard Chiu, Jr. explained that the pilot project will construct pedestrian curb extensions along with bio-swales to treat storm water. It will increase visibility and provide ADA compliant curb ramps. An additional \$25K is needed from Measure A funds to fully fund the project.

It was moved by Councilmember Manalo, seconded by Councilmember Daus-Magbual and carried to approve the following resolution by unanimous roll call vote:

Resolution 19-24, Authorizing Execution of Construction Contract with FBD Vanguard Construction, Inc. For the Westlake Elementary School Green Streets Improvement Project and Appropriation of Additional Funds

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

Resident Jonah Miller expressed his frustration with the lack of maintenance of the fire hydrant in his neighborhood and would like some action taken to fix this problem.

APPOINTMENTS: Board/Commission Membership Appointments:

It was moved by Councilmember DiGiovanni, seconded by Councilmember Manalo and carried to appoint Theresa Tusitoo Faapuaa to the Library Board of Trustees by voice vote.

REPORTS:

City Council Committee:

Council Committee Meetings – January 28 – February 11, 2019

Council Water Committee (DiGiovanni, Manalo)

SFO Roundtable (DiGiovanni)

Bayshore Revitalization/Cow Palace (Buenaventura, Daus-Magbual)

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City Council:

Councilmember Manalo attended a meeting with Mayor Buenaventura, County Supervisor David Canepa, and the owners of Seton Medical Center, regarding how to retain the hospital. She is also in touch with a small business owner interested in hosting an urban street festival at Top of the Hill.

Councilmember DiGiovanni attended the Lincoln Community Center floor replacement ribbon cutting, the Lunar New Year celebration at Serramonte Mall, and the Rock n' Roll event at Pacelli gym.

Councilmember Daus-Magbual attended the Robert's Rule of Order training conducted by City Attorney Zimmerman. He thanked staff for organizing the event and appreciated the positive energy, creativity and comradery of the attendees (Commissioners/Trustees).

Staff Report:

City Manager Shawwna Maltbie announced that the Black History Month celebration is on February 16, 2019 from 12:00 - 3:00 pm at the Doelger Senior Center.

ADJOURNMENT:

The meeting was adjourned in memory of Christa Mahoney, Segundina Yangco and Dr. Estella B. Mangubat at 8:11 PM.

City Clerk

Approved as submitted, this 25th

day of February, 2019.

Mayor



City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: 2018 Amendments to the Water Supply Agreement

Recommended Action

The City Council approved the attached "Amended and Restated Water Supply Agreement between the City and County of San Francisco Wholesale Customers in Alameda County, San Mateo County, and Santa Clara County" dated November 2018 and authorize the City Manager to execute such Agreement when final execution copies are prepared and distributed by the Bay Area Water Supply and Conservation Agency (BAWSCA).

Background/Discussion

In June 2009, the City of Daly City, entered into a Water Supply Agreement with the City and County of San Francisco and Wholesale Customers in Alameda County, San Mateo County and Santa Clara County (WSA). The WSA sets forth the terms by which the twenty-six Wholesale Customers will purchase water from the San Francisco Regional Water System (System).

The WSA builds upon the 1984 "Settlement Agreement and Master Water Sales Contract between the City and County of San Francisco and Certain Suburban Purchasers in San Mateo County, Santa Clara County and Alameda County" (1984 Agreement).

In the course of implementing the WSA, it became clear to BAWSCA and the San Francisco Public Utilities Commission (SFPUC), that a number of amendments were needed to address substantive, important, and discrete issues. These amendments do not diverge from the existing policies and spirit of the WSA and do not change the basic contract structure.

BAWSCA and SFPUC identified seven amendments of the greatest importance to each agency. These include:

1. Oversight of SFPUC's Capital Improvement Program (CIP) (2009 WSA new Section 6.09): The Wholesale Customers have had some oversight of the Water System Improvement Program (WSIP), both through the enactment of AB 1823 (2002), and through quarterly meetings and public reporting. As WSIP nears completion, the SFPUC's Capital Improvement Program (CIP) is expanding to achieve a sustainable rate of repair and replacement consistent with overall asset management of the System and SFPUC's adopted Level of Service Goals. This amendment adds a new section to the WSA obligating SFPUC to formally engage with BAWSCA on its 10-year CIP development.

This amendment ensures that BAWSCA and the Wholesale Customers are involved in the development of the 10-year CIP, have the opportunity to comment on proposed changes to the Level of Service Goals, requires the SFPUC to create an asset management policy applicable to the Regional Water System by December 31, 2020, and commits the SFPUC to quarterly reporting and meetings on CIP implementation.

2. Tier 1 Drought Allocation Plan (2009 WSA Attachment H Section 2.1): The 1984 Agreement required the SFPUC and the Wholesale Customers to develop a Shortage Allocation Plan during droughts. The plan was approved in 2000 for average system wide shortages of up to 20%. Under the plan, the SFPUC allocates the available water supply during droughts between Retail and Wholesale Customers (the "Tier 1 allocation") for incremental shortages of 5, 10, 15 and 20 percent.

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The Wholesale Customers then collectively allocate the wholesale portion of the available supply among themselves (the "Tier 2 allocations").

Various factors that affect this formula have changed since 2009, particularly the proportionate purchases from the System from San Francisco Retail and Wholesale Customers. If the Tier 1 allocation had been applied during the 2014-2017 drought, Retail Customers would have received a positive allocation of water. The Tier 1 Drought Allocation Plan amendment includes a modest change to the existing formula to ensure that, in the event of a cutback, San Francisco Retail Customers do not receive a positive allocation of water and will take a minimum 5% cutback. Any positive allocation of water would be re-distributed to Wholesale Customers; additional water conserved by Retail Customers up to the minimum 5% level would remain in storage for allocation in future successive dry years.

3. 2018 Decisions (2009 WSA Sections 3.13, 4.01, 4.05, 4.06, 9.06, Attachment Q): The 1984 Agreement memorialized the perpetual 184 Million Gallons per Day "Supply Assurance" to the Wholesale Customers which survives the expiration or termination of the 2009 Agreement.

The Supply Assurance is subject to reduction due to drought, emergencies and system maintenance/malfunction. The Wholesale Customers have allocated shares of the Supply Assurance called "Individual Supply Guarantees."

The SFPUC delivers water to the northern portions of the cities of San Jose and Santa Clara on a temporary and interruptible basis in accordance with individual contracts with these cities. To date, the SFPUC has not exercised its contractual right to terminate or reduce water supply to San Jose and Santa Clara, nor has it agreed to make either of the cities a permanent customer. Accordingly, San Jose and Santa Clara do not have Individual Supply Guarantees.

The WSA required that by December 31, 2018, the SFPUC was to decide whether to make San Jose and Santa Clara permanent customers and whether to offer additional supply to other Wholesale Customers. Currently, there is insufficient data for the SFPUC to make these decisions at this time. This amendment will extend the deadlines for SFPUC to decide and obligate SFPUC to providing annual updates to its Commission regarding developing permanent supply for San Jose and Santa Clara. The amendment also expands Santa Clara's service area map for operational purposes.

4. Asset Classification (2009 WSA new Section 5.11 and definitions and Attachment R; revisions to Section 4.07): A basic principle of the 1984 Agreement involved the classification of Regional Water System assets used to serve Retail and Wholesale Customers. Asset classification is critical to the allocation of Hetch Hetchy Enterprise capital and operating costs in order to separate out the Power function, the costs for which have never been paid by Wholesale Customers. "Upcountry" Regional Water System assets, which are generally those assets located in the Tuolumne, Stanislaus, and San Joaquin counties, are classified as Water, Power, or Joint. For Joint upcountry assets that have both power and water benefits, costs are split 55% to the Power Enterprise and 45% to the Water Enterprise. Wholesale and Retail Customers then pay for the water portion based on their proportional purchases of water. The 1984 Agreement was a legal settlement that included a list of Hetch Hetchy asset classifications. These classifications were incorporated into the 2009 Agreement without change.

In FY 2010/2011, SFPUC unilaterally changed the classification and the related cost allocation of a small number of assets of the System. BAWSCA disputed this decision and, rather than submit the dispute to arbitration, the parties negotiated this resolution. This amendment documents and fixes

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the classification of all significant "upcountry" existing assets of the Regional Water System and limits the changes from historical classifications for seven specific and known projects on five assets, without changing the classification of the underlying asset. This facilitates efficient contract administration and limits and mitigates Wholesale Customer exposure to financial risks on certain projects.

In particular:

- Mountain Tunnel Interim and Long-Term Improvements: these improvements for Mountain Tunnel will be classified as Water, except for the new Flow Control Facility, which will be classified as Joint.
 - Lower Cherry Aqueduct repair: this project will be classified as Water.
 - Kirkwood and Moccasin Penstock repairs or replacement: these projects will be classified as Joint.
 - Moccasin Dam and Reservoir Flood Response Short-Term and Long-Term Projects: classification of this work, which is planned in response to the March 22, 2018 flood, will change from Water to Joint.
5. Wholesale Capital Fund (2009 WSA, Section 6.08 E and Attachment M-3): Under the 2009 WSA, funds for capital projects are appropriated and placed into the Wholesale Capital Fund upon appropriation. The balance of the Fund is reviewed at 5-year intervals beginning in FY 2014-15, and any excess balance (unexpended, unencumbered amount in excess of 10% of appropriation) is transferred to the balancing account.

In implementing the reconciliation of the Wholesale Capital Fund, SFPUC discovered that the reconciliation timing did not conform to the SFPUC's budget requirements, appropriation process, and project spending needs. For instance, if funding is appropriated for a project in year four of the 5-year review period, it may result in return of funds after only 1 year even though the project may take several years to complete.

This amendment provides for an annual reconciliation of costs to ensure that SFPUC has the necessary resources for capital improvements, without holding an excessive amount of Wholesale Customer funds.

6. WSIP Completion Date (2009 WSA Section 3.09): The WSA contained an outdated WSIP completion date. This amendment updates the WSIP completion date to December 30, 2021, as adopted by the SFPUC's Commission in March of 2018.
7. Regional Groundwater Storage and Recover Project (RGSRP) (2009 Agreement, Section 3.17): This amendment updates the RGSRP contract provisions to better reflect how the RGSRP will be operated and to outline the cost-allocation responsibilities shared by the RGWRP's partner agencies.

In addition to the substantive amendments set forth above, the attached amended and restated Water Supply Agreement includes a number of non-substantive updates and "clean-up" revisions, as set out below:

1. Updated Attachment A, reflecting new and revised definitions.
2. Updated Attachment C, reflecting recent Individual Supply Guarantee transfers.

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3. Updated Attachment K, reflecting the updated Wholesale Customers' share of Net Book Value of Existing Assets and share of Revenue-Funded Capital Expenditures;
4. New section 3.18, reflecting the Hetch Hetchy Amendment approved in 2013.
5. Revised section 8.04, reflecting the authority previously delegated by the Wholesale Customers to BAWSCA in 2014 to initiate, defend, and settle arbitration for matters subject to arbitration under the WSA.
6. Updates reflecting Cal Water's acquisition of Skyline County Water District.
7. Updates to the addresses for both BAWSCA and SFPUC.

Prior to approval of the WSIP, San Francisco prepared a program environmental impact report (PEIR) for the WSIP in compliance with the California Environmental Quality Act (CEQA) and the San Francisco Planning Commission certified the WSIP Final PEIR in Planning Commission Motion No. 17734. The City reviewed the Final PEIR and CEQA findings and adopted them to the extent the findings were relevant to its decision to approve the WSA.

At this time, the City need not take any further action to comply with the requirements of CEQA as the amendments are not a "project" for the purposes of the CEQA. The amendments at issue involve an administrative activity that does not result in a direct change to the environment (see 14 CCR Section 15378(b)(5)) and would not result in a direct or reasonably foreseeable indirect physical change in the environment (see 14 CCR Section 15060(c)(2)).

San Francisco, acting by and through its Public Utilities Commission, approved the amended and restated Water Supply Agreement, as negotiated by BAWSCA, on December 11, 2018, pending approval by the requisite number of the Wholesale Customers.

Fiscal Impact

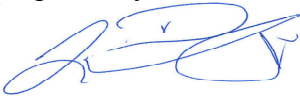
There is no fiscal impact.

Summary/Conclusion

Staff is requesting that the City Council approve the attached "Amended and Restated Water Supply Agreement between the City and County of San Francisco Wholesale Customers in Alameda County, San Mateo County, and Santa Clara County" dated November 2018 and authorize the City Manager to execute such Agreement when final execution copies are prepared and distributed by the Bay Area Water Supply and Conservation Agency (BAWSCA).

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,



Thomas J. Piccolotti
Director of Water and Wastewater Resources

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RESOLUTION NO. [REDACTED]

APPROVING AMENDMENTS TO THE WATER SUPPLY AGREEMENT BETWEEN THE CITY AND COUNTY OF SAN FRANCISCO AND WHOLESALE CUSTOMERS IN ALAMEDA COUNTY, SAN MATEO COUNTY, AND SANTA CLARA COUNTY

WHEREAS, water supply agencies in Alameda, San Mateo and Santa Clara Counties have purchased water from the City and County of San Francisco (San Francisco) for many years; and

WHEREAS, the San Francisco Public Utilities Commission (SFPUC or Commission) Water Enterprise operates the Regional Water System, which delivers water to communities in Alameda, San Mateo and Santa Clara Counties, as well as to customers within San Francisco (collectively, “the Parties”); and

WHEREAS, the Parties entered into the “Settlement Agreement and Master Water Sales Contract between the City and County of San Francisco and Certain Suburban Purchasers in San Mateo County, Santa Clara County and Alameda County” in 1984; and

WHEREAS, in April 2003, water supply agencies in Alameda, San Mateo and Santa Clara Counties established the Bay Area Water Supply and Conservation Agency (BAWSCA), as authorized by Water Code Section 81300 *et seq.*; and

WHEREAS, upon expiration of the 1984 “Settlement Agreement and Master Water Sales Contract,” the Parties entered into the “Water Supply Agreement between San Francisco and Wholesale Customers in Alameda County, San Mateo County, and Santa Clara County” (“Water Supply Agreement”) on July 1, 2009, authorized by SFPUC Resolution No. 09-0069; and

WHEREAS, on September 19, 2018 the Board, by Resolution No.1090 delegated authority to BAWSCA to act as its authorized representative in discussions and negotiations with San Francisco to amend the Water Supply Agreement; and

WHEREAS, each of the other 25 entities which are members of BAWSCA similarly delegated negotiating authority to BAWSCA; and

WHEREAS, BAWSCA has submitted periodic reports to the District on progress during the negotiations and has provided detailed briefings on all significant elements of the amendments; and

WHEREAS, the Parties now desire to adopt an amended and restated Water Supply Agreement in order to:

- (1) require the SFPUC to adhere to a formal program to engage with BAWSCA on its 10-year CIP development;
- (2) adjust the provisions of the Water Shortage Allocation Plan regarding the initial allocation of water during shortages between San Francisco Retail and Wholesale water customers;
- (3) extend the December 31, 2018 deadline for the SFPUC to complete a water supply planning process and decide whether or not to (a) grant permanent customer status to the cities of San Jose and Santa Clara, dedicating a permanent share of the SFPUC water supply to these two wholesale customers, who currently have temporary, interruptible status, and (b) increase the 184 mgd Supply Assurance created as a permanent dedication of water supply in the 1984 "Settlement Agreement and Master Water Sales Contract" and carried forward into the 2009 Water Supply Agreement (collectively "the 2018 Decisions");
- (4) change the classification of certain Hetch Hetchy Water and Power capital projects, adjusting the amount of capital funding to be provided towards these projects by the Parties and the SFPUC Power Enterprise through the term (June 30, 2034) of the Water Supply Agreement;
- (5) modify provisions related to the SFPUC's administration of the Wholesale Capital Fund to more closely align with the historic rate of capital project spending by the SFPUC and prevent volatility in the annual determination of the Wholesale Revenue Requirement;
- (6) extend the estimated timing of the completion of the WSIP to reflect the currently adopted program completion date;
- (7) clarify the cost allocation and water accounting provisions used for the Regional Water System's Groundwater Storage and Recovery Project; and

WHEREAS, in addition to the substantive modifications set forth above, the amended and restated Water Supply Agreement also includes a number of non-substantive updates and revisions to incorporate previously approved modifications, such as the First Amendment to the Water Supply Agreement, adopted in 2013 as new Section 3.18, prohibiting San Francisco from draining Hetch Hetchy Reservoir or decommissioning O'Shaughnessy Dam without securing Wholesale Customer approval in the form of an amendment; and

WHEREAS, in 2008, through SFPUC Resolution No. 08-0200, San Francisco approved the Water System Improvement Program (WSIP) to upgrade San Francisco's regional and local water system and achieve Level of Service Goals and Objectives, which include meeting average annual water demand of 265 million gallons per day (mgd) through 2018; reevaluation of forecasted 2030 Regional Water System demand projections and water supply options by 2018, and SFPUC decision in 2018 regarding Regional Water System deliveries after 2018; and meeting dry year delivery needs while limiting rationing to a maximum of twenty percent system wide during droughts; and

WHEREAS, prior to approval of the WSIP, San Francisco prepared a program environmental impact report (PEIR) for the WSIP in compliance with the California Environmental Quality Act (CEQA) and the San Francisco Planning Commission certified the WSIP Final PEIR in Planning Commission Motion No. 17734; and

WHEREAS, the Wholesale Customers reviewed the Final PEIR and CEQA findings and, in conjunction with approval of the Water Supply Agreement in 2009, the Wholesale Customers also adopted CEQA findings that were relevant to each Wholesale Customer's decision to approve the WSA; and

WHEREAS, the amendments considered now are not a "project" for the purposes of CEQA as they involve an administrative activity that does not result in a direct change to the environment (see 14 CCR Section 15378(b)(5)), and would not result in a direct or reasonably foreseeable indirect physical change in the environment (see 14 CCR Section 15060(c)(2)); and

WHEREAS, the Parties recognize that, both before and after the most recent statewide drought, after meeting drought-related conservation mandates, several BAWSCA member agencies were unable to meet their respective minimum purchase requirements described in

Article 3.07 of the Water Supply Agreement, which requires payment for water below the required minimum purchase level even if such water is not delivered and used; and

WHEREAS, BAWSCA and San Francisco have identified intra system water transfers in general as one potential solution to long-term water reliability needs among the Wholesale Customers, and Section 3.04 of the Water Supply Agreement provides a simplified process for permanent Individual Supply Guarantee (ISG) transfers among certain Wholesale Customers; and

WHEREAS, several of the Wholesale Customers with minimum purchase requirements might be interested in transferring water within their respective ISGs, if doing so would also reduce their minimum purchase requirements and corresponding financial impact of paying for water that is not used; and

WHEREAS, the Parties to the Water Supply Agreement have a collective interest in working to promptly identify a resolution to this as part of a future contract amendment; and

WHEREAS, BAWSCA and San Francisco will begin discussions to address this issue commencing in January 2019; and

WHEREAS, San Francisco's currently adopted WSIP program completion date is December 30, 2021; and

WHEREAS, one of the remaining final projects in the WSIP, the Alameda Creek Recapture Project, is the subject of a revised environmental impact report that has not yet been published for public review and comment; and

WHEREAS, on April 3, 2018, the Wholesale Customers provided formal comment to the SFPUC, as part of its action to adopt the most recent WSIP completion date, that the proposed WSIP completion date and accompanying construction schedule extension date for the Alameda Creek Recapture Project to December 30, 2021, may not be sufficient to accommodate any project modifications that might be necessary as a result of the ongoing revised environmental analysis, increasing uncertainty associated with the adequacy of the Project schedule as proposed by the SFPUC; and

WHEREAS, the SFPUC has indicated that it's Hetch Hetchy Local Simulation Model (HHLSM) hydrologic modeling identifies the supply yield anticipated by the Alameda Creek Recapture Project as critical to achieving and maintaining drought year reliability and achieving the WSIP Water Supply Level of Service Goal; and

WHEREAS, the Wholesale Customers acknowledge that the Alameda Creek Recapture Project cannot proceed to construction until environmental review under CEQA is successfully completed, and the past practice of BAWSCA has been to support extensions of individual WSIP project schedules and overall WSIP scheduled completion, including past extensions for the Alameda Creek Recapture Project, if supported by technical and other analysis as necessary to successfully complete the project and achieve project objectives; and

WHEREAS, BAWSCA intends to act in a manner that represents the best interests of all of its member agencies' water supply while avoiding any harm alleged by any one member agency's water supply as a result of any future action by SFPUC; and

WHEREAS, the Wholesale Regional Water System Security and Reliability Act (AB 1823, Water Code Section 73500 *et seq.*) continues the Legislature's oversight of SFPUC's implementation of the regional projects included in WSIP through January 1, 2022; and

WHEREAS, BAWSCA intends to ask the Legislature again to extend its oversight of the WSIP program in anticipation of the SFPUC's need to extend the WSIP completion date to accommodate individual project schedules with reasonable delays, such as the Alameda Creek Recapture Project; and

WHEREAS, an amended and restated Water Supply Agreement, in the form negotiated by BAWSCA, was presented to and approved by the Commission on December 11, 2018.

NOW, THEREFORE, BE IT RESOLVED that the Board of Directors finds as follows:

1. The analysis contained in the WSIP PEIR, and the CEQA findings adopted by the City in connection with the adoption of the Water Supply Agreement in 2009 remain adequate for purposes of this approval action because there are no substantial changes proposed in the WSIP that was approved in 2008, and there are no substantial changes in circumstances that would require major revisions to the WSIP PEIR due to the involvement of new significant

environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the WSIP PEIR.

2. The City approves the modifications included in the attached amended and restated "Water Supply Agreement Between the City and County of San Francisco Wholesale Customers in Alameda County, San Mateo County, and Santa Clara County" dated November 2018 (Amended and Restated Water Supply Agreement).

3. The City Manager is authorized and directed to sign the Amended and Restated Water Supply Agreement, in the form previously approved by the San Francisco Public Utilities Commission and attached hereto.

I hereby certify the foregoing to be a true copy of a Resolution adopted by the City Council of Daly City, California, at a regular meeting thereof held on the _____ day of _____, 2019, by the following vote of the members thereof:

AYES, and in favor thereof, Councilmembers: _____

NOES, Councilmembers: _____

ABSENT, Councilmembers: _____

CITY CLERK OF THE CITY OF DALY CITY

APPROVED:

MAYOR OF THE CITY OF DALY CITY



City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: Completion of City Council Adopted Reorganization Plan (Department of Water and Wastewater Resources) and Reclassification

Recommended Action

Direct staff to complete the City Council adopted reorganization plan of the Water and Wastewater Resources (WWR) Department as part of the FY 2019-20 Biennial Budget process. The recommended action will reclassify the Lead Plant and Equipment Maintenance (P&EM) Mechanic to P&EM Supervisor. It also includes a salary range adjustment from range U054 to U065. This is projected to cost \$10,000 in FY 18-19 and \$17,000 in FY 19-20.

Background/Discussion

The purpose of the reorganization and reclassification was to create a more efficient and effective work flow and bring positions within the organization up to date with industry standards. It also carries significant additional duties in the area of administrative and supervisory responsibilities. A survey of bay area agencies was conducted, and this work is a result of that effort. The reorganization also creates needed succession planning in the Department preparing future leaders and increasing the availability of experienced and capable employees.

Fiscal Impact

As stated above, this classification is part of a larger WWR reorganization and previously approved as part of the Department reorganization plan presented during the Biennial Budget process. The salary range adjustment of the P&EM Supervisor is projected to increase the cost of the Department's salary and benefits by approximately \$10,000 in FY 2018/19 and \$17,000 in FY 2019/20.

Summary/Conclusion

Staff recommends that the City Council authorize the reclassification plan previously approved in the 2019-20 budget process, reclassifying the Lead P&EM Mechanic to P&EM Supervisor and assigning the salary at Range U-065 of the Unrepresented Miscellaneous salary schedule.

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Thomas J. Piccolotti
Director of Water and Wastewater Resources

Natalie Sakkal
Acting Director of Human Resources

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DALY CITY
COMMENDING VICTOR CABATIC ON THE OCCASION OF HIS RETIREMENT

WHEREAS, on February 16, 2019, VICTOR CABATIC retired from the Daly City Police Department after twenty years of service; and

WHEREAS, VICTOR began his career with the Daly City Police Department as a police officer after leaving the San Francisco Sheriff's Department as a deputy. Victor was sworn in on May 11, 1998 and wore badge number forty-nine. Victor spent twenty years as a patrol officer working various teams in the Department. VICTOR was also a member of the Daly City SWAT Team where he served as an Entry Team member and later as a Sniper Team member; and

WHEREAS, over the course of his career, VICTOR received forty-six letters of appreciation from supervisors, other agencies, and from the community. VICTOR also received thirty-five commendations throughout his twenty-year career. A few highlights of these commendations are below:

Throughout his career, VICTOR was known for his keen awareness and determination in recovering occupied stolen vehicles. His efforts led to the arrest of many prolific auto thieves and earned him multiple awards from an associated recognition program through the California Highway Patrol.

In 2000, VICTOR responded to an armed, home invasion robbery where a victim was shot with an assault rifle. While in-route, VICTOR located the suspects fleeing in a vehicle. A high-speed pursuit ensued, followed by a foot pursuit, and two suspects were taken into custody. VICTOR was commended for his valiant actions during a dangerous situation.

In 2017, VICTOR responded to the report of an unresponsive subject. VICTOR located the subject, determined he was not breathing and didn't have a pulse. VICTOR provided CPR and successfully resuscitated him. VICTOR was commended for his actions in saving a life.

In 2018, VICTOR responded to an active shooter incident where there was a report of several shots being fired into a work place. VICTOR headed into an extremely dangerous situation and was commended for his selflessness and professionalism.

WHEREAS, after more than twenty years of service, VICTOR leaves a legacy of commitment and hard work. VICTOR earned the respect of those in the Daly City Police Department, the Daly City community, and many others he interacted with.

NOW, THEREFORE, BE IT RESOLVED, by the City of Daly City that it does hereby commend VICTOR CABATIC for his many years of dedicated and outstanding service to the Daly City Police Department, the residents of the community, and extends its very best wishes for a well-deserved retirement.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DALY CITY
COMMENDING VICTOR CABATIC ON THE OCCASION OF HIS RETIREMENT

I hereby certify the foregoing to be a true copy of a Resolution adopted by the City Council of Daly City, California, at a regular meeting thereof held on the _____ day of _____, 2019, by the following vote of the members thereof:

AYES, and in favor thereof, Councilmembers: _____

NOES, Councilmembers: _____

Absent, Councilmembers: _____

APPROVED:

CITY CLERK OF THE CITY OF DALY CITY

MAYOR OF THE CITY OF DALY CITY



City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: Implementation of a Pilot Hiring Incentive Program for the Daly City Police Department

Recommended Action

Staff recommends that the City Council approve the implementation of a Pilot Hiring Incentive Program for the sworn police officers in the Daly City Police Department.

Background

Law enforcement agencies in the Bay Area are struggling to recruit and hire qualified police recruits and lateral police officers. Agencies have cited high housing costs, competition with other law enforcement agencies, and reduced numbers of applicants. Many law enforcement agencies have responded to the recruitment crisis by providing economic incentives for recruits, lateral officers and referring employees/officers. In researching agencies who currently employee economic incentives for recruitment, the below agencies and incentives were identified:

Agency	Total Incentive	Payment (1)	Payment (2)	Payment (3)	Referring Employee
San Mateo PD	\$30,000	\$10,000 FTO	\$10,000 1 year	\$10,000 3 years	\$1500
Elk Grove PD	\$7500	\$2500 FTO	\$5000 Probation		\$1000
Antioch PD	\$10,000	\$2500 Hiring	\$2500 Probation	\$5000 3 years	
Palo Alto PD	\$25,000	\$12,500 Hiring	\$12,500 1 year		
Fairfield PD	\$10,000	\$5000 Hiring	\$5000 Probation	1 year sick and vacation at hiring	
Modesto PD	\$15,000	\$10,000 Hiring	\$5000 5 years		

All identified agencies use a payment system that pays the incentives based on employment milestones. These milestones include date of hire (hiring), completion of Field Training (FTO), completion of a probationary period (Probation), and/or anniversary dates (1-5 years).

Discussion

Like other police agencies, the Daly City Police Department is experiencing challenges in finding qualified police officer candidates. We are seeing decreased numbers of applicants due to the high cost of housing regionally, competition with higher paid agencies, and a decreased level of interest in the law enforcement profession. It is anticipated that the Daly City Police Department will need to fill no less than 10 vacancies by January 2020. Based on our current applicant stream, it would be highly unlikely staff could fill ten vacancies with qualified candidates before July 1, 2020.



City Council Meeting Agenda Report

Item # _____

Staff believes a program offering economic incentive for both the applicant and referring officer/department employee could potentially increase the applicant pool and make the Daly City Police Department more competitive with other agencies.

Staff requests City Council approve a pilot Hiring Incentive Program. The trial period would be from the date of approval through June 30, 2020. Staff would report back to Council with findings on the success of the program and determine if a permanent program would be advantageous and/or appropriate.

The recommended structure of the program is as follows:

Applicant Type	Total Incentive	Payment (1)	Payment (2)	Referring Employee (sworn and non-sworn)
Entry Level or Police Academy Graduate	\$10,000	\$5,000 FTO	\$5,000 2 years	\$2,500
Lateral Transfer	\$10,000	\$5,000 Hiring	\$5,000 Probation (18 months)	\$2,500

Fiscal Impact

Based on the estimated 10 vacancies needed to be filled through FY 2019, the Police Department estimates a cost of approximately \$125,000.00. This figure is based on forecasting of confirmed and anticipated retirements during the pilot period. The figure could increase should there be unforeseen separations due to lateral transfer or industrial retirement.

Staff has conferred with the Finance Director and recommends the use of salary and benefit savings from the Fiscal Years 2019 and 2020 budget to fund the Pilot Hiring Incentive Program for the sworn police officers.

Summary/Conclusion

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

John Gamez
Police Captain

Natalie Sakkal
Acting Director of Human Resources



City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: Setting Time and Place for a Hearing on Zoning Text Amendment ZC-9-18-13672, Amending the Zoning Ordinance to Exempt Certain Ancillary Uses from the Parking Requirement for Assembly Uses (Churches)

Recommended Action

Set time and place for a public hearing on March 25, 2019, to consider the proposed Zoning Text Amendment ZC-9-18-13672.

Background

The applicant, John Tam, requests approval to amend the parking requirement for *Places of Assembly* to exempt ancillary uses up to 2,500 square feet and to construct an addition at the Crossroads Church located at 45 County Street. As proposed, the applicant would construct a 4,080 square foot addition to include a multipurpose room, five classrooms, and two administrative offices. The proposed Zone text Amendment is necessary for the project to proceed.

Staff is available to provide any additional information desired by the Mayor or Council members.

Respectfully submitted,

Brian Paland
Assistant Planner

Tatum Mothershead
Director of Economic and Community
Development

CITY OF DALY CITY
CHECK REGISTERS
FOR THE MONTH OF JANUARY 2019

01/04/19

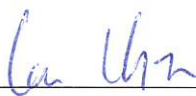
CHECKS ISSUED	-	#372786 TO #372807
CANCELLED CHECK	-	NONE
VOID CHECK	-	NONE

01/16/19

CHECKS ISSUED	-	#372808 TO #373230
CANCELLED CHECK	-	#373208
VOID CHECK	-	NONE

01/31/19

CHECKS ISSUED	-	#373231 TO #373637
CANCELLED CHECK	-	NONE
VOID CHECK	-	NONE

AUDITED  FINANCE DIRECTOR

APPROVED _____ CITY MANAGER

APPROVED _____ MAYOR

APPROVED _____ VICE MAYOR

CITY OF DALY CITY
 ACCOUNTS PAYABLE CHECK RUN SUMMARY
 FISCAL YEAR 2018-2019

	MONTH	TOTAL
2018	July	\$ 6,717,894.11
	August	\$ 7,715,148.05
	September	\$ 6,820,745.56
	October	\$ 4,484,318.87
	November	\$ 5,808,687.86
	December	\$ 5,099,536.67
2019	January	\$ 5,587,881.91
	February	
	March	
	April	
	May	
	June	
	TOTAL	\$ 42,234,213.03

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00372786	15226	AFSCME DISTRICT COUNCIL 57	01/04/19	3,564.30	MW	OH	
AP00372787	5495	ASSOCIATION OF PUBLIC TREASUR	01/04/19	280.00	MW	OH	
AP00372788	17997	C.L.E.A.	01/04/19	2,327.50	MW	OH	
AP00372789	1937	DALY CITY FIREFIGHTERS UNION	01/04/19	9,498.00	MW	OH	
AP00372790	30935	DALY CITY POLICE OFFICERS BEN	01/04/19	1,130.00	MW	OH	
AP00372791	9290	DALY CITY POLICE OFFICERS ASS	01/04/19	1,960.00	MW	OH	
AP00372792	9290	DALY CITY POLICE OFFICERS ASS	01/04/19	13,835.64	MW	OH	
AP00372793	G-HOLMES	FRANCHISE TAX BOARD	01/04/19	200.00	MW	OH	
AP00372794	26781	GARCIA, JOSE	01/04/19	109.31	MW	OH	
AP00372795	29200	LEGAL SHIELD	01/04/19	410.76	MW	OH	
AP00372796	14277	MAZE & ASSOCIATES INC	01/04/19	6,225.00	MW	OH	
AP00372797	35339	MYERS, RON D	01/04/19	94,940.44	MW	OH	
AP00372798	49974	NGLIC	01/04/19	851.83	MW	OH	
AP00372799	1936	PENINSULA PEACE OFFICERS ASSO	01/04/19	340.20	MW	OH	
AP00372800	19678	PERS LONG TERM CARE PROGRAM	01/04/19	903.98	MW	OH	
AP00372801	9339	STATE WATER RESOURCES CONTROL	01/04/19	35,577.00	MW	OH	
AP00372802	3613	STATIONARY ENGINEERS LOCAL 39	01/04/19	1,681.26	MW	OH	
AP00372803	2798	TEAMSTERS LOCAL 856	01/04/19	3,518.00	MW	OH	
AP00372804	50490	UNITEDHEALTHCARE INSURANCE CO	01/04/19	310.47	MW	OH	
AP00372805	G-COEN	US DEPARTMENT OF EDUCATION	01/04/19	491.13	MW	OH	
AP00372806	G-ORTEGA	US DEPARTMENT OF EDUCATION	01/04/19	651.87	MW	OH	
AP00372807	47099JPA	UTILITY TELECOM GROUP LLC	01/04/19	5,222.12	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
=====								
G R A N D T O T A L S:								
		Total Void Machine Written		0.00		Number of Checks Processed:		0
		Total Void Hand Written		0.00		Number of Checks Processed:		0
		Total Machine Written		184,028.81		Number of Checks Processed:		22
		Total Hand Written		0.00		Number of Checks Processed:		0
		Total Reversals		0.00		Number of Checks Processed:		0
		Total Cancelled		0.00		Number of Checks Processed:		0
		Total EFTs		0.00		Number of EFTs Processed:		0
		Total EPAYs		0.00		Number of EPAYs Processed:		0
		G R A N D T O T A L		184,028.81				

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel	To	Note
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AP00372808	44634R	21ST CENTURY INSURANCE CO	01/16/19	936.79	MW	OH			
AP00372809	35125	A BLACK TIE AFFAIR INC	01/16/19	1,914.31	MW	OH			
AP00372810	25627	A S F ELECTRIC INC	01/16/19	840.00	MW	OH			
AP00372811	13334	ABBEEY PARTY RENTS INC	01/16/19	1,311.50	MW	OH			
AP00372812	53107R	ABSTRACT WINDOWS	01/16/19	905.00	MW	OH			
AP00372813	34666	AD BRAKES	01/16/19	1,677.48	MW	OH			
AP00372814	1514	ADAM HILL COMPANY, THE	01/16/19	444.00	MW	OH			
AP00372815	5034	ADAMSON POLICE PRODUCTS	01/16/19	40,680.00	MW	OH			
AP00372816	29880	AIRGAS USA LLC	01/16/19	61.03	MW	OH			
AP00372817	1465	ALBERTSONS SAFEWAY	01/16/19	2,019.12	MW	OH			
AP00372818	14004	ALERT PEST CONTROL COMPANY IN	01/16/19	695.00	MW	OH			
AP00372819	1025	ALHAMBRA	01/16/19	427.66	MW	OH			
AP00372820	49642	ALL CITY MANAGEMENT SERVICES	01/16/19	10,182.48	MW	OH			
AP00372821	35909	ALL IN ONE POSTER COMPANY INC	01/16/19	580.07	MW	OH			
AP00372822	37095	ALL INDUSTRIAL ELECTRIC SUPPL	01/16/19	559.24	MW	OH			
AP00372823	39657	ALL STAR GLASS	01/16/19	386.22	MW	OH			
AP00372824	37116	ALPHA ANALYTICAL LABORATORIES	01/16/19	18,975.00	MW	OH			
AP00372825	37981	ALS TRIBOLOGY	01/16/19	1,273.50	MW	OH			
AP00372826	54248R	ALTURINO, GEMMA	01/16/19	400.00	MW	OH			
AP00372827	2083	AMERICA COPY & PRINTING CO	01/16/19	156.60	MW	OH			
AP00372828	45439JPA	AMERICAN MEDICAL RESPONSE	01/16/19	1,021.00	MW	OH			
AP00372829	38846	AMERICAN MESSAGING	01/16/19	54.44	MW	OH			
AP00372830	14988	AMERICAN TOWER CORPORATION	01/16/19	7,447.76	MW	OH			
AP00372831	35696	AMERIPRIDE	01/16/19	1,641.92	MW	OH			
AP00372832	21897	ANDRADE, RAUL	01/16/19	130.35	MW	OH			

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00372833	43080	ANDRITZ SEPARATION INC	01/16/19	10,320.23	MW	OH	
AP00372834	24868	ANIXTER INC	01/16/19	138.37	MW	OH	
AP00372835	46585	ANTHEM BLUE CROSS	01/16/19	85.20	MW	OH	
AP00372836	52483	APEX LIFE SCIENCES LLC	01/16/19	3,105.39	MW	OH	
AP00372837	46898R	ARGUELLO, GUILLERMO	01/16/19	146.78	MW	OH	
AP00372838	6314	ARNOTT, SANDIE	01/16/19	17,900.45	MW	OH	
AP00372839	34182	ARTEX GROUP INC	01/16/19	777.92	MW	OH	
AP00372840	45195	AT&T	01/16/19	150.00	MW	OH	
AP00372841	47003	AT&T	01/16/19	257.27	MW	OH	
AP00372842	6413	AT&T	01/16/19	16,085.61	MW	OH	
AP00372843	44649	ATLAS COPCO COMPRESSORS LLC	01/16/19	2,455.34	MW	OH	
AP00372844	13192	AUDIOLOGICAL SERVICES	01/16/19	401.45	MW	OH	
AP00372845	4662	AURILIO, STEVE	01/16/19	720.00	MW	OH	
AP00372846	29643	AUTO COLLISION CENTER	01/16/19	7,439.99	MW	OH	
AP00372847	40254	AWE	01/16/19	9,241.01	MW	OH	
AP00372848	50075	AZYURA	01/16/19	3,200.00	MW	OH	
AP00372849	1232	BAKER & TAYLOR COMPANY INC	01/16/19	7,214.97	MW	OH	
AP00372850	10622	BALLESTEROS, JOHN	01/16/19	750.00	MW	OH	
AP00372851	54249R	BARAJAS, ANTHONY	01/16/19	105.00	MW	OH	
AP00372852	7854	BARRY, MELINDA	01/16/19	345.36	MW	OH	
AP00372853	22887	BARTUNEK, RONALD	01/16/19	720.00	MW	OH	
AP00372854	1786	BATTLE BORN MEDIA	01/16/19	49.00	MW	OH	
AP00372855	54251R	BAUTISTA, GLENDA	01/16/19	400.00	MW	OH	
AP00372856	54252R	BAUTISTA, MARIA	01/16/19	126.94	MW	OH	
AP00372857	49645	BAXTERS FRAME WORKS	01/16/19	29.76	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel	To Note
=====	=====	=====	=====	=====	=====	=====	=====	=====
AP00372858	1562	BAY AREA WATER SUPPLY & CONSE	01/16/19	23,237.00	MW	OH		
AP00372859	41457	BELNICK INC	01/16/19	449.08	MW	OH		
AP00372860	3902	BENNETT, DENNIS	01/16/19	720.00	MW	OH		
AP00372861	47955	BIG RED PRINT SOLUTIONS LLC	01/16/19	224.43	MW	OH		
AP00372862	19200	BIRITE FOODSERVICE DISTRIBUTO	01/16/19	4,158.73	MW	OH		
AP00372863	22205	BLACKSTONE PUBLISHING	01/16/19	80.00	MW	OH		
AP00372864	2343	BOFFI, DAVID	01/16/19	720.00	MW	OH		
AP00372865	23723R	BOYES, JAVIER	01/16/19	720.00	MW	OH		
AP00372866	5961	BREWER, RICHARD	01/16/19	720.00	MW	OH		
AP00372867	21300	BRISBANE RECYCLING CO INC	01/16/19	900.00	MW	OH		
AP00372868	3349	BROADMOOR LANDSCAPE SUPPLY	01/16/19	614.21	MW	OH		
AP00372869	3064	BROWN & CALDWELL INC	01/16/19	6,658.66	MW	OH		
AP00372870	44468	BUDGET CONFERENCING INC	01/16/19	194.13	MW	OH		
AP00372871	54250R	BUT, BILLY	01/16/19	3,737.34	MW	OH		
AP00372872	33941	C & A BROWN COMPANY	01/16/19	3,470.57	MW	OH		
AP00372873	2396	C M AMOS PRINTING COMPANY	01/16/19	199.61	MW	OH		
AP00372874	53702	CA SUNRISE CONSTRUCTION SOLUT	01/16/19	9,380.65	MW	OH		
AP00372875	15093	CALBO	01/16/19	2,500.00	MW	OH		
AP00372876	36927	CALCON SYSTEMS INC	01/16/19	3,863.74	MW	OH		
AP00372877	9481	CALIFORNIA DEPARTMENT OF TAX	01/16/19	830.20	MW	OH		
AP00372878	19853	CALIFORNIA GROUNDWATER ASSOCI	01/16/19	85.00	MW	OH		
AP00372879	17616	CALIFORNIA TRAINING INSTITUTE	01/16/19	1,050.00	MW	OH		
AP00372880	1196	CALIFORNIA WATER SERVICE COMP	01/16/19	501.66	MW	OH		
AP00372881	17888	CARL WARREN & COMPANY INC	01/16/19	1,817.30	MW	OH		
AP00372882	20535	CAROLLO ENGINEERS	01/16/19	6,389.48	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00372883	40257R	CARUZOS ROOFING CONTRACTORS I	01/16/19	275.00	MW	OH	
AP00372884	48351	CAVENDISH SQUARE PUBLISHING	01/16/19	821.17	MW	OH	
AP00372885	28636	CDW GOVERNMENT INC	01/16/19	12,933.18	MW	OH	
AP00372886	42277	CEL ANALYTICAL INC	01/16/19	665.00	MW	OH	
AP00372887	46387	CELETTA INVESTIGATIVE SERVICE	01/16/19	1,000.00	MW	OH	
AP00372888	24769	CENTER POINT LARGE PRINT	01/16/19	45.75	MW	OH	
AP00372889	10299JPA	CENTRAL COUNTY FIRE DEPARTMEN	01/16/19	22,603.00	MW	OH	
AP00372890	30689	CENTRISYS CORPORATION	01/16/19	39,829.42	MW	OH	
AP00372891	52473R	CHEE, VICTOR	01/16/19	50.00	MW	OH	
AP00372892	54253R	CHEUNG, MIU SZE	01/16/19	105.00	MW	OH	
AP00372893	47337R	CHIN, JEFFREY	01/16/19	400.00	MW	OH	
AP00372894	50197R	CHIU, LAWRENCE	01/16/19	390.32	MW	OH	
AP00372895	48727	CINTAS CORPORATION	01/16/19	1,518.81	MW	OH	
AP00372896	3678	CINTAS CORPORATION #464	01/16/19	5,104.87	MW	OH	
AP00372897	35395	CITY AUTO SUPPLY	01/16/19	3,376.88	MW	OH	
AP00372898	3073	CITY CLERKS ASSOCIATION OF CA	01/16/19	295.00	MW	OH	
AP00372899	46465JPA	CITY OF BELMONT	01/16/19	5,492.75	MW	OH	
AP00372900	6649JPA	CITY OF BRISBANE	01/16/19	3,436.25	MW	OH	
AP00372901	43155JPA	CITY OF DALY CITY	01/16/19	14,007.00	MW	OH	
AP00372902	5342JPA	CITY OF FOSTER CITY	01/16/19	6,012.00	MW	OH	
AP00372903	6034JPA	CITY OF PACIFICA	01/16/19	5,037.00	MW	OH	
AP00372904	6579JPA	CITY OF REDWOOD CITY	01/16/19	10,636.00	MW	OH	
AP00372905	20562JPA	CITY OF SAN BRUNO	01/16/19	3,756.00	MW	OH	
AP00372906	46083JPA	CITY OF SAN CARLOS	01/16/19	6,125.00	MW	OH	
AP00372907	25816JPA	CITY OF SAN MATEO	01/16/19	15,431.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00372908	3369	CLAY, WEBSTER L	01/16/19	720.00	MW	OH	
AP00372909	18465	CLEARLITE TROPHIES	01/16/19	359.49	MW	OH	
AP00372910	31162	CLINE & DUPLISSEA	01/16/19	3,655.00	MW	OH	
AP00372911	38790	COASTSIDE FIRE PROTECTION	01/16/19	90.00	MW	OH	
AP00372912	52363R	COLLINS, CHRISTOPHER	01/16/19	485.05	MW	OH	
AP00372913	25819JPA	COLMA FIRE PROTECTION DISTRIC	01/16/19	3,027.00	MW	OH	
AP00372914	52184	COLUMBIA ELECTRIC INC	01/16/19	22,411.20	MW	OH	
AP00372915	34153	COMCAST	01/16/19	27.99	MW	OH	
AP00372916	47244	COMCAST	01/16/19	94.61	MW	OH	
AP00372917	49446	COMCAST	01/16/19	116.16	MW	OH	
AP00372918	51804	COMCAST	01/16/19	326.19	MW	OH	
AP00372919	52453	COMCAST	01/16/19	113.33	MW	OH	
AP00372920	12578	COMPLETE LINEN SERVICE INC	01/16/19	67.72	MW	OH	
AP00372921	52002	CONTRA COSTA COUNTY SHERIFF'S	01/16/19	738.00	MW	OH	
AP00372922	30109	CORELOGIC SOLUTIONS LLC	01/16/19	600.00	MW	OH	
AP00372923	54254R	COSPIN, MARIO	01/16/19	60.00	MW	OH	
AP00372924	42324	CRIME SCENE CLEANERS INC	01/16/19	315.00	MW	OH	
AP00372925	12031	CRIVELLO, JOSEPH	01/16/19	465.36	MW	OH	
AP00372926	53195R	CRUZ GARCIA, MARTA	01/16/19	60.00	MW	OH	
AP00372927	54345R	CRUZ, CARMELITA	01/16/19	50.00	MW	OH	
AP00372928	48323	CRYSTAL CREAMERY	01/16/19	846.36	MW	OH	
AP00372929	28906	CSG CONSULTANTS INC	01/16/19	2,928.75	MW	OH	
AP00372930	54073R	CUSLIDGE, GERALD	01/16/19	200.00	MW	OH	
AP00372931	41522	CWEA	01/16/19	145.00	MW	OH	
AP00372932	25580	CWEA-MEMBERSHIP	01/16/19	188.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00372933	1836	DAILY JOURNAL CORPORATION	01/16/19	534.00	MW	OH	
AP00372934	1414	DALY CITY CENTRAL CASHIER	01/16/19	1,674.03	MW	OH	
AP00372935	2285	DALY CITY COLMA CHAMBER OF CO	01/16/19	115.00	MW	OH	
AP00372936	48520	DALY CITY PARTNERSHIP	01/16/19	42,666.99	MW	OH	
AP00372937	1793	DALY CITY TOOL MART	01/16/19	43.39	MW	OH	
AP00372938	54255R	DAMICO, DALIA	01/16/19	1,475.00	MW	OH	
AP00372939	42706	DASH MEDICAL GLOVES INC	01/16/19	143.34	MW	OH	
AP00372940	51806	DAVID J POWERS & ASSOCIATES I	01/16/19	3,238.87	MW	OH	
AP00372941	48981	DC FROST ASSOCIATES INC	01/16/19	3,000.00	MW	OH	
AP00372942	45599	DELA CRUZ, CHRISTIAN	01/16/19	2,142.00	MW	OH	
AP00372943	54256R	DELOS REYES, MARTHA	01/16/19	105.00	MW	OH	
AP00372944	1299	DEPARTMENT OF JUSTICE	01/16/19	290.00	MW	OH	
AP00372945	36585R	DESILVA GATES	01/16/19	1,119.69	MW	OH	
AP00372946	24262R	DIMAGGIO, JOAN	01/16/19	720.00	MW	OH	
AP00372947	54257R	DING, HAI	01/16/19	3,824.46	MW	OH	
AP00372948	46826	DIRECTV LLC	01/16/19	31.99	MW	OH	
AP00372949	2162	DISSING, ANNE L	01/16/19	720.00	MW	OH	
AP00372950	43302	DITAN, ROLAND L	01/16/19	517.58	MW	OH	
AP00372951	47857	DIVISION OF THE STATE ARCHITE	01/16/19	2,339.44	MW	OH	
AP00372952	51366	DOG WASTE DEPOT	01/16/19	433.88	MW	OH	
AP00372953	54136R	DONG, KWAN	01/16/19	50.00	MW	OH	
AP00372954	4012	DREXLER, MARILYN	01/16/19	720.00	MW	OH	
AP00372955	52281R	DUARTE, MADEL	01/16/19	400.00	MW	OH	
AP00372956	23531	DUNCAN PARKING TECHNOLOGIES I	01/16/19	561.15	MW	OH	
AP00372957	1061	DUNN EDWARDS CORPORATION	01/16/19	356.29	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel	To Note
AP00372958	48177	EAST BAY TIRE CO	01/16/19	2,707.40	MW	OH		
AP00372959	53583	ECOHERO SHOW LLC, THE	01/16/19	875.00	MW	OH		
AP00372960	49830R	ECONOMY PLUMBING	01/16/19	1,625.00	MW	OH		
AP00372961	53529	EISEN LETUNIC	01/16/19	8,055.00	MW	OH		
AP00372962	54143	EKI ENVIRONMENT & WATER	01/16/19	4,914.00	MW	OH		
AP00372963	1049	EQUIFAX INFORMATION SVCS LLC	01/16/19	100.00	MW	OH		
AP00372964	51499R	ESTILLORE, MICHELLE	01/16/19	250.00	MW	OH		
AP00372965	13139R	EVERLY, KATHY	01/16/19	106.96	MW	OH		
AP00372966	42544	FARMER BROTHERS COFFEE	01/16/19	69.88	MW	OH		
AP00372967	1278	FARRAR, RICHARD F	01/16/19	345.36	MW	OH		
AP00372968	36077	FASTENAL COMPANY	01/16/19	108.54	MW	OH		
AP00372969	40843	FASTRAK VIOLATION PROCESSING	01/16/19	30.00	MW	OH		
AP00372970	47624	FBI NATIONAL ACADEMY ASSOCIAT	01/16/19	480.00	MW	OH		
AP00372971	1383	FEDEX	01/16/19	18.97	MW	OH		
AP00372972	17884	FEDEX	01/16/19	13.63	MW	OH		
AP00372973	10971	FEDEX OFFICE	01/16/19	43.95	MW	OH		
AP00372974	52678	FERGUSON GROUP LLC, THE	01/16/19	13,000.00	MW	OH		
AP00372975	51836	FIDELITY ROOF COMPANY	01/16/19	1,500.00	MW	OH		
AP00372976	19787	FIRST CHOICE COFFEE SERVICES	01/16/19	219.96	MW	OH		
AP00372977	11813	FOLGER GRAPHICS	01/16/19	2,778.56	MW	OH		
AP00372978	G-HOLMES	FRANCHISE TAX BOARD	01/16/19	200.00	MW	OH		
AP00372979	48009	GALE CENGAGE LEARNING	01/16/19	133.07	MW	OH		
AP00372980	39470	GALLS LLC	01/16/19	668.17	MW	OH		
AP00372981	54258R	GASS, ROSE	01/16/19	60.00	MW	OH		
AP00372982	34864	GOLDEN STATE FLOW MEASUREMENT	01/16/19	33,944.11	MW	OH		

Check	Payee ID.	Payee Name	.Date	Check Amount	Type	Subs	Rel To Note
AP00372983	30509	GOODYEAR COMMERCIAL TIRE & SE	01/16/19	5,074.00	MW	OH	
AP00372984	27059	GOOMBAH'S EMBROIDERY	01/16/19	1,216.93	MW	OH	
AP00372985	44716R	GOTAUCO, FRANCIS	01/16/19	100.00	MW	OH	
AP00372986	31925	GOVCONNECTION INC	01/16/19	2,401.48	MW	OH	
AP00372987	52777	GOVERNMENT STAFFING SERVICES	01/16/19	7,125.00	MW	OH	
AP00372988	18532	GOW SUPPLY COMPANY INC	01/16/19	264.47	MW	OH	
AP00372989	1754	GRAINGER INC	01/16/19	2,488.08	MW	OH	
AP00372990	36985	GRAND INDUSTRIES INC	01/16/19	11,750.00	MW	OH	
AP00372991	53721	GRAPHICS ON THE EDGE	01/16/19	2,675.00	MW	OH	
AP00372992	3327	GRIGGS, DONALD	01/16/19	465.36	MW	OH	
AP00372993	54259R	GUDIEL, JAIRO	01/16/19	400.00	MW	OH	
AP00372994	1980	HARRISON & BONINI INC	01/16/19	352.44	MW	OH	
AP00372995	19044	HAWKINS, GEORDIE	01/16/19	750.00	MW	OH	
AP00372996	54236R	HE, DEWEI	01/16/19	1,453.86	MW	OH	
AP00372997	54260	HEREDIA, LESLIE	01/16/19	455.00	MW	OH	
AP00372998	9049	HI TECH EVS INC	01/16/19	6,875.51	MW	OH	
AP00372999	53474R	HOANG, THANG	01/16/19	2,822.43	MW	OH	
AP00373000	15857	HOME DEPOT CREDIT SERVICES	01/16/19	9,093.73	MW	OH	
AP00373001	39941R	HOME DEPOT, THE	01/16/19	386.62	MW	OH	
AP00373002	26844	HOPKINS TECHNICAL PRODUCTS IN	01/16/19	363.24	MW	OH	
AP00373003	2665	HSQ TECHNOLOGY CORP	01/16/19	3,530.00	MW	OH	
AP00373004	41478R	HUCULAK, MICHAEL	01/16/19	720.00	MW	OH	
AP00373005	41818	HUNTINGTON COURT REPORTERS	01/16/19	68.76	MW	OH	
AP00373006	40583	HUTCHINSON, DARREL	01/16/19	1,000.00	MW	OH	
AP00373007	40284	IAPE	01/16/19	50.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
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AP00373008	14301	ICC	01/16/19	105.00	MW	OH	
AP00373009	53460	INDEPENDENT CODE CONSULTANTS	01/16/19	8,383.30	MW	OH	
AP00373010	21991	INTEC SOLUTIONS INC	01/16/19	5,954.29	MW	OH	
AP00373011	14932	INTERSTATE BATTERY SYSTEM OF	01/16/19	885.09	MW	OH	
AP00373012	49228R	IZAGUIRRE, MARIA	01/16/19	400.00	MW	OH	
AP00373013	24233	JACOBS ASSOCIATES	01/16/19	67,122.61	MW	OH	
AP00373014	53478R	JK PRO ROOFING INC	01/16/19	275.00	MW	OH	
AP00373015	25311	JOHNSON CONTROLS SECURITY SOL	01/16/19	453.09	MW	OH	
AP00373016	14416	JOHNSTONE SUPPLY	01/16/19	25.03	MW	OH	
AP00373017	7901	K 119 OF CALIFORNIA INC	01/16/19	402.16	MW	OH	
AP00373018	10255MED	KAISER FOUNDATION HEALTH PLAN	01/16/19	1,347.00	MW	OH	
AP00373019	54261R	KAIWI, IKAIKA	01/16/19	75.00	MW	OH	
AP00373020	46648R	KB HOME SOUTH BAY INC	01/16/19	1,200.00	MW	OH	
AP00373021	6696	KEATE, LESLIE	01/16/19	720.00	MW	OH	
AP00373022	29633	KELLY MOORE PAINT COMPANY INC	01/16/19	100.39	MW	OH	
AP00373023	1274	KEYES, MARK	01/16/19	720.00	MW	OH	
AP00373024	39604	KIMBALL MIDWEST	01/16/19	471.26	MW	OH	
AP00373025	45574R	KINGDOM PIPELINES INC	01/16/19	1,200.00	MW	OH	
AP00373026	49414	KITTELSON & ASSOCIATES INC	01/16/19	7,319.73	MW	OH	
AP00373027	48573	KOSMONT COMPANIES	01/16/19	5,673.20	MW	OH	
AP00373028	31870R	KRAUSS, GREG	01/16/19	468.55	MW	OH	
AP00373029	40362	KRUEGER INTERNATIONAL	01/16/19	325.00	MW	OH	
AP00373030	35044	KUSSMAUL ELECTRONICS CO INC	01/16/19	616.66	MW	OH	
AP00373031	1108	L N CURTIS AND SONS	01/16/19	1,466.56	MW	OH	
AP00373032	54344R	LA, HAO TANG	01/16/19	50.00	MW	OH	

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AP00373033	54262R	LAM, LISA	01/16/19	485.00	MW	OH		
AP00373034	13776	LANGUAGE LINE SERVICES	01/16/19	244.23	MW	OH		
AP00373035	54263R	LAU, GUY	01/16/19	566.27	MW	OH		
AP00373036	54264R	LAU, RAYMOND	01/16/19	1,475.00	MW	OH		
AP00373037	1148	LAWSON PRODUCTS INC	01/16/19	84.24	MW	OH		
AP00373038	7147	LAX JR, HARRY	01/16/19	720.00	MW	OH		
AP00373039	26270	LEE, KATY	01/16/19	810.90	MW	OH		
AP00373040	33497	LEGACY MECHANICAL & ENERGY SE	01/16/19	54.00	MW	OH		
AP00373041	30726	LEHR	01/16/19	770.34	MW	OH		
AP00373042	37094	LEXISNEXIS RISK DATA MANAGEME	01/16/19	510.00	MW	OH		
AP00373043	54243R	LI, JOHN	01/16/19	100.00	MW	OH		
AP00373044	12906LAW	LIEBERT CASSIDY WHITMORE	01/16/19	16,956.00	MW	OH		
AP00373045	40169	LIFELOC TECHNOLOGIES INC	01/16/19	1,630.00	MW	OH		
AP00373046	51502	LIN, VICTOR	01/16/19	524.00	MW	OH		
AP00373047	54265R	LIU, GUI XIN	01/16/19	2,075.00	MW	OH		
AP00373048	54266R	LIU, SEREN	01/16/19	5,218.90	MW	OH		
AP00373049	54077	LOWE'S	01/16/19	659.61	MW	OH		
AP00373050	52830	M & M BACKFLOW & METER MAINT	01/16/19	4,585.34	MW	OH		
AP00373051	6620	MACKRISS, DAVID	01/16/19	465.36	MW	OH		
AP00373052	44445R	MADDEN, JAMES	01/16/19	720.00	MW	OH		
AP00373053	41479R	MAGAN, RODOLFO S	01/16/19	720.00	MW	OH		
AP00373054	54267R	MAGSAYSAY, MARILYN	01/16/19	146.49	MW	OH		
AP00373055	32991R	MALTBIE, SHAWNNA	01/16/19	210.94	MW	OH		
AP00373056	27066	MANAGED HEALTH NETWORK	01/16/19	1,857.60	MW	OH		
AP00373057	47119R	MATA, LEANNE	01/16/19	105.00	MW	OH		

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AP00373058	54269R	MAUNG, YUPAR	01/16/19	60.00	MW	OH		
AP00373059	18331	MCCARTHY, KEVIN	01/16/19	163.49	MW	OH		
AP00373060	2509	MCLANE, GARY	01/16/19	720.00	MW	OH		
AP00373061	54270R	MENDIETA, GENIEVIVE	01/16/19	400.00	MW	OH		
AP00373062	25805JPA	MENLO PARK FIRE PROTECTION DI	01/16/19	19,908.00	MW	OH		
AP00373063	23949	METRO MOBILE COMMUNICATIONS	01/16/19	1,844.03	MW	OH		
AP00373064	48672	METTLER TOLEDO RAININ LLC	01/16/19	49.84	MW	OH		
AP00373065	54271R	MEZHERITSKIY, ALEX	01/16/19	105.00	MW	OH		
AP00373066	54268R	MIDDLETON, LADY LYNNE	01/16/19	105.00	MW	OH		
AP00373067	24775	MISSION VALLEY FORD TRUCK	01/16/19	68.77	MW	OH		
AP00373068	49436REN	MKD CEDAR HILL LLC	01/16/19	5,514.64	MW	OH		
AP00373069	49476R	MOALA, JOSHUA	01/16/19	1,014.06	MW	OH		
AP00373070	48662	MODULAR SPACE CORPORATION	01/16/19	357.22	MW	OH		
AP00373071	52302R	MOK, DORA	01/16/19	185.00	MW	OH		
AP00373072	15396	MOSS RUBBER & EQUIPMENT CORP	01/16/19	145.60	MW	OH		
AP00373073	30490R	MOTIPARA, RAJ	01/16/19	720.00	MW	OH		
AP00373074	46655	MSC INDUSTRIAL SUPPLY CO	01/16/19	65.09	MW	OH		
AP00373075	15210	MUNICIPAL MAINTENANCE EQUIPME	01/16/19	3,309.68	MW	OH		
AP00373076	17654	MUSSMAN, RONALD	01/16/19	175.00	MW	OH		
AP00373077	43288	NATIONWIDE	01/16/19	495.05	MW	OH		
AP00373078	40378R	NEW CITY ROOFING CO INC	01/16/19	275.00	MW	OH		
AP00373079	45221R	NEW HIGH PROTECTION ROOFING I	01/16/19	275.00	MW	OH		
AP00373080	52324R	NEWTON, CAMERON	01/16/19	325.00	MW	OH		
AP00373081	54242R	NG, KIM HONG	01/16/19	50.00	MW	OH		
AP00373082	52158	NIEMI JR, GEORGE	01/16/19	502.35	MW	OH		

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AP00373083	1613	NORLAB INC	01/16/19	472.00	MW	OH	
AP00373084	34131	NORTH FENCE COMPANY	01/16/19	1,298.00	MW	OH	
AP00373085	36915	NOWDOCS INTERNATIONAL INC	01/16/19	1,089.57	MW	OH	
AP00373086	9393	O'ROURKE, MICHAEL	01/16/19	465.36	MW	OH	
AP00373087	54272R	ODR ROOFING	01/16/19	275.00	MW	OH	
AP00373088	1055	OFFICE DEPOT	01/16/19	1,654.72	MW	OH	
AP00373089	15337	OFFICE DEPOT	01/16/19	1,293.52	MW	OH	
AP00373090	42500	OFFICE DEPOT	01/16/19	1,813.77	MW	OH	
AP00373091	3685	OTIS ELEVATOR COMPANY	01/16/19	879.08	MW	OH	
AP00373092	42838	PACE SUPPLY CORP	01/16/19	248.68	MW	OH	
AP00373093	1216	PACIFIC GAS & ELECTRIC	01/16/19	42,544.78	MW	OH	
AP00373094	48367R	PACIFIC ISLANDER COMMUNITY	01/16/19	250.00	MW	OH	
AP00373095	1080	PACIFIC NURSERIES	01/16/19	65.25	MW	OH	
AP00373096	29252	PACIFIC PRODUCE INC	01/16/19	1,395.55	MW	OH	
AP00373097	5870R	PALABY, NORMAN	01/16/19	465.36	MW	OH	
AP00373098	43114R	PANARIN, VLADIMIR	01/16/19	275.00	MW	OH	
AP00373099	4312	PARKER, CHRIS	01/16/19	345.36	MW	OH	
AP00373100	20794	PELCO SALES & SERVICE INC	01/16/19	627.49	MW	OH	
AP00373101	29738	PENINSULA UNIFORMS & EQUIPMEN	01/16/19	1,801.77	MW	OH	
AP00373102	27473	PENWORTHY COMPANY, THE	01/16/19	5,993.88	MW	OH	
AP00373103	50884	PEREZ-VAUGHAN, CLAUDIA	01/16/19	290.00	MW	OH	
AP00373104	13399	PERLAS, MICHAEL A	01/16/19	720.00	MW	OH	
AP00373105	19678	PERS LONG TERM CARE PROGRAM	01/16/19	679.29	MW	OH	
AP00373106	51799	PET FOOD EXPRESS	01/16/19	172.78	MW	OH	
AP00373107	13794R	PETERSEN, CHRISTOPHER	01/16/19	750.00	MW	OH	

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AP00373108	47044	PETERSON TRUCKS INC	01/16/19	1,129.41	MW	OH	
AP00373109	31384	PFEIFER, JAMES	01/16/19	9,475.00	MW	OH	
AP00373110	54273R	PHUNG, KENNETH	01/16/19	433.40	MW	OH	
AP00373111	32428R	PICCOLOTTI, THOMAS	01/16/19	294.35	MW	OH	
AP00373112	54274R	PINEDA, DIANA	01/16/19	60.00	MW	OH	
AP00373113	25817JPA	POINT MONTARA HALF MOON BAY F	01/16/19	10,007.00	MW	OH	
AP00373114	36106	POLYDYNE INC	01/16/19	57,566.03	MW	OH	
AP00373115	52406	POWER WORKS INC	01/16/19	330.00	MW	OH	
AP00373116	16440	PRAXAIR DISTRIBUTION INC	01/16/19	113.88	MW	OH	
AP00373117	14431	PRAXAIR INC	01/16/19	5,778.45	MW	OH	
AP00373118	47154	PRECISION CONCRETE CUTTING	01/16/19	3,062.50	MW	OH	
AP00373119	50122	PRISMVIEW LLC	01/16/19	39.00	MW	OH	
AP00373120	52408R	PRYOR, JONATHAN	01/16/19	200.00	MW	OH	
AP00373121	1115	R & B COMPANY	01/16/19	13,837.80	MW	OH	
AP00373122	12539	R A METAL PRODUCTS INC	01/16/19	7,374.72	MW	OH	
AP00373123	28448	R J THOMAS MFG CO INC	01/16/19	324.00	MW	OH	
AP00373124	54276R	RAMOS, G MATTHEW	01/16/19	105.00	MW	OH	
AP00373125	42475	RB PETROLEUM SERVICES	01/16/19	8,146.00	MW	OH	
AP00373126	50803	READYREFRESH BY NESTLE	01/16/19	236.29	MW	OH	
AP00373127	41528	REDFLEX TRAFFIC SYSTEMS INC	01/16/19	22,080.00	MW	OH	
AP00373128	51834	REPORTING SYSTEMS INC	01/16/19	643.58	MW	OH	
AP00373129	1200	REPUBLIC SERVICES OF NORTH AM	01/16/19	860,546.26	MW	OH	
AP00373130	51931	ROADPOST USA INC	01/16/19	657.72	MW	OH	
AP00373131	2569	ROAY, CORY	01/16/19	345.36	MW	OH	
AP00373132	49145	ROCKWELL SOLUTIONS INC	01/16/19	13,011.80	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373133	50449	RODAS, CLAUDIA	01/16/19	1,002.50	MW	OH		
AP00373134	11008R	RODRIGUEZ, JOSEFINA	01/16/19	720.00	MW	OH		
AP00373135	50491	RON TURLEY ASSOCIATES INC	01/16/19	937.19	MW	OH		
AP00373136	30284R	ROSALES, MICHAEL	01/16/19	452.35	MW	OH		
AP00373137	22771	S & S WORLDWIDE INC	01/16/19	391.47	MW	OH		
AP00373138	54170	SAFECO ELECTRIC SUPPLY INC	01/16/19	381.95	MW	OH		
AP00373139	1087	SAFETY KLEEN SYSTEMS INC	01/16/19	234.25	MW	OH		
AP00373140	53427	SAGE CONSULTING ENGINEERS INC	01/16/19	21,952.80	MW	OH		
AP00373141	51614	SAN MATEO CART SERVICE	01/16/19	1,500.00	MW	OH		
AP00373142	12544	SAN MATEO COUNTY CONTROLLERS	01/16/19	95,549.70	MW	OH		
AP00373143	43158JPA	SAN MATEO COUNTY FIRE COUNTY	01/16/19	16,670.00	MW	OH		
AP00373144	29818R	SAN MATEO COUNTY HOUSING AUTH	01/16/19	3,241.53	MW	OH		
AP00373145	28572	SAN MATEO COUNTY MOSQUITO AND	01/16/19	1,046.08	MW	OH		
AP00373146	35246	SAN MATEO COUNTY SHERIFFS OFF	01/16/19	9,236.00	MW	OH		
AP00373147	1790	SAN MATEO COUNTY TRANSIT DIST	01/16/19	21,178.25	MW	OH		
AP00373148	9666	SAN MATEO LAWN MOWER SHOP	01/16/19	621.68	MW	OH		
AP00373149	2934	SAVETNICK, ADRIENNE	01/16/19	720.00	MW	OH		
AP00373150	49441	SC FUELS	01/16/19	40,505.68	MW	OH		
AP00373151	1111	SF - WATER	01/16/19	635,475.49	MW	OH		
AP00373152	50625R	SF CROWN ROOFING INC	01/16/19	704.78	MW	OH		
AP00373153	23742	SHOE DEPOT INC	01/16/19	342.52	MW	OH		
AP00373154	49695	SHRED IT USA	01/16/19	331.18	MW	OH		
AP00373155	52666	SHRED WORKS INC	01/16/19	178.00	MW	OH		
AP00373156	38883	SIGILLO SUPPLY COMPANY INC	01/16/19	282.11	MW	OH		
AP00373157	54201	SIGN PRO INC	01/16/19	673.50	MW	OH		

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AP00373158	51449	SIMPSON GUMPERTZ & HEGER INC	01/16/19	770.00	MW	OH		
AP00373159	32237	SMART & FINAL STORES LLC	01/16/19	780.00	MW	OH		
AP00373160	1985	SMCPCSA	01/16/19	400.00	MW	OH		
AP00373161	54233R	SOYANGCO, SANTINO	01/16/19	243.62	MW	OH		
AP00373162	53489	SPIN OFF LLC	01/16/19	90.00	MW	OH		
AP00373163	53814	SQUEEKY KLEENING CO	01/16/19	11,680.00	MW	OH		
AP00373164	54277R	SRIVIENG, THANAPONG	01/16/19	150.00	MW	OH		
AP00373165	7383	SROCK, STEPHEN E	01/16/19	720.00	MW	OH		
AP00373166	6352	STATE BAR OF CALIFORNIA	01/16/19	955.00	MW	OH		
AP00373167	45112JPA	STATE COMPENSATION INSURANCE	01/16/19	334.14	MW	OH		
AP00373168	50386	STATE WATER RESOURCES CONTROL	01/16/19	2,741.00	MW	OH		
AP00373169	36511	STELLA, ROBERT	01/16/19	155.00	MW	OH		
AP00373170	40900	STEVENS BAY AREA DIESEL SERVI	01/16/19	2,651.52	MW	OH		
AP00373171	53915	SUAREZ & MUNOZ CONSTRUCTION I	01/16/19	57,617.50	MW	OH		
AP00373172	52535R	SUAREZ, JOJO	01/16/19	146.78	MW	OH		
AP00373173	18334	SUPERION LLC	01/16/19	1,970.00	MW	OH		
AP00373174	50360	SUPPLYWORKS	01/16/19	1,148.37	MW	OH		
AP00373175	51439	SWEET DELIGHT BAKERY	01/16/19	748.00	MW	OH		
AP00373176	29237	SYNAGRO WEST LLC	01/16/19	14,733.42	MW	OH		
AP00373177	45319	T MOBILE USA INC	01/16/19	1,530.00	MW	OH		
AP00373178	53083	TACTICAL MEDICAL SOLUTIONS IN	01/16/19	22,194.83	MW	OH		
AP00373179	53308R	TAKOMA CARPENTRY	01/16/19	65.00	MW	OH		
AP00373180	42522R	TAN, ANDY	01/16/19	1,175.00	MW	OH		
AP00373181	8098	TAN, REYNALDO	01/16/19	720.00	MW	OH		
AP00373182	1126	TAPCO	01/16/19	1,175.98	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373183	39424	TARGET SOLUTIONS	01/16/19	7,520.00	MW	OH		
AP00373184	39843R	TAYLOR, LUCAS	01/16/19	641.90	MW	OH		
AP00373185	43479	TEAM NORTH CONSTRUCTION SERVI	01/16/19	1,307.97	MW	OH		
AP00373186	31350R	TEMPLO NUEVA JERUSALEM	01/16/19	250.00	MW	OH		
AP00373187	1201	THOMSON REUTERS WEST	01/16/19	2,312.49	MW	OH		
AP00373188	42972	TRACTION OAKLAND	01/16/19	96.90	MW	OH		
AP00373189	38456	TRAFFIC DATA SERVICE CA LLC	01/16/19	4,760.00	MW	OH		
AP00373190	19767	TRAK ENGINEERING INC	01/16/19	716.57	MW	OH		
AP00373191	49543	TRB AND ASSOCIATES INC	01/16/19	375.00	MW	OH		
AP00373192	53970	TRIDENT K9 CONSULTING	01/16/19	900.00	MW	OH		
AP00373193	52033	TRIEPEI SMITH & ASSOCIATES IN	01/16/19	1,475.00	MW	OH		
AP00373194	54241R	TSI, WAI FONG	01/16/19	50.00	MW	OH		
AP00373195	54278R	TSUI, KING LOK	01/16/19	850.00	MW	OH		
AP00373196	51119R	TUALAULELEI, JEREL	01/16/19	230.54	MW	OH		
AP00373197	26803	TURBO DATA SYSTEMS INC	01/16/19	18,453.52	MW	OH		
AP00373198	4675	TURF & INDUSTRIAL EQUIPMENT C	01/16/19	94.77	MW	OH		
AP00373199	37637	ULINE INC	01/16/19	226.54	MW	OH		
AP00373200	34148R	ULLMAN, DOUGLAS	01/16/19	720.00	MW	OH		
AP00373201	31745	UNITED SITE SERVICES OF CALIF	01/16/19	410.13	MW	OH		
AP00373202	32209	UNIVAR USA INC	01/16/19	14,848.21	MW	OH		
AP00373203	3904	UPS	01/16/19	116.60	MW	OH		
AP00373204	G-COEN	US DEPARTMENT OF EDUCATION	01/16/19	493.35	MW	OH		
AP00373205	G-ORTEGA	US DEPARTMENT OF EDUCATION	01/16/19	460.57	MW	OH		
AP00373206	46998	UTILITY TELECOM GROUP LLC	01/16/19	1,546.35	MW	OH		
AP00373207	38922	VANTAGEPOINT TRANSFER AGENTS-	01/16/19	126,387.86	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373208	45311R	VEEVALU, MAYBEL	01/16/19	60.00	MW	OH		
AP00373209	29329	VERIZON WIRELESS SERVICES LLC	01/16/19	3,120.13	MW	OH		
AP00373210	29329	VERIZON WIRELESS SERVICES LLC	01/16/19	316.23	MW	OH		
AP00373211	29329	VERIZON WIRELESS SERVICES LLC	01/16/19	456.12	MW	OH		
AP00373212	54237R	VILLEGAS, EDUARDO	01/16/19	686.71	MW	OH		
AP00373213	1579	VWR INTERNATIONAL LLC	01/16/19	386.17	MW	OH		
AP00373214	36355	WASTEWATER SOLUTIONS INC	01/16/19	4,125.00	MW	OH		
AP00373215	50485	WAVE BROADBAND	01/16/19	646.67	MW	OH		
AP00373216	3691	WECO INDUSTRIES LLC	01/16/19	93.05	MW	OH		
AP00373217	49085	WEST COAST ARBORISTS INC	01/16/19	4,075.00	MW	OH		
AP00373218	39237	WEST COAST CODE CONSULTANTS I	01/16/19	1,887.80	MW	OH		
AP00373219	1095	WESTLAKE ECO SOFT-TOUCH	01/16/19	462.10	MW	OH		
AP00373220	53692	WINDOW AND DOOR SHOP INC, THE	01/16/19	3,846.44	MW	OH		
AP00373221	53853R	WL CONSTRUCTION GROUP	01/16/19	515.00	MW	OH		
AP00373222	21984	WONG, ANTHONY	01/16/19	1,389.75	MW	OH		
AP00373223	18388JPA	WOODSIDE FIRE PROTECTION DIST	01/16/19	11,382.00	MW	OH		
AP00373224	49017R	WOOLERY, PETER	01/16/19	162.04	MW	OH		
AP00373225	17364	WORLD BOOK INC	01/16/19	1,955.33	MW	OH		
AP00373226	54279R	WU, ALAN	01/16/19	1,475.00	MW	OH		
AP00373227	34537	YAMAMURA, JAIME	01/16/19	665.00	MW	OH		
AP00373228	54247R	YEUNG, THOMAS	01/16/19	50.00	MW	OH		
AP00373229	54280R	ZAMORA, SHARON	01/16/19	105.00	MW	OH		
AP00373230	54246R	ZHANG, WENBIN	01/16/19	50.00	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel	To Note
=====								
G R A N D T O T A L S:								
		Total Void Machine Written		0.00	Number of Checks Processed:			0
		Total Void Hand Written		0.00	Number of Checks Processed:			0
		Total Machine Written		3,117,225.18	Number of Checks Processed:			423
		Total Hand Written		0.00	Number of Checks Processed:			0
		Total Reversals		0.00	Number of Checks Processed:			0
		Total Cancelled		0.00	Number of Checks Processed:			0
		Total EFTs		0.00	Number of EFTs Processed:			0
		Total EPAYs		0.00	Number of EPAYs Processed:			0
		G R A N D T O T A L		3,117,225.18				

LESS CANCELLED CHECK:

AP00373208 45311R VEEVALU, MAYBEL 01/16/19 (60.00)
3,117,165.18

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373231	46218R	24/7 ROOTER & PLUMBING SERVIC	01/31/19	6,000.00	MW	OH		
AP00373232	29794R	ABELSON, JOEL	01/31/19	345.00	MW	OH		
AP00373233	25484R	ABORDO, DANILO	01/31/19	720.00	MW	OH		
AP00373234	52558	ACCOUNTEMP	01/31/19	2,310.00	MW	OH		
AP00373235	15222	ACTION SPORTS	01/31/19	731.89	MW	OH		
AP00373236	53561	ACTION TOWING	01/31/19	800.00	MW	OH		
AP00373237	34666	AD BRAKES	01/31/19	249.00	MW	OH		
AP00373238	1514	ADAM HILL COMPANY, THE	01/31/19	2,371.42	MW	OH		
AP00373239	54281	ADVANCED ADBAG PACKAGING INC	01/31/19	1,294.80	MW	OH		
AP00373240	45291	ADVANCED BUSINESS FORMS	01/31/19	2,451.44	MW	OH		
AP00373241	13854	AECO SYSTEMS INC	01/31/19	371.76	MW	OH		
AP00373242	15226	AFSCME DISTRICT COUNCIL 57	01/31/19	3,476.50	MW	OH		
AP00373243	8214	AGUSTIN, JULIAN	01/31/19	720.00	MW	OH		
AP00373244	29880	AIRGAS USA LLC	01/31/19	29.13	MW	OH		
AP00373245	6301R	ALCALDE, MARIA	01/31/19	720.00	MW	OH		
AP00373246	14004	ALERT PEST CONTROL COMPANY IN	01/31/19	4,947.95	MW	OH		
AP00373247	1025	ALHAMBRA	01/31/19	665.08	MW	OH		
AP00373248	22544	ALLSTAR FIRE EQUIPMENT INC	01/31/19	1,733.11	MW	OH		
AP00373249	37981	ALS TRIBOLOGY	01/31/19	29.70	MW	OH		
AP00373250	40755	AMAZON	01/31/19	5,190.69	MW	OH		
AP00373251	42310	AMERINAT	01/31/19	517.00	MW	OH		
AP00373252	35696	AMERIPRIDE	01/31/19	2,272.94	MW	OH		
AP00373253	54292R	ANDREACCHI, NICHOLAS	01/31/19	455.59	MW	OH		
AP00373254	52373R	ANGUIANO, JUAN	01/31/19	2,100.43	MW	OH		
AP00373255	54290	APEX SYSTEMS LLC	01/31/19	1,433.25	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00373256	1259	ARAMARK UNIFORM SERVICES INC	01/31/19	333.48	MW	OH	
AP00373257	1101	AT&T	01/31/19	256.18	MW	OH	
AP00373258	32577	AT&T	01/31/19	12,299.24	MW	OH	
AP00373259	47003	AT&T	01/31/19	85.71	MW	OH	
AP00373260	6413	AT&T	01/31/19	6,387.63	MW	OH	
AP00373261	44649	ATLAS COPCO COMPRESSORS LLC	01/31/19	2,335.62	MW	OH	
AP00373262	44506R	ATLAS PLUMBING AND ROOTER INC	01/31/19	4,000.00	MW	OH	
AP00373263	5623	ATLAS TOWING SERVICE INC	01/31/19	700.00	MW	OH	
AP00373264	29643	AUTO COLLISION CENTER	01/31/19	6,480.42	MW	OH	
AP00373265	12841	AVERA, PATRICK	01/31/19	383.25	MW	OH	
AP00373266	1232	BAKER & TAYLOR COMPANY INC	01/31/19	704.72	MW	OH	
AP00373267	54293R	BARRY M NADELL CONSTRUCTION I	01/31/19	500.00	MW	OH	
AP00373268	20919	BAUER COMPRESSORS INC	01/31/19	2,030.00	MW	OH	
AP00373269	49645	BAXTERS FRAME WORKS	01/31/19	90.09	MW	OH	
AP00373270	19892	BAY AREA PAVING COMPANY INC	01/31/19	3,900.00	MW	OH	
AP00373271	1562	BAY AREA WATER SUPPLY & CONSE	01/31/19	2,657.40	MW	OH	
AP00373272	44818	BAZDARICH, MARLENE	01/31/19	74.00	MW	OH	
AP00373273	22204R	BENEDITO, ERNESTO	01/31/19	500.00	MW	OH	
AP00373274	16026R	BERTOLUCCI, JOSEPH	01/31/19	2,434.92	MW	OH	
AP00373275	19200	BIRITE FOODSERVICE DISTRIBUTO	01/31/19	2,963.04	MW	OH	
AP00373276	50467	BPS TACTICAL INC	01/31/19	514.69	MW	OH	
AP00373277	41361R	BROWN, HARRY J AND ATHANASIA	01/31/19	500.00	MW	OH	
AP00373278	46548R	BUENAVENTURA, RAYMOND A	01/31/19	508.86	MW	OH	
AP00373279	5896	BUSHONG, MATTHEW	01/31/19	720.00	MW	OH	
AP00373280	54294R	BUSTAMANTE, JIMALYN	01/31/19	400.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373281	48259	BWNVT MOTORS INC	01/31/19	861.05	MW	OH		
AP00373282	17997	C.L.E.A.	01/31/19	2,254.00	MW	OH		
AP00373283	54295R	CABLECOM	01/31/19	2,760.00	MW	OH		
AP00373284	46072R	CABLECOM LLC	01/31/19	48,600.00	MW	OH		
AP00373285	33981	CAGWIN & DORWARD	01/31/19	325.00	MW	OH		
AP00373286	36927	CALCON SYSTEMS INC	01/31/19	51,720.18	MW	OH		
AP00373287	16940	CALIBRE PRESS INC	01/31/19	159.00	MW	OH		
AP00373288	42619	CALIFORNIA BUILDING STANDARDS	01/31/19	958.00	MW	OH		
AP00373289	1289	CALIFORNIA DEPARTMENT OF TAX	01/31/19	7,861.00	MW	OH		
AP00373290	23173	CALIFORNIA DIESEL AND POWER	01/31/19	7,721.76	MW	OH		
AP00373291	34077	CALIFORNIA LAW ENFORCEMENT AS	01/31/19	50.00	MW	OH		
AP00373292	1196	CALIFORNIA WATER SERVICE COMP	01/31/19	125.09	MW	OH		
AP00373293	17888	CARL WARREN & COMPANY INC	01/31/19	2,240.85	MW	OH		
AP00373294	9356	CASCADE	01/31/19	5,861.63	MW	OH		
AP00373295	1569	CASTELLO, BARBARA F	01/31/19	720.00	MW	OH		
AP00373296	28636	CDW GOVERNMENT INC	01/31/19	3,966.09	MW	OH		
AP00373297	2930	CED CONTRACTORS SF	01/31/19	600.24	MW	OH		
AP00373298	30689	CENTRISYS CORPORATION	01/31/19	6,351.93	MW	OH		
AP00373299	54171	CENTURY CARPET	01/31/19	83,999.85	MW	OH		
AP00373300	52335	CGMC	01/31/19	875.00	MW	OH		
AP00373301	3020	CHANNING BETE COMPANY INC	01/31/19	6,204.00	MW	OH		
AP00373302	52001R	CHEN, ABBY R	01/31/19	500.00	MW	OH		
AP00373303	54297R	CHEN, ZIMING	01/31/19	1,475.00	MW	OH		
AP00373304	54298R	CHEUNG, VICTOR	01/31/19	1,535.00	MW	OH		
AP00373305	16201	CHOY, STANTON	01/31/19	720.00	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00373306	3678	CINTAS CORPORATION #464	01/31/19	3,552.70	MW	OH	
AP00373307	14786	CIR	01/31/19	2,031.24	MW	OH	
AP00373308	35395	CITY AUTO SUPPLY	01/31/19	1,215.19	MW	OH	
AP00373309	46084JPA	CITY OF BELMONT	01/31/19	8,298.00	MW	OH	
AP00373310	49726	CITY OF BURLINGAME	01/31/19	200.00	MW	OH	
AP00373311	25602	CITY OF DALY CITY	01/31/19	2,375.56	MW	OH	
AP00373312	54186	CIVICPLUS INC	01/31/19	600.00	MW	OH	
AP00373313	19765	CLARIDAD DELLAWAY, JOVITA	01/31/19	720.00	MW	OH	
AP00373314	51061	CLEAN VENT INC	01/31/19	4,240.00	MW	OH	
AP00373315	20045	CLEANSMART SOLUTIONS INC	01/31/19	3,655.64	MW	OH	
AP00373316	18465	CLEARLITE TROPHIES	01/31/19	60.09	MW	OH	
AP00373317	38790	COASTSIDE FIRE PROTECTION	01/31/19	150.00	MW	OH	
AP00373318	34153	COMCAST	01/31/19	27.99	MW	OH	
AP00373319	48517	COMCAST	01/31/19	254.27	MW	OH	
AP00373320	48645	COMCAST	01/31/19	104.41	MW	OH	
AP00373321	49055	COMCAST	01/31/19	40.09	MW	OH	
AP00373322	51634	COMCAST	01/31/19	139.90	MW	OH	
AP00373323	52652	COMCAST	01/31/19	163.33	MW	OH	
AP00373324	40882RJPA	COMER, SHERYL	01/31/19	241.40	MW	OH	
AP00373325	12578	COMPLETE LINEN SERVICE INC	01/31/19	69.24	MW	OH	
AP00373326	30109	CORELOGIC SOLUTIONS LLC	01/31/19	213.94	MW	OH	
AP00373327	14930	COUNTY OF SAN MATEO	01/31/19	3,990.67	MW	OH	
AP00373328	17561	COUNTY OF SAN MATEO	01/31/19	628,950.00	MW	OH	
AP00373329	43157JPA	COUNTY OF SAN MATEO	01/31/19	1,337.23	MW	OH	
AP00373330	42324	CRIME SCENE CLEANERS INC	01/31/19	280.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373331	50391R	CRIVELLO, YVONNE	01/31/19	720.00	MW	OH		
AP00373332	48323	CRYSTAL CREAMERY	01/31/19	539.31	MW	OH		
AP00373333	28906	CSG CONSULTANTS INC	01/31/19	6,010.00	MW	OH		
AP00373334	7274	CUMMINS PACIFIC	01/31/19	7,293.49	MW	OH		
AP00373335	21239R	CURRAN, JOSEPH	01/31/19	1,560.67	MW	OH		
AP00373336	25580	CWEA-MEMBERSHIP	01/31/19	188.00	MW	OH		
AP00373337	19907	CWEA-TCP	01/31/19	97.00	MW	OH		
AP00373338	1836	DAILY JOURNAL CORPORATION	01/31/19	4,534.50	MW	OH		
AP00373339	1414	DALY CITY CENTRAL CASHIER	01/31/19	792.38	MW	OH		
AP00373340	1937	DALY CITY FIREFIGHTERS UNION	01/31/19	9,218.25	MW	OH		
AP00373341	30935	DALY CITY POLICE OFFICERS BEN	01/31/19	1,095.00	MW	OH		
AP00373342	9290	DALY CITY POLICE OFFICERS ASS	01/31/19	1,880.00	MW	OH		
AP00373343	9290	DALY CITY POLICE OFFICERS ASS	01/31/19	13,270.92	MW	OH		
AP00373344	1793	DALY CITY TOOL MART	01/31/19	13.05	MW	OH		
AP00373345	54296R	DANILO, CALICA	01/31/19	28.00	MW	OH		
AP00373346	7817	DANS DRILLING & FENCING INC	01/31/19	5,890.00	MW	OH		
AP00373347	42706	DASH MEDICAL GLOVES INC	01/31/19	108.54	MW	OH		
AP00373348	54283R	DAUS-MAGBUAL, ROD	01/31/19	506.76	MW	OH		
AP00373349	48981	DC FROST ASSOCIATES INC	01/31/19	4,402.03	MW	OH		
AP00373350	4513	DEAN, ROBERT	01/31/19	720.00	MW	OH		
AP00373351	53805R	DEEMS LEWEIS MCKINLEY ARCHITE	01/31/19	8,500.00	MW	OH		
AP00373352	45599	DELA CRUZ, CHRISTIAN	01/31/19	3,121.20	MW	OH		
AP00373353	30701R	DELUNA, EVELYN	01/31/19	400.00	MW	OH		
AP00373354	3364	DEPARTMENT OF CONSERVATION	01/31/19	2,679.78	MW	OH		
AP00373355	1299	DEPARTMENT OF JUSTICE	01/31/19	196.00	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00373356	53642	DEVINE AND GONG INC	01/31/19	104.00	MW	OH	
AP00373357	22736	DEWEY, DAVID	01/31/19	750.00	MW	OH	
AP00373358	42371	DIAL GLASS AND WINDOW COMPANY	01/31/19	187.65	MW	OH	
AP00373359	54282R	DIGIOVANNI, PAMELA	01/31/19	498.96	MW	OH	
AP00373360	50162	DIMENSIONS DANCE THEATER INC	01/31/19	750.00	MW	OH	
AP00373361	26138R	DISCOUNT PLUMBING & HEATING	01/31/19	4,000.00	MW	OH	
AP00373362	9643	DONATI, ROBERT	01/31/19	720.00	MW	OH	
AP00373363	30629LAW	DOWNEY BRAND ATTORNEYS LLP	01/31/19	646.00	MW	OH	
AP00373364	54299R	DRIKER, GREGORY	01/31/19	250.00	MW	OH	
AP00373365	48177	EAST BAY TIRE CO	01/31/19	502.75	MW	OH	
AP00373366	49830R	ECONOMY PLUMBING	01/31/19	2,000.00	MW	OH	
AP00373367	54143	EKI ENVIRONMENT & WATER	01/31/19	813.80	MW	OH	
AP00373368	51252	ELITE CORPORATE SERVICES INC	01/31/19	1,300.00	MW	OH	
AP00373369	44735	ENVIRONMENTAL EXPRESS INC	01/31/19	2,747.64	MW	OH	
AP00373370	32295R	ESPARZA, JUAN	01/31/19	400.00	MW	OH	
AP00373371	43394R	ESTES, MARK	01/31/19	750.00	MW	OH	
AP00373372	2167	EVANS, GRACE A	01/31/19	720.00	MW	OH	
AP00373373	26327	EWING IRRIGATION PRODUCTS INC	01/31/19	489.79	MW	OH	
AP00373374	37186	FALCON ASSOCIATES INC	01/31/19	244.69	MW	OH	
AP00373375	54300R	FANG, GUO SEN	01/31/19	1,175.00	MW	OH	
AP00373376	42544	FARMER BROTHERS COFFEE	01/31/19	477.17	MW	OH	
AP00373377	1383	FEDEX	01/31/19	118.62	MW	OH	
AP00373378	10971	FEDEX OFFICE	01/31/19	23.88	MW	OH	
AP00373379	26375	FEINBERG, JEANETTE	01/31/19	455.00	MW	OH	
AP00373380	47322	FERN ELECTRIC & CONTROL INC	01/31/19	1,080.00	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373381	34698	FERROGROUP INC DBA	01/31/19	72.97	MW	OH		
AP00373382	37459	FIRE CONNECTION INC, THE	01/31/19	1,797.23	MW	OH		
AP00373383	41177R	FIRM CONSTRUCTION COMPANY	01/31/19	1,466.12	MW	OH		
AP00373384	19787	FIRST CHOICE COFFEE SERVICES	01/31/19	685.13	MW	OH		
AP00373385	54301R	FONG, FLORA	01/31/19	1,475.00	MW	OH		
AP00373386	47590	FOSTER FLOW CONTROL	01/31/19	5,059.06	MW	OH		
AP00373387	G-HOLMES	FRANCHISE TAX BOARD	01/31/19	200.00	MW	OH		
AP00373388	2275	GAMMA, RAYMOND G	01/31/19	720.00	MW	OH		
AP00373389	44820	GARLASA, ELLISON	01/31/19	612.00	MW	OH		
AP00373390	48808	GATEWOOD, RUSSELL	01/31/19	550.00	MW	OH		
AP00373391	37066R	GERACE, ANTHONY	01/31/19	130.17	MW	OH		
AP00373392	51053	GET GO INC, THE	01/31/19	2,013.00	MW	OH		
AP00373393	25055	GILDEN, SUSANNA	01/31/19	720.00	MW	OH		
AP00373394	34864	GOLDEN STATE FLOW MEASUREMENT	01/31/19	61.33	MW	OH		
AP00373395	50226	GOULD, LINDA	01/31/19	408.00	MW	OH		
AP00373396	31925	GOVCONNECTION INC	01/31/19	763.10	MW	OH		
AP00373397	52777	GOVERNMENT STAFFING SERVICES	01/31/19	6,000.00	MW	OH		
AP00373398	1754	GRAINGER INC	01/31/19	2,676.29	MW	OH		
AP00373399	36985	GRAND INDUSTRIES INC	01/31/19	20,000.00	MW	OH		
AP00373400	1571	GRANITEROCK	01/31/19	1,835.87	MW	OH		
AP00373401	52490R	GREEN METRO CONSTRUCTION	01/31/19	1,925.00	MW	OH		
AP00373402	22404	GREGS TRUCKING SERVICE INC	01/31/19	2,396.40	MW	OH		
AP00373403	30894	GRM	01/31/19	395.63	MW	OH		
AP00373404	6313	GUALCO, FRED	01/31/19	720.00	MW	OH		
AP00373405	54302R	GUO, JAMES	01/31/19	2,258.00	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00373406	13937	GUSTAVSON, STAN	01/31/19	720.00	MW	OH	
AP00373407	5695	GUTIERREZ, MICHAEL	01/31/19	720.00	MW	OH	
AP00373408	2223	HACH COMPANY	01/31/19	2,747.52	MW	OH	
AP00373409	54291R	HAGERTY INSURANCE AGENCY	01/31/19	5,225.50	MW	OH	
AP00373410	54329R	HANES ALFARO, SARAH	01/31/19	116.94	MW	OH	
AP00373411	36401LAW	HANSON BRIDGETT LLP	01/31/19	3,599.00	MW	OH	
AP00373412	30684	HD SUPPLY CONSTRUCTION AND	01/31/19	28.94	MW	OH	
AP00373413	48246	HELLAN STRAINER COMPANY, THE	01/31/19	3,970.29	MW	OH	
AP00373414	23318	HERC RENTALS INC	01/31/19	19,174.80	MW	OH	
AP00373415	17021	HF&H CONSULTANTS LLC	01/31/19	2,800.00	MW	OH	
AP00373416	9049	HI TECH EVS INC	01/31/19	124.34	MW	OH	
AP00373417	14410R	HIGH QUALITY ROOFING CO	01/31/19	275.00	MW	OH	
AP00373418	54303R	HIGH, TODD	01/31/19	113.50	MW	OH	
AP00373419	29488	HINES EDM INC	01/31/19	1,709.75	MW	OH	
AP00373420	37867R	HUEY, JUDY	01/31/19	301.06	MW	OH	
AP00373421	41818	HUNTINGTON COURT REPORTERS	01/31/19	93.24	MW	OH	
AP00373422	54304R	HUSARY, NIDAL	01/31/19	500.00	MW	OH	
AP00373423	40583	HUTCHINSON, DARREL	01/31/19	200.00	MW	OH	
AP00373424	37608R	IGNACIO JR, ANGELO	01/31/19	129.35	MW	OH	
AP00373425	53167R	IN AND OUT PLUMBING	01/31/19	4,000.00	MW	OH	
AP00373426	48933	INFOSEND INC	01/31/19	7,158.02	MW	OH	
AP00373427	31781	INNOVATIVE CLAIM SOLUTIONS	01/31/19	27,810.00	MW	OH	
AP00373428	51901	INTEGRATED COMMUNICATION SYST	01/31/19	42,296.00	MW	OH	
AP00373429	48217R	INTEGRITY GENERAL CONSTRUCTIO	01/31/19	1,475.00	MW	OH	
AP00373430	1072	IRVINE & JACHENS INC	01/31/19	2,272.88	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To Note
AP00373431	47953	J KAEUPER & COMPANY	01/31/19	6,000.00	MW	OH	
AP00373432	38914	J P COOKE COMPANY	01/31/19	194.10	MW	OH	
AP00373433	54305R	JE BUILDER GENERAL CONTRACTOR	01/31/19	815.00	MW	OH	
AP00373434	48182	JETMULCH INC	01/31/19	2,931.36	MW	OH	
AP00373435	52573R	JML ENGINEERING & CONSTRUCTIO	01/31/19	2,000.00	MW	OH	
AP00373436	53983	JOE, CHRISTOPHER	01/31/19	330.00	MW	OH	
AP00373437	25311	JOHNSON CONTROLS SECURITY SOL	01/31/19	453.09	MW	OH	
AP00373438	17173	JOHNSON, TODD	01/31/19	200.00	MW	OH	
AP00373439	54306R	JOSEPH TINSLEY PLUMBING	01/31/19	2,000.00	MW	OH	
AP00373440	10255MED	KAISER FOUNDATION HEALTH PLAN	01/31/19	552.00	MW	OH	
AP00373441	29633	KELLY MOORE PAINT COMPANY INC	01/31/19	410.22	MW	OH	
AP00373442	47314	KEYSER MARSTON ASSOCIATES INC	01/31/19	3,025.00	MW	OH	
AP00373443	51508	KEYSTONE PLASTICS INC	01/31/19	2,025.07	MW	OH	
AP00373444	39604	KIMBALL MIDWEST	01/31/19	902.90	MW	OH	
AP00373445	49414	KITTELSON & ASSOCIATES INC	01/31/19	998.75	MW	OH	
AP00373446	20047	KOGA, JEANNE	01/31/19	720.00	MW	OH	
AP00373447	36720	KONECRANES INC	01/31/19	1,730.00	MW	OH	
AP00373448	48573	KOSMONT COMPANIES	01/31/19	5,155.90	MW	OH	
AP00373449	54288R	KOWNG, WINNIE	01/31/19	750.00	MW	OH	
AP00373450	40362	KRUEGER INTERNATIONAL	01/31/19	325.00	MW	OH	
AP00373451	54307R	LAO, SIN	01/31/19	937.68	MW	OH	
AP00373452	54308R	LATNEY, NIESHA	01/31/19	105.00	MW	OH	
AP00373453	8614	LC ACTION POLICE SUPPLY LTD	01/31/19	1,160.00	MW	OH	
AP00373454	52612R	LC HOME BUILDER INC	01/31/19	484.95	MW	OH	
AP00373455	54284	LEADSONLINE LLC	01/31/19	6,683.00	MW	OH	

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AP00373456	54309	LEBAK, CHARLES	01/31/19	7,716.37	MW	OH		
AP00373457	54310R	LEE, MALCOLM	01/31/19	1,000.00	MW	OH		
AP00373458	29200	LEGAL SHIELD	01/31/19	358.96	MW	OH		
AP00373459	30726	LEHR	01/31/19	10,181.56	MW	OH		
AP00373460	54312R	LEUNG, SUSAN	01/31/19	575.00	MW	OH		
AP00373461	12906LAW	LIEBERT CASSIDY WHITMORE	01/31/19	75.00	MW	OH		
AP00373462	54238R	LIMPIN, CHRISTINE	01/31/19	1,087.44	MW	OH		
AP00373463	54311R	LIN, TOMMY	01/31/19	1,446.27	MW	OH		
AP00373464	54240R	LIN, WANNONG	01/31/19	256.12	MW	OH		
AP00373465	25238	LIQUIVISION TECHNOLOGY	01/31/19	4,400.00	MW	OH		
AP00373466	29332	LORAL LANDSCAPING	01/31/19	4,012.90	MW	OH		
AP00373467	49511	LOS ANGELES POLICE DEPARTMENT	01/31/19	900.00	MW	OH		
AP00373468	49874	LOU'S GLOVES INC	01/31/19	420.00	MW	OH		
AP00373469	53419R	LU, LEO	01/31/19	920.00	MW	OH		
AP00373470	52830	M & M BACKFLOW & METER MAINT	01/31/19	2,762.25	MW	OH		
AP00373471	52772R	MAKSTMAN, GABRIELLA	01/31/19	494.46	MW	OH		
AP00373472	32991R	MALTBIE, SHAWNNA	01/31/19	303.36	MW	OH		
AP00373473	8694R	MARANIA, ROLANDO	01/31/19	500.00	MW	OH		
AP00373474	53842R	MARESCHI, JOSEPH	01/31/19	150.00	MW	OH		
AP00373475	54286R	MARTINEZ, ANDRES	01/31/19	382.94	MW	OH		
AP00373476	50228	MASSEY, TERESA	01/31/19	842.50	MW	OH		
AP00373477	1166	MATTHEW BENDER & COMPANY INC	01/31/19	2,713.19	MW	OH		
AP00373478	2667	MCCARTHY, DONALD	01/31/19	720.00	MW	OH		
AP00373479	37348	METROPOLITAN ELECTRICAL CONST	01/31/19	1,273.00	MW	OH		
AP00373480	26465	MID PENINSULA BOYS & GIRLS CL	01/31/19	12,500.00	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373481	54313R	MO, KRISTY	01/31/19	1,925.00	MW	OH		
AP00373482	22168R	MONTENEGRO, JOSE	01/31/19	720.00	MW	OH		
AP00373483	15210	MUNICIPAL MAINTENANCE EQUIPME	01/31/19	976.07	MW	OH		
AP00373484	3603	MUTTER, RAYMOND	01/31/19	720.00	MW	OH		
AP00373485	35339	MYERS, RON D	01/31/19	30,344.16	MW	OH		
AP00373486	29395R	NELSON, JANNINE	01/31/19	720.00	MW	OH		
AP00373487	22005	NEOPOST USA INC	01/31/19	819.49	MW	OH		
AP00373488	37013R	NEW PACIFIC ROOFING CO INC	01/31/19	550.00	MW	OH		
AP00373489	46852	NEWEGG BUSINESS INC	01/31/19	836.13	MW	OH		
AP00373490	43511R	NG, TIN WIN	01/31/19	60.00	MW	OH		
AP00373491	49974	NGLIC	01/31/19	900.67	MW	OH		
AP00373492	40569	NIEMI, ERENE	01/31/19	219.30	MW	OH		
AP00373493	46186	NOBLE IMAGE INC	01/31/19	659.85	MW	OH		
AP00373494	1055	OFFICE DEPOT	01/31/19	843.58	MW	OH		
AP00373495	15337	OFFICE DEPOT	01/31/19	108.89	MW	OH		
AP00373496	42500	OFFICE DEPOT	01/31/19	2,283.73	MW	OH		
AP00373497	50143LAW	OPPENHEIMER, AMY	01/31/19	4,800.00	MW	OH		
AP00373498	53937R	QUM, PAULINE	01/31/19	250.00	MW	OH		
AP00373499	32927	PACIFIC FIRE SAFE FIRE EXTING	01/31/19	54.37	MW	OH		
AP00373500	1216	PACIFIC GAS & ELECTRIC	01/31/19	203,016.07	MW	OH		
AP00373501	29252	PACIFIC PRODUCE INC	01/31/19	481.05	MW	OH		
AP00373502	47934	PACIFICA PET HOSPITAL	01/31/19	50.00	MW	OH		
AP00373503	40269R	PAK'S ROOFING INC	01/31/19	550.00	MW	OH		
AP00373504	53495	PAVEMENT ENGINEERING INC	01/31/19	7,327.50	MW	OH		
AP00373505	54314R	PAYUMO, JENNY	01/31/19	400.00	MW	OH		

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AP00373506	53662	PELAGIC ENGINEERING	01/31/19	1,277.67	MW	OH	
AP00373507	26120	PENGUIN RANDOM HOUSE LLC	01/31/19	265.08	MW	OH	
AP00373508	3297	PENINSULA LIBRARY SYSTEM	01/31/19	2,636.01	MW	OH	
AP00373509	1936	PENINSULA PEACE OFFICERS ASSO	01/31/19	327.60	MW	OH	
AP00373510	50884	PEREZ-VAUGHAN, CLAUDIA	01/31/19	45.00	MW	OH	
AP00373511	19678	PERS LONG TERM CARE PROGRAM	01/31/19	679.29	MW	OH	
AP00373512	47044	PETERSON TRUCKS INC	01/31/19	1,059.79	MW	OH	
AP00373513	38072	PETERSON, NOVELLA	01/31/19	306.00	MW	OH	
AP00373514	31384	PFEIFER, JAMES	01/31/19	5,550.00	MW	OH	
AP00373515	32428R	PICCOLOTTI, THOMAS	01/31/19	229.20	MW	OH	
AP00373516	36106	POLYDYNE INC	01/31/19	9,533.63	MW	OH	
AP00373517	40152	POM INCORPORATED	01/31/19	62.76	MW	OH	
AP00373518	16551	POSTER COMPLIANCE CENTER	01/31/19	173.89	MW	OH	
AP00373519	14431	PRAXAIR INC	01/31/19	2,871.97	MW	OH	
AP00373520	53942	PREFERRED ALLIANCE INC	01/31/19	346.40	MW	OH	
AP00373521	30031	PRICE, MICHAEL	01/31/19	197.50	MW	OH	
AP00373522	14286	PROWS, ALLEN	01/31/19	360.00	MW	OH	
AP00373523	36793	PSS COMMUNICATIONS INC	01/31/19	9,803.65	MW	OH	
AP00373524	51526	PURETEC INDUSTRIAL WATER	01/31/19	137.26	MW	OH	
AP00373525	54315R	QUALITY TELECOM CONSULTANTS I	01/31/19	1,750.00	MW	OH	
AP00373526	1115	R & B COMPANY	01/31/19	7,842.55	MW	OH	
AP00373527	54316R	RAMIREZ ARGUETA, JOSE A	01/31/19	52.00	MW	OH	
AP00373528	54317	RAMIREZ, SAIDA	01/31/19	387.60	MW	OH	
AP00373529	54318R	RATNIKAS, ALGIRDAS	01/31/19	500.00	MW	OH	
AP00373530	48668JPA	RAVNTECH CORPORATION	01/31/19	6,823.33	MW	OH	

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AP00373531	2170	RAYMOND, RONALD	01/31/19	720.00	MW	OH		
AP00373532	50803	READYREFRESH BY NESTLE	01/31/19	169.70	MW	OH		
AP00373533	30925	REBUILDING TOGETHER	01/31/19	592.95	MW	OH		
AP00373534	41528	REDFLEX TRAFFIC SYSTEMS INC	01/31/19	22,080.00	MW	OH		
AP00373535	32503R	REES, JOSHUA	01/31/19	146.00	MW	OH		
AP00373536	45900R	REYES, IGNACIO	01/31/19	652.50	MW	OH		
AP00373537	50449	RODAS, CLAUDIA	01/31/19	152.50	MW	OH		
AP00373538	20508	RODRIGUEZ, JEFFREY	01/31/19	720.00	MW	OH		
AP00373539	54319R	ROQUE, DELLA	01/31/19	250.00	MW	OH		
AP00373540	54320R	S & R ROOF MAINTENANCE	01/31/19	275.00	MW	OH		
AP00373541	52843R	S F UNDERGROUND	01/31/19	30,000.00	MW	OH		
AP00373542	54170	SAFECO ELECTRIC SUPPLY INC	01/31/19	324.52	MW	OH		
AP00373543	45148	SAFEWAY SIGN COMPANY	01/31/19	5,808.12	MW	OH		
AP00373544	51166	SAN MATEO COUNTY ELECTIONS	01/31/19	1,990.96	MW	OH		
AP00373545	1643	SAN MATEO COUNTY ENVIRONMENTA	01/31/19	1,132.00	MW	OH		
AP00373546	35246	SAN MATEO COUNTY SHERIFFS OFF	01/31/19	16,903.10	MW	OH		
AP00373547	13503	SANTOS, MARIA VICTORIA	01/31/19	1,436.93	MW	OH		
AP00373548	54321R	SAUSAU, TIRA	01/31/19	400.00	MW	OH		
AP00373549	46427	SAVE OUR SKIN INC	01/31/19	619.22	MW	OH		
AP00373550	49441	SC FUELS	01/31/19	23,223.97	MW	OH		
AP00373551	52262R	SCHUMACKER, DARIN	01/31/19	475.00	MW	OH		
AP00373552	6137	SCOTT BUSCHMAN PHOTOGRAPHY	01/31/19	598.13	MW	OH		
AP00373553	9858	SCOTT, MICHAEL	01/31/19	720.00	MW	OH		
AP00373554	37749	SEALIFE AQUARIUM MAINTENANCE	01/31/19	250.50	MW	OH		
AP00373555	28766	SENSUS USA INC	01/31/19	4,816.33	MW	OH		

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
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AP00373556	50625R	SF CROWN ROOFING INC	01/31/19	550.00	MW	OH		
AP00373557	31449	SHARP ELECTRONICS CORPORATION	01/31/19	9,930.67	MW	OH		
AP00373558	54285R	SHATARA ARCHITECTURE	01/31/19	2,866.81	MW	OH		
AP00373559	54038R	SHEERAN PIPELINE	01/31/19	4,000.00	MW	OH		
AP00373560	23742	SHOE DEPOT INC	01/31/19	2,412.40	MW	OH		
AP00373561	52666	SHRED WORKS INC	01/31/19	882.50	MW	OH		
AP00373562	31650	SING TAO DAILY	01/31/19	200.00	MW	OH		
AP00373563	10751	SKILLPATH/NST SEMINARS	01/31/19	60.24	MW	OH		
AP00373564	53082R	SMITH DEVELOPMENT	01/31/19	3,041.25	MW	OH		
AP00373565	51042	SOFTWAREONE INC	01/31/19	190,148.65	MW	OH		
AP00373566	37110R	SOLIS, ELIZABETH	01/31/19	548.00	MW	OH		
AP00373567	29413R	SOTOMAYOR, NORMA	01/31/19	26.99	MW	OH		
AP00373568	2643	SPARTAN MOTORS USA INC	01/31/19	3,832.92	MW	OH		
AP00373569	53489	SPIN OFF LLC	01/31/19	90.00	MW	OH		
AP00373570	53814	SQUEEKY KLEENING CO	01/31/19	5,840.00	MW	OH		
AP00373571	54277R	SRIVIENG, THANAPONG	01/31/19	275.00	MW	OH		
AP00373572	20534	ST FRANCIS ELECTRIC INC	01/31/19	1,795.00	MW	OH		
AP00373573	9339	STATE WATER RESOURCES CONTROL	01/31/19	74,693.15	MW	OH		
AP00373574	3613	STATIONARY ENGINEERS LOCAL 39	01/31/19	1,569.88	MW	OH		
AP00373575	13326	STEERS, JUDITH E	01/31/19	1,780.54	MW	OH		
AP00373576	30507	STERICYCLE INC	01/31/19	643.05	MW	OH		
AP00373577	40900	STEVENS BAY AREA DIESEL SERVI	01/31/19	14,071.23	MW	OH		
AP00373578	20303	SUCGANG, FERNANDO	01/31/19	600.00	MW	OH		
AP00373579	51035R	SUMMIT PUBLIC SCHOOLS	01/31/19	9,000.00	MW	OH		
AP00373580	18334	SUPERION LLC	01/31/19	3,548.75	MW	OH		

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AP00373581	50360	SUPPLYWORKS	01/31/19	925.63	MW	OH		
AP00373582	51439	SWEET DELIGHT BAKERY	01/31/19	360.00	MW	OH		
AP00373583	15547R	SYLVESTER, GLENN	01/31/19	102.47	MW	OH		
AP00373584	49209	SYMPHONY TALENT	01/31/19	885.29	MW	OH		
AP00373585	29237	SYNAGRO WEST LLC	01/31/19	52,895.74	MW	OH		
AP00373586	47668R	SYSTEMS PAVING	01/31/19	500.00	MW	OH		
AP00373587	45319	T MOBILE USA INC	01/31/19	255.00	MW	OH		
AP00373588	53308R	TAKOMA CARPENTRY	01/31/19	4,170.09	MW	OH		
AP00373589	7371	TALLERICO, JEFFREY M	01/31/19	720.00	MW	OH		
AP00373590	24619	TALX UC EXPRESS	01/31/19	340.02	MW	OH		
AP00373591	2798	TEAMSTERS LOCAL 856	01/31/19	3,450.00	MW	OH		
AP00373592	54322R	TECSON, ENRICO M	01/31/19	46.00	MW	OH		
AP00373593	13852	TELECOMMUNICATIONS ENGINEERIN	01/31/19	3,544.80	MW	OH		
AP00373594	42970JPA	TELECOMMUNICATIONS ENGINEERIN	01/31/19	15,330.00	MW	OH		
AP00373595	28995	THOMSON REUTERS/BARCLAYS	01/31/19	147.79	MW	OH		
AP00373596	18039	TIRAPANI, ALAN	01/31/19	720.00	MW	OH		
AP00373597	2138	TOCCALINO, MILLY	01/31/19	720.00	MW	OH		
AP00373598	49543	TRB AND ASSOCIATES INC	01/31/19	14,063.23	MW	OH		
AP00373599	52033	TRIEPI SMITH & ASSOCIATES IN	01/31/19	1,475.00	MW	OH		
AP00373600	54323R	TRITEC CONSTRUCTION COMPANY I	01/31/19	500.00	MW	OH		
AP00373601	54324R	TUN, NAY MIN	01/31/19	3,400.00	MW	OH		
AP00373602	4675	TURF & INDUSTRIAL EQUIPMENT C	01/31/19	346.06	MW	OH		
AP00373603	48168	TURNER RISK CONSULTING INC	01/31/19	1,775.00	MW	OH		
AP00373604	37637	ULINE INC	01/31/19	485.89	MW	OH		
AP00373605	24080R	UNIACKE CONSTRUCTION INC	01/31/19	4,000.00	MW	OH		

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AP00373606	31745	UNITED SITE SERVICES OF CALIF	01/31/19	239.61	MW	OH	
AP00373607	32209	UNIVAR USA INC	01/31/19	2,400.59	MW	OH	
AP00373608	7873	URBAN FARMER STORE, THE	01/31/19	233.58	MW	OH	
AP00373609	41669R	URIARTE, SHEILA	01/31/19	720.00	MW	OH	
AP00373610	G-COEN	US DEPARTMENT OF EDUCATION	01/31/19	493.35	MW	OH	
AP00373611	G-ORTEGA	US DEPARTMENT OF EDUCATION	01/31/19	460.57	MW	OH	
AP00373612	47099JPA	UTILITY TELECOM GROUP LLC	01/31/19	5,222.10	MW	OH	
AP00373613	5661	VALS RESTAURANT & LOUNGE	01/31/19	208.65	MW	OH	
AP00373614	54325R	VELARDE, ROGELIN	01/31/19	308.40	MW	OH	
AP00373615	50381R	VELAZQUEZ, SANDRA	01/31/19	660.00	MW	OH	
AP00373616	3376	VERITIV OPERATING COMPANY	01/31/19	623.36	MW	OH	
AP00373617	1579	VWR INTERNATIONAL LLC	01/31/19	750.63	MW	OH	
AP00373618	33782	WARD, DIANA L	01/31/19	169.40	MW	OH	
AP00373619	50485	WAVE BROADBAND	01/31/19	1,299.90	MW	OH	
AP00373620	3691	WECO INDUSTRIES LLC	01/31/19	14,733.20	MW	OH	
AP00373621	44314R	WELCH, BRUCE	01/31/19	720.00	MW	OH	
AP00373622	54326R	WELLINGTON HOA	01/31/19	250.00	MW	OH	
AP00373623	29517	WEST LITE SUPPLY COMPANY INC	01/31/19	126.70	MW	OH	
AP00373624	1095	WESTLAKE ECO SOFT-TOUCH	01/31/19	243.05	MW	OH	
AP00373625	41461	WHITE, GLADYS PEBBLES	01/31/19	393.00	MW	OH	
AP00373626	38558	WILSEY HAM INC	01/31/19	103.00	MW	OH	
AP00373627	53491R	WING CONSTRUCTION CO	01/31/19	4,975.00	MW	OH	
AP00373628	50910R	WIZARD PLUMBING AND DRAIN	01/31/19	2,000.00	MW	OH	
AP00373629	54159R	WONG, RAYMOND	01/31/19	500.00	MW	OH	
AP00373630	54239R	WOO, ARTHUR	01/31/19	1,323.84	MW	OH	

Check	Payee ID.	Payee Name	Date	Check Amount	Type	Subs	Rel To	Note
AP00373631	34537	YAMAMURA, JAIME	01/31/19	167.50	MW	OH		
AP00373632	54327R	YAN, WESLEY	01/31/19	2,075.00	MW	OH		
AP00373633	44967R	YELLOW ZONE CONSTRUCTION	01/31/19	2,500.00	MW	OH		
AP00373634	48588	YRC FREIGHT	01/31/19	642.20	MW	OH		
AP00373635	43523	YUNG, ESTHER	01/31/19	120.00	MW	OH		
AP00373636	4510	ZAP MANUFACTURING INC	01/31/19	530.69	MW	OH		
AP00373637	54328R	ZHANG, JIA LIANG	01/31/19	1,175.00	MW	OH		

G R A N D T O T A L S:

Total Void Machine Written	0.00	Number of Checks Processed:	0
Total Void Hand Written	0.00	Number of Checks Processed:	0
Total Machine Written	2,286,627.92	Number of Checks Processed:	407
Total Hand Written	0.00	Number of Checks Processed:	0
Total Reversals	0.00	Number of Checks Processed:	0
Total Cancelled	0.00	Number of Checks Processed:	0
Total EFTs	0.00	Number of EFTs Processed:	0
Total EPAYs	0.00	Number of EPAYs Processed:	0
G R A N D T O T A L	2,286,627.92		



City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: Use Permit UPR-12-18-13791 – Sign Program Amendment for 2001 Junipero Serra Boulevard (DC Station Office Building)

Recommended Action

Approve the Use Permit (Sign Program Amendment), subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On February 5, 2019, the Planning Commission voted 4-0 to recommend the City Council approve Use Permit UPR-12-18-13791, amending the sign program for the DC Station office building. Commissioner Satorre asked if the signs would have lights. Staff explained how the proposed signs would be illuminated. Chairwoman Proaño stated that she noticed the changes to the building's signs over time and that the existing signs had been tastefully designed. Ben Maxon, representing Harvest Properties, Inc., the building owner, spoke in the favor of the proposed sign program. Mr. Maxon explained that the intent of the proposal was to bring more businesses into Daly City and allow ways for these businesses to tastefully display that they were headquartered in the building. No other public speakers were present.

Background

The applicant, Arrow Sign Company proposes to amend the existing sign program for the DC Station Office Building located at 2001 Junipero Serra Boulevard (see Attachment A – Site Location). Since construction of the office building in 2000, the current and previous building owners have added signs to the rooftop parapet through approval by the Design Review Committee. Approval of these signs has been granted consistent with the existing sign program applicable to Pacific Plaza in its entirety, which does not allow mid-building signs on the subject building. The applicant now desires to formalize sizing and design criteria for these parapet signs and introduce the ability for mid-height sign placement at the existing office building's walls (see Attachment B – Proposed Sign Program).

The applicant must receive sign program amendment approval from the City Council prior to implementing these changes. The proposed revisions would apply to the office building at 2001 Junipero Serra Boulevard only. The existing sign program would remain in effect for the Century Theaters, restaurant uses north of the theater, the parking garages that exist on site.

Discussion

The applicant has proposed amending the existing sign program at 2001 Junipero Serra Boulevard to allow four types of exterior building tenant signs as follows:

Building Mounted Identification Tenant Signs. The proposed sign program would expand the existing allowance of signs on the parapet (top wall) of the building to the building's mid-section. The applicant has proposed that either internally face-lit or halo-illuminated channel letters be allowed, where only halo-illuminated letters have been permitted in the past, and that sign designs be allowed to include corporate logos, fonts and branding colors, which the Design Review Committee has previously permitted.

As proposed, signs on the parapet could be 40 feet wide and six feet tall maximum, while signs at the mid-height of the building could be 25 feet wide and three feet tall maximum, and could include a tenant's branding or logo. Cabinet signs would not be allowed. Tenant's branding requires a single logo or symbol and not letters, that tenant would need to submit for owner approval detailed design drawings outlining the construction of the sign.

While staff supports the proposed changes in general, the following changes are recommended:

1. All mid-buildings signs shall be limited to a single floor (presently shown above the third floor on the west elevation);
2. All proposed signs above the first floor other than blade signs shall be halo-illuminated only, with painted returns. This requirement is in keeping with the type of signs which have been previously permitted by the Design Review Committee at the building parapet;
3. Sign letters and tenant logos shall be contained within the permitted sign area. However, where portions of a lower-case letter drop below the normal copy line or insignificant portions of a proposed logo does the same, the Planning Division shall have the authority to approve such deviations provided the entire sign remains in proportion to the adjacent surface;
4. No wall signs shall face east; and
5. Placement of new wall signs shall be in visual harmony with other existing signs so as to avoid the appearance of sign crowding. Therefore, any sign application shall include a visual representation of all existing signs in the general wall vicinity of the sign proposed. Should the Planning Division determine that existing and new signs would not be in visual harmony, e.g., would appear to be crowded or would appear out of visual balance with each other, the Planning Division may require the relocation of existing signs or reduction of the proposed sign's size to achieve visual harmony. Such a decision may be appealed to the Design Review Committee.

Street Level Tenant Identification Signs. The applicant has proposed that first floor tenant signs be mounted to a custom fabricated support projecting from the building, similar to the "Satellite Healthcare" that exists at the building's first floor. As proposed, these tenant signs would have LED internally illuminated face-lit or halo-illuminated channel letters, and all signs would be mounted on the pre-designed custom support, providing a uniform appearance across the first floor. Staff believes this uniform appearance is beneficial and staff does not have any issues with these signs being allowed as either halo-illuminated, face-lit, or combinations thereof.

West Elevation Project Blade Signs. The applicant has included in the proposed sign program the three double-faced blade signs that presently existing with vertical copy perpendicular to the building face. These blade signs, which were approved by the Design Review Committee as part of a larger site improvement package in 2015, are internally-illuminated with color-change LED decoration. As these signs exist already and are attractive, staff has no issue with their inclusion in the sign program.

DC Station Monument Sign. Also a part of the site improvement approved by the Design Review Committee in 2015, the “2001” address monument sign which exists at the stairs leading from the public sidewalk to the main building entrance has been determined to be ineffective by the current building owner. The sign program, therefore proposes a revised six-foot tall monument sign which provides small space for building tenants on a dark common-color background. With a clarification that all subsequent additions to the initial sign would be required to have the specific satin finish color and aluminum material specified in the sign program, staff has no issues with the monument sign as proposed. This requirement has been added as a Condition of Approval.

Findings

On February 5, 2019, the Planning Commission found that the proposed sign program would be in compliance with Title 17 (Zoning) of the Daly City Municipal Code and that approval of Use Permit UPR-12-18-13791 would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. The Planning Commission recommends that the City Council adopt the following findings:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council conducted a public hearing on February 25, 2019. Legal public notice of said hearing was provided by newspaper publication on February 14, 2019, posting and via first class mailing to property owners within 300 feet of the site;
2. The City Council has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorically Exempt per Section 15303 (New Construction);
3. As conditioned, the proposed project is consistent with Zoning Ordinance Chapter 17.32 – Signs. Chapter 17.32.200 authorizes the City Council to establish specific requirements for ground signs and exterior signs on individual businesses as part of a master sign program, provided the applicant has secured the approve of the sign program through the use permit process; and
4. The City Council’s imposition of additional design regulation and clarification are intended to ensure that signs on the subject property, while assuring the visibility of the service station, are not detrimental to the neighborhood aesthetic.

Conditions of Approval

The Planning Commission recommends the City Council approve Use Permit UPR-12-18-13791 (Sign Program Amendment) subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The approved Sign Program shall endure for the life of the subject building unless the building is modified significantly, as determined by the Planning Division, or unless the sign program is replaced by another program or an amendment to this program.

Sign Program

2. The sign program for the building at 2001 Junipero Serra Boulevard shall be as specified in the drawings titled "DC STATION MASTER SIGN PROGRAM, 2001 Junipero Serra Boulevard, Daly City, 94014," prepared by Arrow Sign Company;
3. Prior to recordation as an official Master Sign Program in the Planning Division records, the applicant shall amend the Master Sign Program related to walls signs above the floor to state or reflect the following:
 - a) All mid-buildings signs shall be limited to a single floor (presently shown above the third floor on the west elevation);
 - b) All proposed signs above the first floor other than blade signs shall be halo-illuminated only, with painted returns. This requirement is in keeping with the type of signs which have been historically permitted at the building parapet;
 - c) Sign letters and tenant logos shall be contained within the permitted sign area. However, where portions of a lower-case letter drop below the normal copy line or insignificant portions of a proposed logo does the same, the Planning Division shall have the authority to approve such deviations provided the entire sign remains in proportion to the adjacent surface;
 - d) No wall signs shall face east; and
 - e) Placement of new wall signs shall be in visual harmony with other existing signs so as to avoid the appearance of sign crowding. Therefore, any sign application shall include a visual representation of all existing signs in the general wall vicinity of the sign proposed. Should the Planning Division determine that existing and new signs would not be in visual harmony, e.g., would appear to be crowded or would appear out of

visual balance with each other, the Planning Division may require the relocation of existing signs or reduction of the proposed sign's size to achieve visual harmony. Such a decision may be appealed to the Design Review Committee.

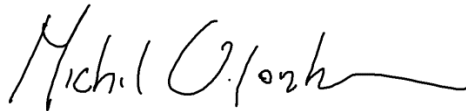
4. With regard to the monument sign, the Master Sign Program shall be amended to clarify that all subsequent additions to the initial sign would be required to have the specific satin finish color and aluminum material specified in the sign program, staff has no issues with the monument sign as proposed. This amendment shall also occur prior to recordation as an official Master Sign Program in the Planning Division records.

Recommendations

The Planning Commission recommends that the City Council do the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve Use Permit UPR-12-18-13791 (Sign Program), subject to the Findings and Conditions outlined herein.

Respectfully submitted,



Michael VanLonkhuysen
Planning Manager



Tatum Mothershead
Director of Economic and Community
Development

Attachments

Attachment A – Location Map
Attachment B – Proposed Sign Program





DC STATION

MASTER SIGN PROGRAM

2001 Junipero Serra Blvd
Daly City, CA 94014

Prepared for:



Harvest Properties Inc.
180 Grand Ave, Suite 1400
Oakland, Ca 94610
T. 510.594.2050
www.harvestproperties.com

Prepared by:



Arrow Sign Company
1051 46th Avenue
Oakland, Ca 94601
T. 510.533.7693
F. 510.533.0815
www.arrowsigncompany.com

Exterior Building Tenant Signs

Tenants may be permitted to install exterior building signs as per the following signage exhibits. All tenant signs must be coordinated to ensure each sign is in harmony with the building architecture. Final designs subject to the attached exhibits, city review, permits and property owner approval.

Please note - Each tenant is responsible for all costs associated with the design, permitting, fabrication, installation and maintenance of their signs.

Tenants will be allowed the following sign types:

Building Mounted ID Tenant Signs:

LED internally face-lit or halo illuminated channel letters. Sign designs may include corporate logos, fonts and branding colors. Sign square footage must not exceed the maximum allowable limits as outlined in the following signage exhibits A & B. Note – single faced cabinet signs will not be allowed. In the event a tenants branding requires a single logo or symbol and not letters, that tenant must submit for owner approval detailed design drawings outlining the construction of the sign.

Street Level Tenant ID Signs:

First floor tenant signs shall be mounted to a custom fabricated support projecting from building. See exhibit C for existing examples. These tenant ID signs shall have LED internally illuminated face-lit or halo illuminated channel letters.

Project Branding / Identification Signs

West Elevation Project Blade Signs:

Three (3) double faced internally illuminated blade signs with color change LED decoration. These signs are designated for project identification only. See exhibit D

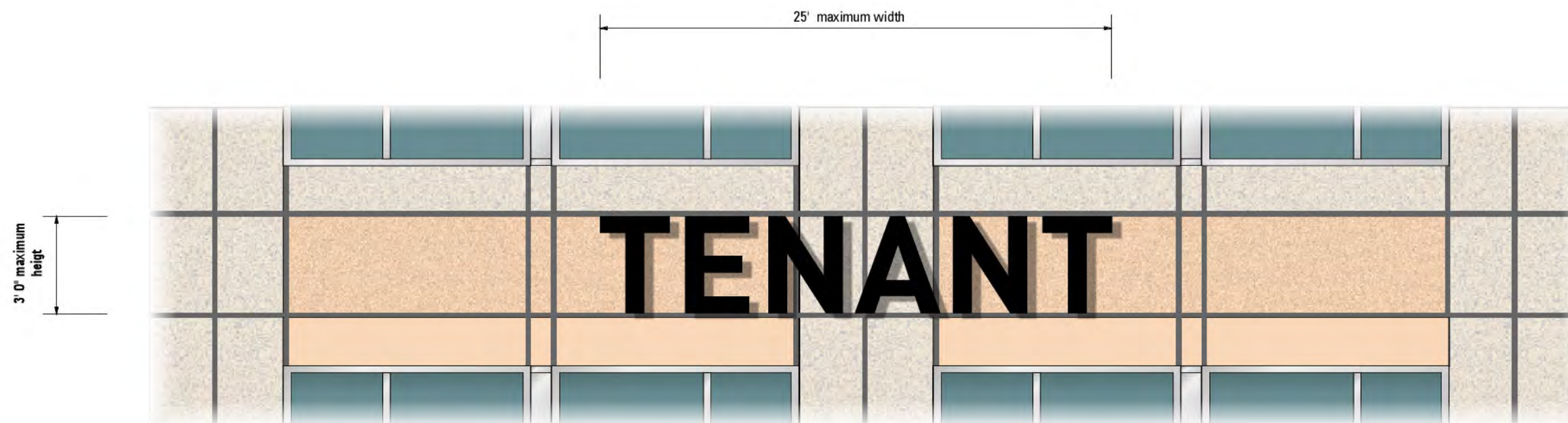
Project ID Monument Sign:

One (1) internally illuminated monument sign will be located at the top of entry stair case. This sign is designated for project identification with secondary tenant signage. See exhibit E



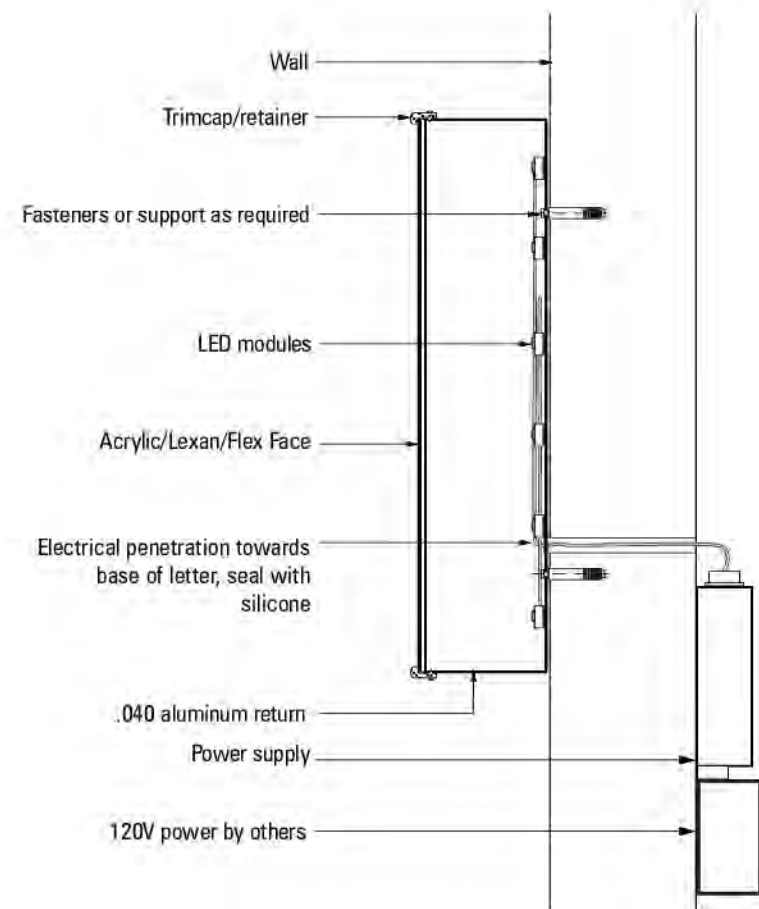
BUILDING MOUNTED TENANT ID SIGN - UPPER FLOOR (EXHIBIT A)

SCALE: 1/4" = 1'-0"



BUILDING MOUNTED TENANT ID SIGN - MIDDLE FLOOR (EXHIBIT B)

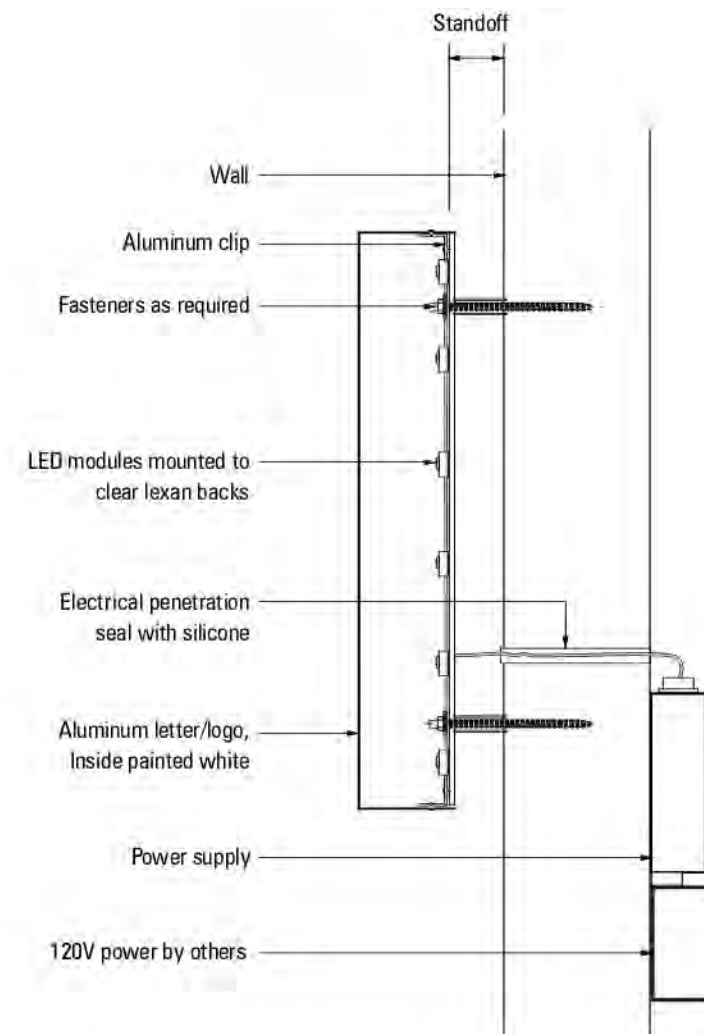
SCALE: 1/4" = 1'-0"



LETTER SECTION - FACE LIT (EXHIBIT A & B)

NOT TO SCALE

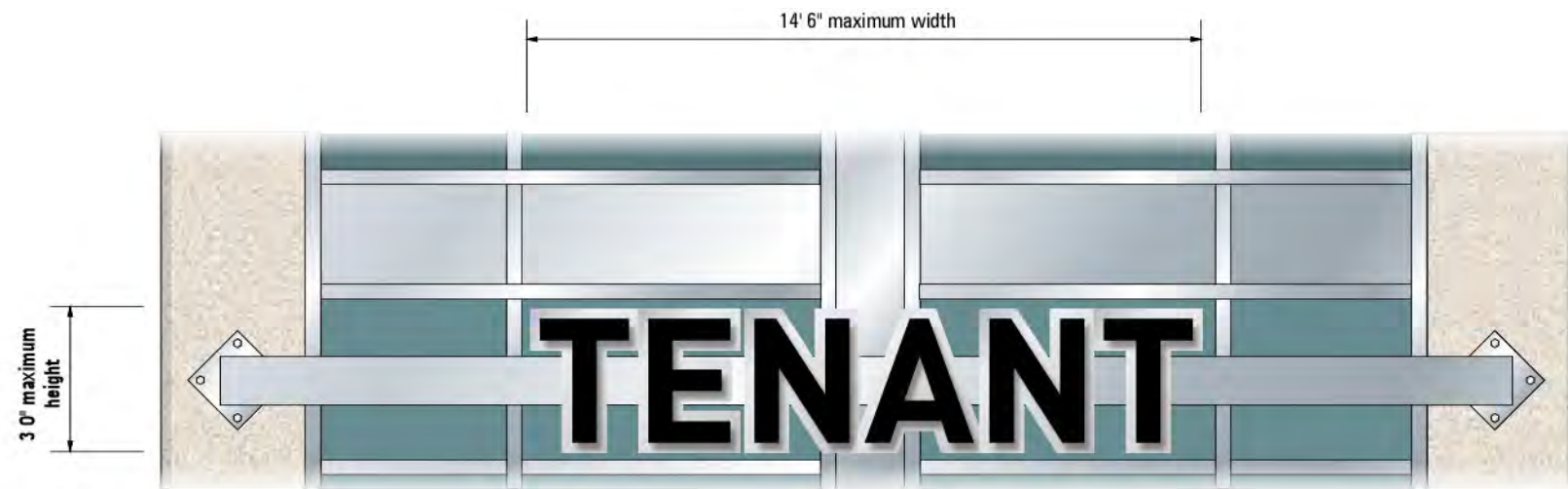
Not for fabrication. Sign company must provide detailed design and shop drawings for property owner review and approval.



LETTER SECTION - HALO LIT (EXHIBIT A & B)

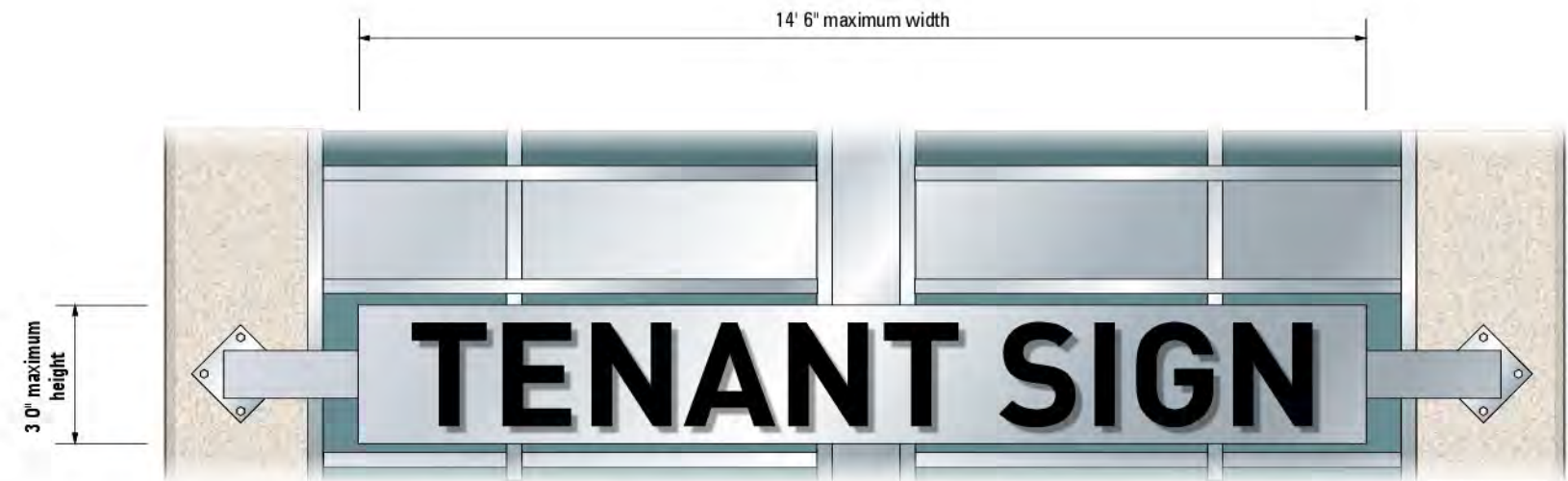
NOT TO SCALE

Not for fabrication. Sign company must provide detailed design and shop drawings for property owner review and approval.



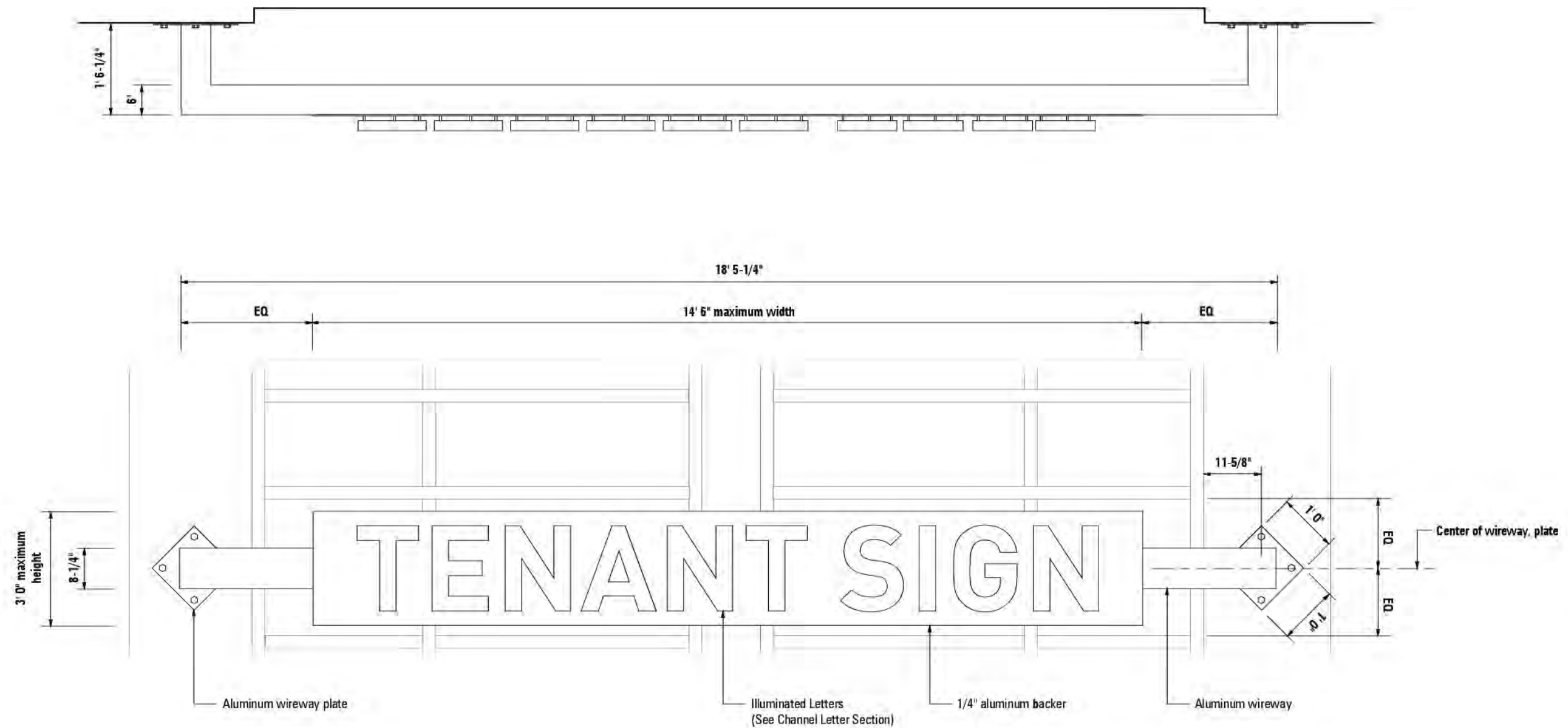
STREET LEVEL TENANT ID SIGN (EXHIBIT C)

SCALE: 3/8" = 1'-0"



STREET LEVEL TENANT ID SIGN (EXHIBIT C)

SCALE: 3/8" = 1'-0"



STREET LEVEL TENANT ID DETAIL (EXHIBIT C)

SCALE: 1/2" = 1'-0"

Project

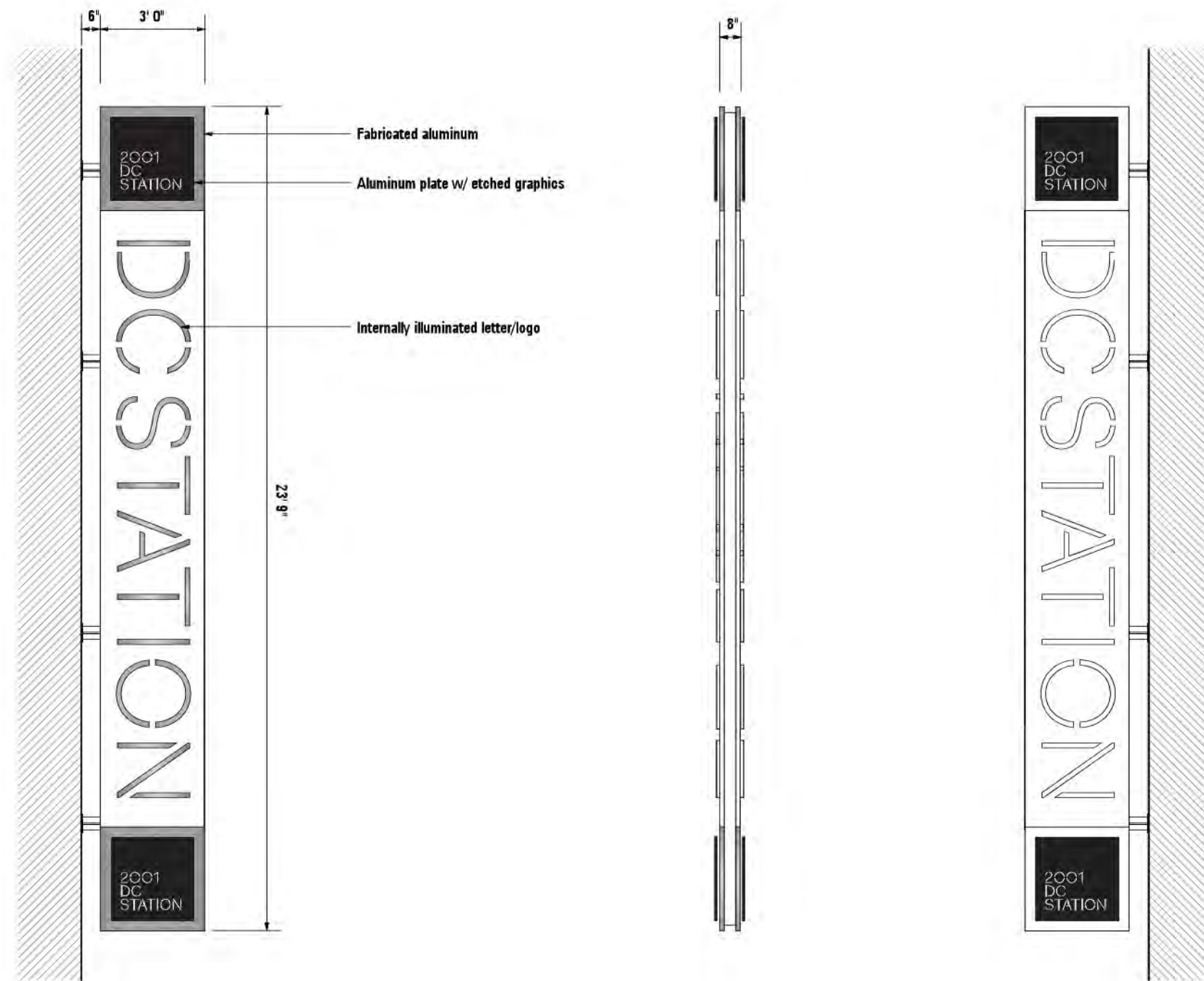
DCSTATION MASTER SIGN PROGRAM

Drawing Title

Tenant ID Detail - Street Level

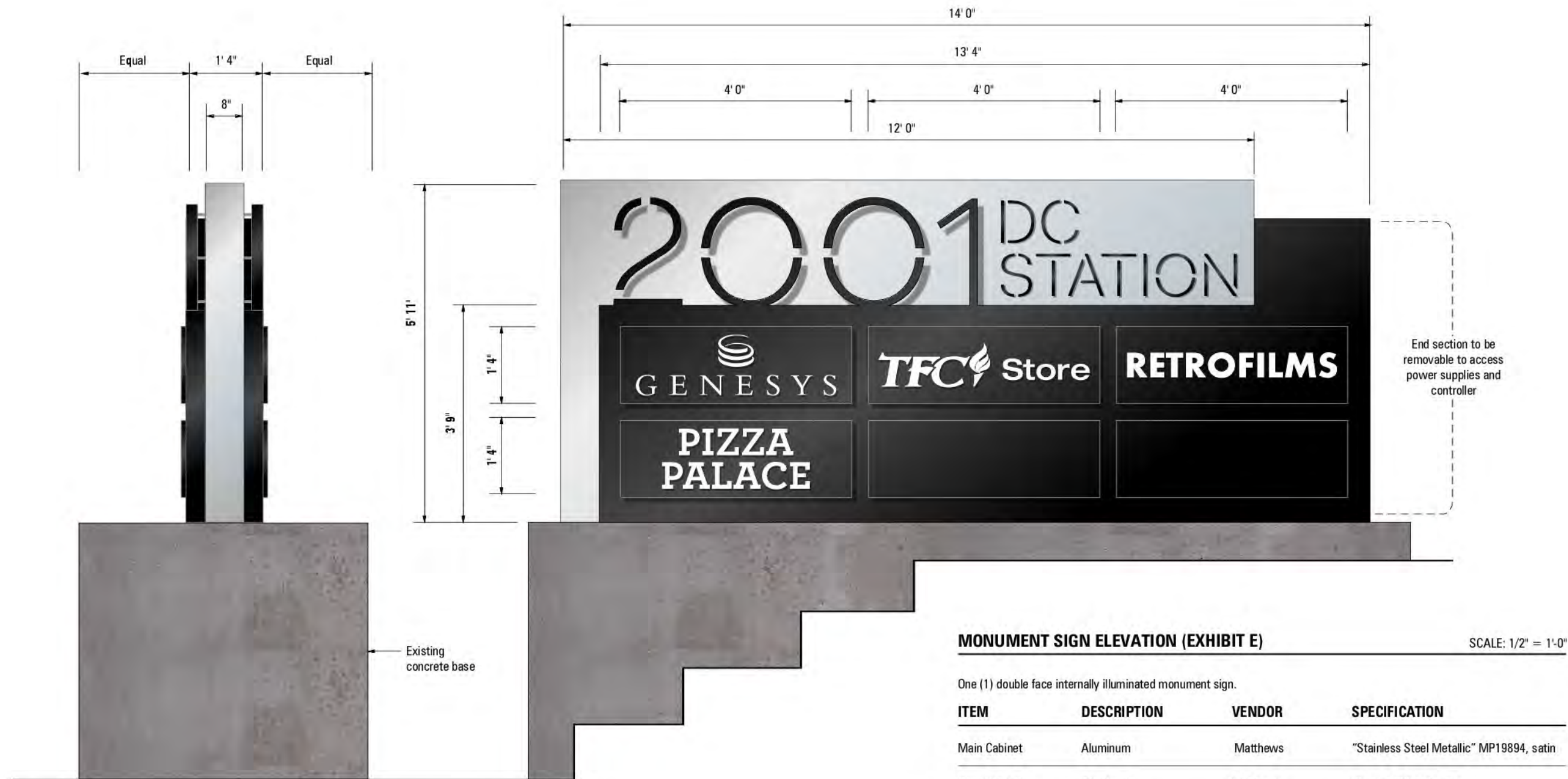
Sheet Number:

5



BLADE SIGN - CENTER ID (EXHIBIT D)

SCALE: 1/4" = 1'-0"



MONUMENT SIGN ELEVATION (EXHIBIT E)

SCALE: 1/2" = 1'-0"

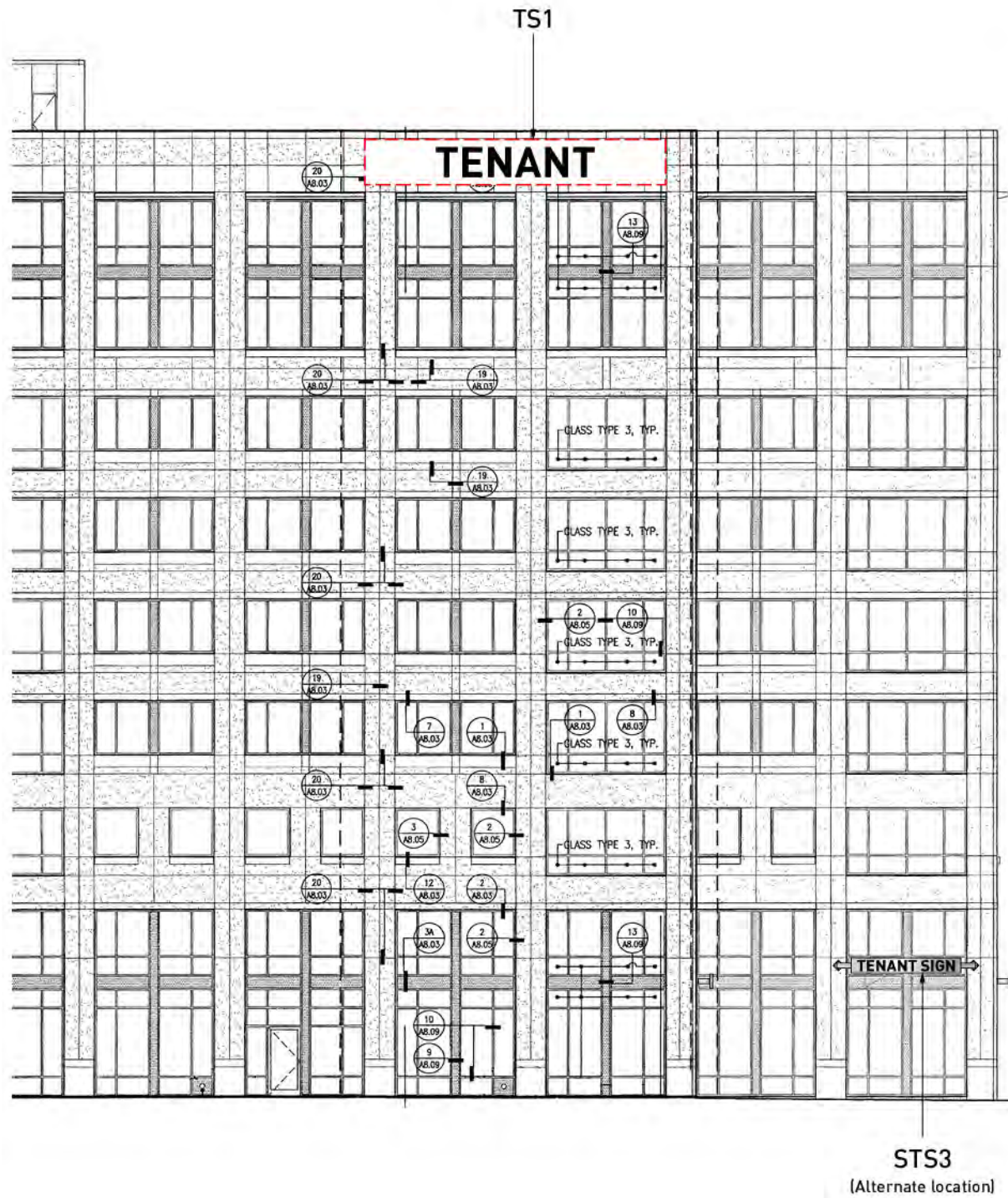
One (1) double face internally illuminated monument sign.

ITEM	DESCRIPTION	VENDOR	SPECIFICATION
Main Cabinet	Aluminum	Matthews	"Stainless Steel Metallic" MP19894, satin
Base Cabinet	Aluminum	Matthews	Black #282-204, satin
"2001"	2-1/2" deep aluminum	Matthews	Black #282-204, satin
"2001" Illumination	LED		RGB
"DC STATION"	1/2" push thru acrylic	3M	Black #3630-22
Letter standoffs	1-1/2" x 1/2" dia. aluminum	Matthews	"Stainless Steel Metallic" MP19894, satin
Tenant background	1" aluminum pan	Matthews	Black #282-204, satin
Tenant graphics	1/2" push thru acrylic	3M	White #3630-20



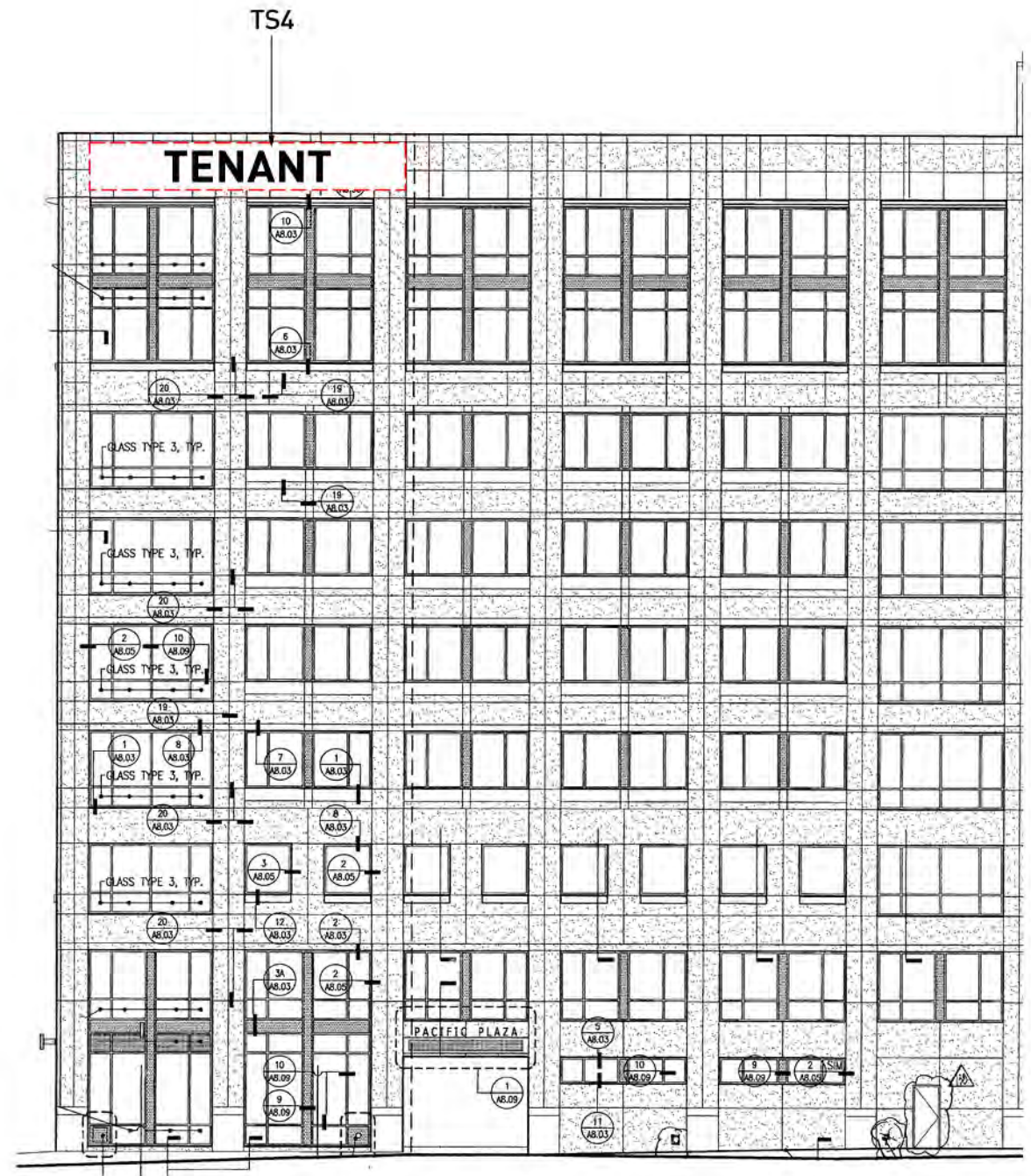
TENANT	Max. Sign Area (feet)	Max. SQ. FT.
TS1	6' X 40'	240
TS2	6' X 40'	240
TS3	6' X 40'	240
TS4	6' X 40'	240
TS5	3' X 25'	75
TS6	3' X 25'	75
BL1	3' X 23' 9"	71.3
BL3	3' X 23' 9"	71.3
BL3	3' X 23' 9"	71.3
STS1	3' X 14.5'	43.5
STS2	3' X 14.5'	43.5
STS3	3' X 14.5'	43.5
STS4	3' X 14.5'	43.5

Note: STS Sign locations are typical only. Subject to minor location variations.



PARTIAL NORTH ELEVATION

SCALE: 3/64" = 1'-0"



PARTIAL SOUTH ELEVATION

SCALE: 3/64" = 1'-0"

Project

DCSTATION MASTER SIGN PROGRAM

Drawing Title

Building Elevation

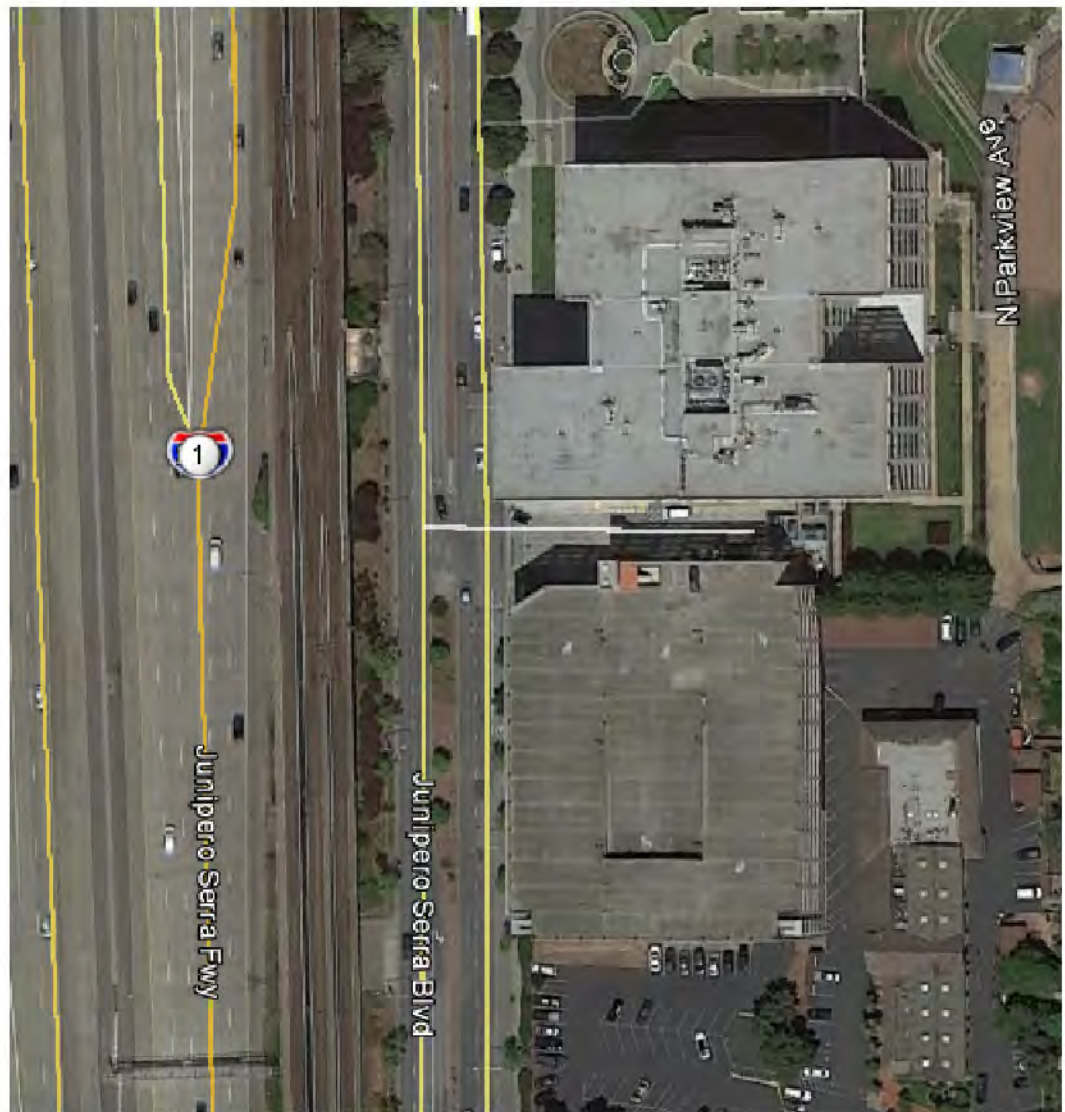
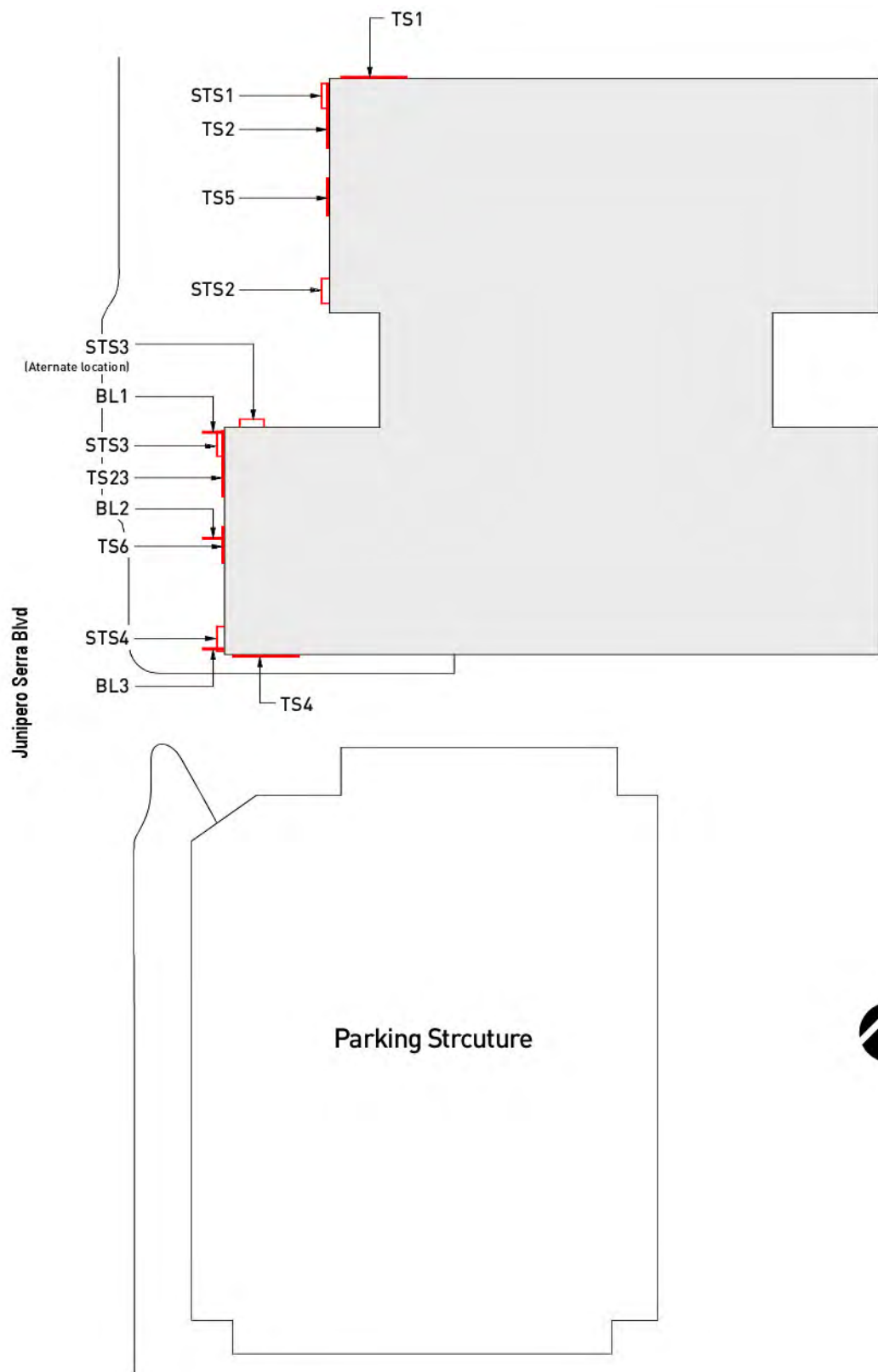
Sheet Number:

9

Highway 280

BART TRACK

Junipero Serra Blvd







City Council Meeting Agenda Report

Item # _____

Meeting Date: February 25, 2019

Subject: Use Permit UPR-12-18-13808 – Conversion of Service Commercial Use to Residential Studio Apartment at 75 Pueblo Street (Permit Renewal)

Recommended Action

Approve the Use Permit, subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On February 5, 2019, the Planning Commission voted 4-0 to recommend the City Council approve Use Permit UPR-12-18-13808. The applicant, Suheil Shatara, clarified that the Planning Commission and City Council had allowed the existing wall painting along Pueblo Avenue to remain. Commissioner Crump concurred that the Planning Commission had previously allowed the painting to stay.

Background

The same proposal received approval from the Planning Commission and City Council in October 2016. Because this approval expired in October 2017, the applicant is required to renew the original application.

As was the case in 2016, the applicant is proposing to convert a portion of an existing single-story commercial building at the northeast corner of Geneva Avenue and Pueblo Street to include one 723 square foot studio apartment with one interior parking space (see Attachment A – Site Location and Attachment B – Project Plans). The portion of the building proposed for conversion is currently a large interior garage which appears to have been used for general storage. The introduction of a residential use at the property requires a use permit in the C1–Light Commercial zone.

Upon the approval of the use permit, the applicant would need to submit a building permit application to the Building Division to facilitate the proposed conversion to the studio apartment.

Discussion

The proposed studio apartment is part of a larger building which fronts Geneva Avenue and is comprised of a grocery store, commercial laundry, and restaurant, totaling 6,930 square feet. While these existing commercial uses would remain accessed from Geneva Avenue, the studio apartment would be accessed from Pueblo Street, utilizing the existing pedestrian and vehicular entrances that exist along the building's Pueblo Street frontage. There are presently no off-street parking spaces that are accessible to the existing businesses on the property.

Under the proposal, the applicant would convert the rear of the building to the studio apartment and provide one parking space behind an existing roll-up garage door, between apartment and the

sidewalk. A hallway would be constructed to connect the existing pedestrian entrance at the Pueblo Street sidewalk to the studio apartment.

The introduction of a new residential use at this location would be complimentary to the existing adjacent neighborhood, where detached homes provide garage parking similar in location to that of the proposed parking space. Staff is recommending the following Conditions of Approval to ensure that the new residential use would be compatible with the existing residences:

1. The applicant shall propose architectural improvements to the façade of the studio apartment which modernize its appearance and distinguish it from the commercial portion of the building. These improvements shall reflect the design concepts characterized in the façades of the adjacent homes, including paint color, siding materials, and trim.
2. The applicant shall provide an exterior trash and recycling storage area for the studio apartment in the rear yard of the property and shall construct a pedestrian exit either from the apartment or garage to the rear yard to facilitate easy access the trash/recycling storage area.
3. The applicant shall provide an automatic garage door opener to facilitate use of the interior garage space for parking vehicles.

The above improvements would be reviewed administratively and included in the permit for the garage conversion to the studio apartment.

Design Review

The applicant is proposing renovations to an existing warehouse type commercial building with contemporary exterior architecture. The building's overall façade includes a stucco finish on the upper level and wood siding on the lower level. The building elevation facing Pueblo Street has been painted with a decorative mural associated with the pet supply store occupying the space at 2501 Geneva Avenue.

Under the proposal, the existing garage door and two pedestrian doors along the Pueblo Street frontage would be replaced by new doors. As discussed in the previous section, the Planning Division is recommending Conditions of Approval requiring improvements to the façade of the studio apartment which modernize its appearance and distinguish it from the commercial portion of the building.

In addition to the review of the proposed residential portion of the building, the use permit provides an opportunity for the City Council to require improvements to the commercial portions of the building. Staff is therefore recommending Conditions of Approval that the applicant undertakes a general renovation of the building exterior, including providing façade improvements that physically distinguish the three businesses along Geneva Avenue. Like the façade improvements required at the Pueblo Street elevation to distinguish the residential use there, these façade improvements could include the use of paint color, siding materials, and trim. Additionally, staff is recommending a Condition of Approval that any unpermitted signs along the commercial store front shall be removed or replaced by professionally designed signs reviewed and approved by the Planning Division.

Parking and Circulation

The Daly City Municipal Code Chapter 17.34.020 requires one parking space for each studio apartment and one space for every 300 square foot of commercial space. The proposed studio apartment is a new use to the existing building and must comply with parking requirements and a single space garage has been provided to satisfy the one-space parking requirement. However, since no expansion or renovation of the building's commercial component is proposed, no parking is required for these uses and the commercial portion of the building will therefore remain in a legal, non-conforming status. Customers patronizing the commercial component of the building will continue using the public street parking spaces along Geneva Avenue and Pueblo Street.

Fiscal Analysis and Impacts

The renovation of the existing commercial building would bring the building to a mixed-use status, thereby converting the underutilized portion of the building to residential use which increases the property value. The addition of a studio apartment into the building would add a minor incremental demand for City services. Prior to project completion, the project applicant will be required to pay building permit, plan check, and AB1600 fees to the City.

Environmental Assessment

The proposed building is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 of the California Public Resources Code, (State CEQA Guidelines) Section Categorically Exempt per CEQA Guidelines, Section 15301 – Minor Alteration of Existing Public or Private Structures.

Findings

On February 5, 2019, the Planning Commission found that the proposed conversion to residential would be in compliance with Title 17 (Zoning) of the Daly City Municipal Code and that approval of Use Permit UPR-12-18-13801 would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. The Planning Commission recommends that the City Council adopt the following findings:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council conducted a public hearing on February 25, 2019. Legal public notice of said hearing was provided by newspaper publication on February 14, 2019, posting and via first class mailing to property owners within 300 feet of the site;
2. The proposed building renovation is consistent with the General Plan. The Land Use Element designates the project site as C-MU Commercial Mixed-Use, which anticipates mixed-use residential and office construction within the Geneva Avenue corridor;

3. The proposed building renovation complies with applicable provisions of the Title 17 (Zoning) of The Daly City Municipal Code, include Chapter 17.20 – C-1 Light Commercial District, Chapter 17.34 – Off-Street Parking and Loading, Chapter 17.44 – Use Permits;
4. The proposed building renovation complies with the Zoning Ordinance parking requirement by providing one space for the proposed studio apartment;
5. The proposed building renovation merits use permit approval, as the building would be compatible with existing adjacent uses, adequate utility and infrastructural capacity exists within close proximity to serve the site, and the provision of parking is adequate and, as designed, would not have a detrimental impact to the adjacent neighborhood;
6. General site considerations, including site layout, open space and topography, orientation and location of buildings, vehicular access, circulation and parking, setbacks, heights, walls, public safety and similar elements have been designed to provide a desirable environment; and
7. General architectural considerations have been incorporated in order to ensure the compatibility of this development with its design concept and the character of on-site signage. These considerations include, but are not limited to, the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, and colors.

Conditions of Approval

The Planning Commission recommends the City Council approve Use Permit UPR-12-18-13808 subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A . DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The project shall be valid only in conjunction with detailed plans submitted with this project. Any modifications required, due to the Conditions of Approval, and minor changes to the plan, must be reviewed and approved by the Planning Division prior to the change. Major site or architectural modifications shall be treated as an amendment and shall be subject to review by the Planning Commission and City Council.
2. The approvals granted herein shall be valid for a period of one year. If building permits have not been issued within this timeframe, the applicant shall apply for a time extension.

Building Design

3. The existing single car garage located on the west elevation along Pueblo Street must comply with residential garage specifications of 19 feet deep by 10 feet wide. These dimensions must remain unobstructed so as to enable the in and out vehicle movement.
4. The applicant shall propose architectural improvements to the façade of the studio apartment which modernize its appearance and distinguish it from the commercial portion of the building. These improvements shall reflect the design concepts characterized in the façades of the adjacent homes, including paint color, siding materials, and trim.
5. The applicant shall provide an exterior trash and recycling storage area for the studio apartment in the rear yard of the property and shall construct a pedestrian exit either from the apartment or garage to the rear yard to facilitate easy access the trash/recycling storage area.
6. The applicant shall provide an automatic garage door opener to facilitate use of the interior garage space for parking vehicles.
7. The building elevations shall be repainted to match the colors provided on the submitted architectural drawings dated 11/01/2018.
8. The two side doors and a garage door on the western elevation shall be replaced with new doors as depicted on the submitted elevation diagram dated 11/01/2018.
9. All rooftop mechanical equipment shall be screened from the view of all adjacent public rights-of-way by screen walls, painting, and similar treatments acceptable to the Planning Division. The Planning Division may require screen walls for equipment located within 20 feet of the rooftop parapet wall.
10. The applicant shall undertake a general renovation of the building exterior, including providing façade improvements that physically distinguish the three businesses along Geneva Avenue. These façade improvements may include the use of paint color, siding materials, and trim.
11. Any unpermitted signs along the commercial store front shall be removed or replaced by professionally designed signs reviewed and approved by the Planning Division. Such signs shall be submitted to the Planning Division for proper review and approval. Building Permits shall be required for business signs to be installed.

B. BUILDING DIVISION

12. The applicant shall provide a garage opening.

C. ENGINEERING DIVISION

13. If the existing driveway curb cut leading into the existing garage was not originally constructed to City standards, the applicant shall develop the curb cut to comply with current City specifications.
14. The applicant shall replace the City sidewalk fronting the subject property as necessary to repair construction damaged areas.

D. DEPARTMENT OF WATER AND WASTEWATER RESOURCES

15. A fire flow is required; all costs associated with the fire flow shall be borne by the applicant.
16. Applicant needs to verify the intent to abandon or reuse the existing water service. Only copper or ductile iron services shall be reused. If the intent to reuse, applicant must provide evidence of the material type to DWWWR/Engineering. If the service is not to be used, the service shall be abandoned per Section 02710,3.15 of the City of Daly City Standard Specifications and Drawings. The abandoned shall be borne by the applicant.
17. A Certified Distribution System Operator must be present for all hydrostatic testing, chlorination, flushing, bacteria testing and connections to the existing system, per California Department of Public Health, Operator Certification Regulations Section 63770. The City of Daly City Engineer must receive the request for the certified Operator to be present for these operations in writing no less than six (6) working days prior to the anticipated date to work. Include plan notes.
18.
 - 1) Separate water services for domestic and fire are required.
 - 2) RP type backflow devices required for each water service.

All domestic fixtures shall be low flow with toilets 1.28 gpf or less and “HE” urinals 0.5 gpf or less are required. Rebates are available for required “HE” toilets. Showers shall be 2.0 gpm, kitchen sinks 2.2gpm and lavatory sinks 1.5 gpm. Please visit http://www.dalycity.org/City_Hall/Departments/wwr/Water_Concervation/Water_conserve.htm. Click on High Efficiency Toilet Rebate Program.

19. A set of utility plans is required for DWWWR’s next review. This will assist in a more thorough review of this project to determine if any necessary additional requirements or conditions may apply.

E. FIRE DEPARTMENT

20. A fire flow shall be required and all cost associated with the fire flow shall be borne by the applicant.

21. The applicant shall install Fire Sprinklers as required per 2013 CFC, per NFPA 13 and 13R.
22. The project shall comply with fire flows per 2013 CFC Appendix B for buildings with fire sprinklers.
23. The project shall comply with hydrant requirements as per fire code.
24. The project shall comply with hydrant location and spacing per 2013 CFC Appendix C.
25. The project shall comply with Fire Apparatus Access per 2013 CFC Chapter 5 Fire Service Features, 501.4 for Fire Apparatus Access Roads and Water supply.
26. The project shall provide fire hydrant to comply with 2013 CFC Chapter 5 section 507.5.1.1
27. The project shall comply with 2013 CFC Appendix D. for fire apparatus access requirements.
28. The project shall comply with 2013 CFC Chapter 9 section 905 Standpipes.
29. The project shall comply with 2013 CFC Chapter 9 section 907 Fire Alarm and Detections systems.

F. BAYSHORE SANITARY DISTRICT

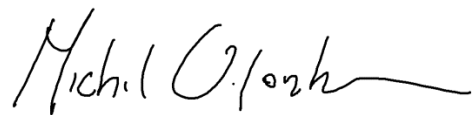
30. Utility plans (water and sewer) need shall be submitted to BSD for approval.

Recommendations

The Planning Commission recommends that the City Council do the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve Use Permit UPR-12-18-13808, subject to the Conditions of Approved outlined herein.

Respectfully submitted,



Michael VanLonkhuysen
Planning Manager



Tatum Mothershead
Director of Economic and Community
Development

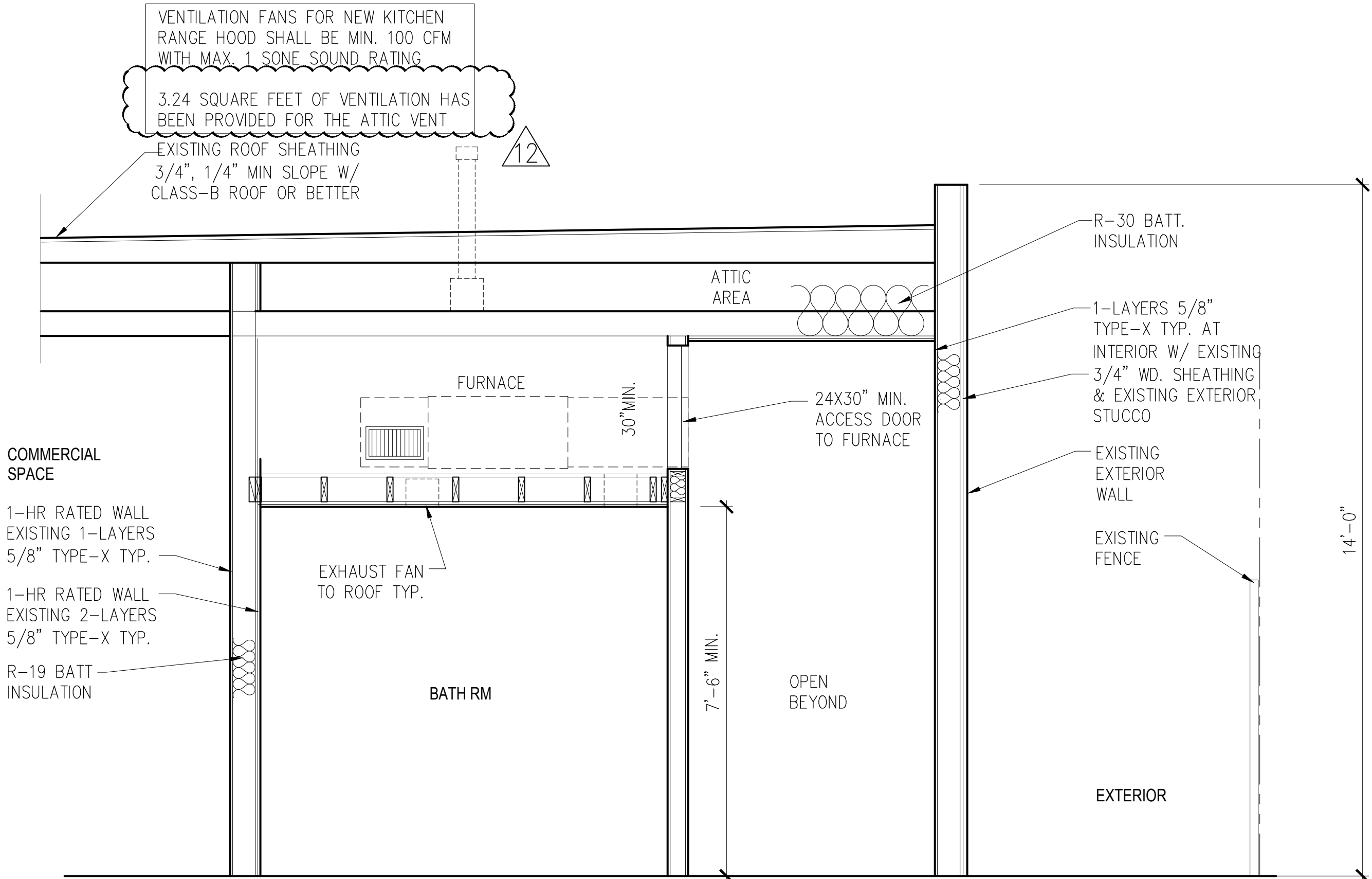
Attachments

Attachment A – Location Map

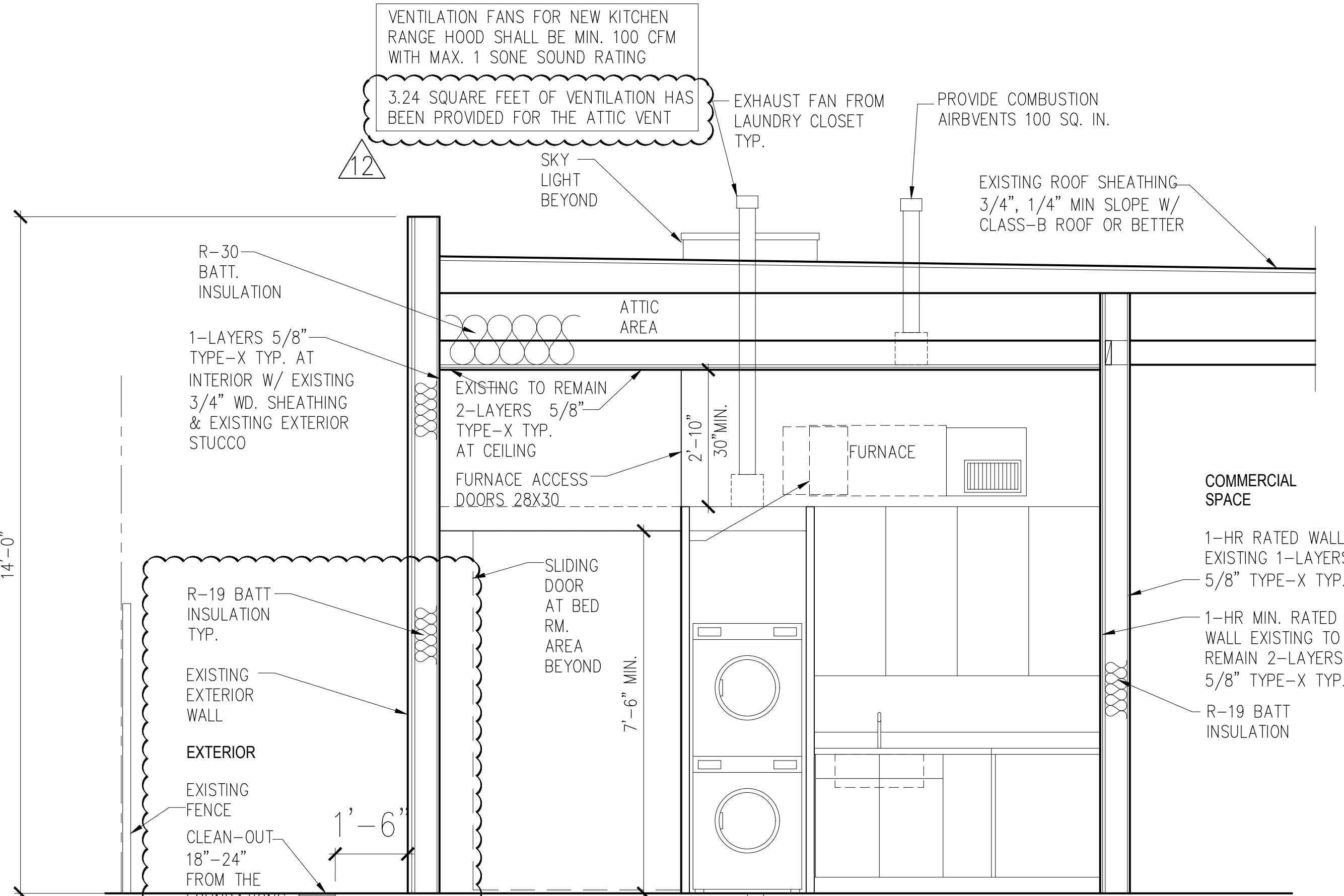
Attachment B – Project Plans

G:\Planning\Current Planning Projects\75 Pueblo Street - Conversion to Mixed-Use Building\City Council - February 25, 2019\cc022519.mtv.doc

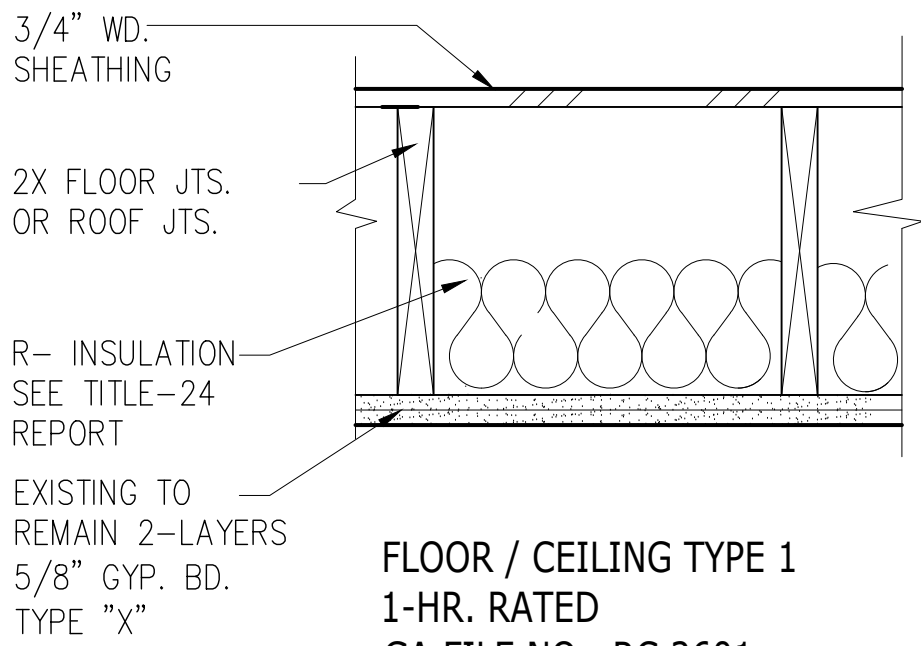




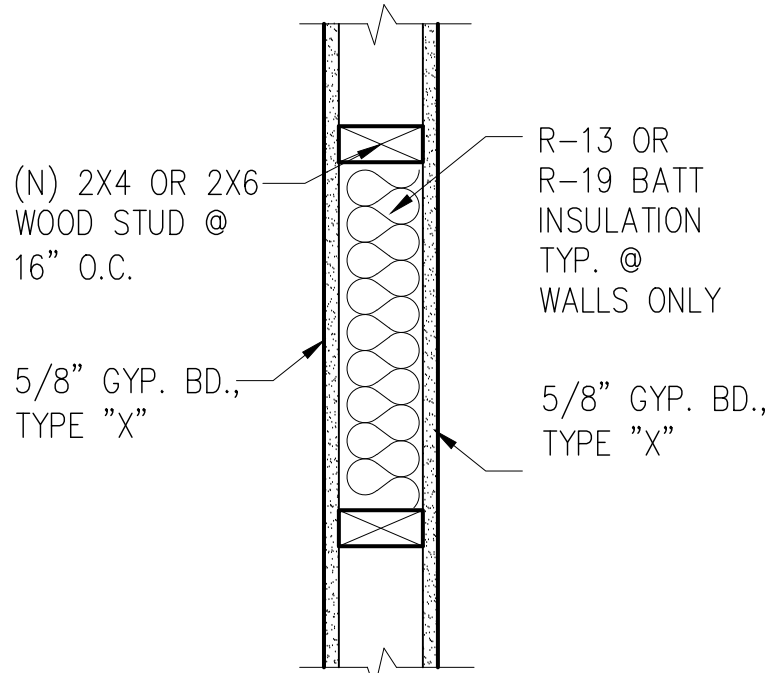
2 BUILDING ELEVATION SECTION & DETAILS
SCALE : 1/2"=1'-0" LOOKING WEST AT BED RM. SPACE



1 BUILDING ELEVATION SECTION & DETAILS
SCALE : 1/2"=1'-0" LOOKING EAST AT LIVING SPACE

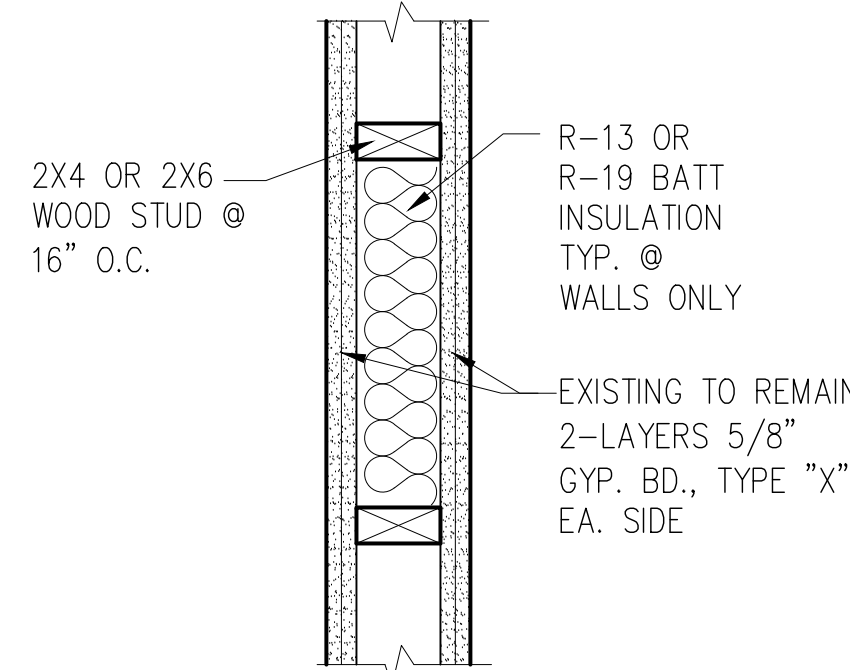


3 ROOF DETAIL
SCALE : 1 1/2"=1'-0"



WALL TYPE 1
1-HR. RATED
GA FILE NO. WP 3514
STC RATING 35 TO 39

4 WALL SECTION DETAIL
SCALE : 1 1/2"=1'-0"



WALL TYPE 2
2-HR. RATED
GA FILE NO. WP 4136
STC RATING 40 TO 44

5 WALL SECTION DETAIL
SCALE : 1 1/2"=1'-0"

STRUCTURAL NOTES

NOTES & SPECIFICATIONS

1) CONCRETE

a. SELECTION OF MATERIALS , MIXING AND PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND ACI REQUIREMENTS.

b. CONCRETE STRENGTH. CONCRETE SHALL BE NORMAL WEIGHT READY MIX CONCRETE AND SHALL DEVELOP THE COMPRESSIVE STRENGTHS LISTED BELOW, UNLESS OTHERWISE NOTED IN SPECIAL INSPECTION CHECKLIST:

FOOTINGS: 2,500 PSI 4" SLUMP 3/4" AGGREGATE
WALLS: 3,000 PSI 4" SLUMP 3/4" AGGREGATE
SLAB ON GRADE: 2,500 PSI 4" SLUMP 3/4" AGGREGATE

NOTE: 3/8" PEA GRAVEL MAY BE SUBSTITUTED FOR 3/4" AGGREGATE WHERE NEEDED FOR PUMPING.

c. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:

SURFACE POURED AGAINST GROUND: 3"

FRAMED SURFACES BELOW GRADE: 2"

SURFACES EXPOSED TO WEATHER: 2"

CONCRETE BEAM BARS: 1-1/2"

ALL OTHERS: 1"

d. REINFORCING STEEL. USE ASTM A615, GRADE 40 FOR #4 BARS AND SMALLER, GRADE 60 FOR #5 BARS AND LARGER. TACK WELDING HEATING OR CUTTING OF BARS IS NOT PERMITTED. STAGGER ALL SPLICES A MINIMUM OF 5 FEET.

e. ANCHOR BOLTS SHALL CONFORM TO ASTM-A36 FOR HOOKED ANCHOR BOLTS. HEADED ANCHOR BOLTS SHALL CONFORM TO ASTM A-307.

f. CONSTRUCTION JOINTS SHALL BE PREPARED BY WIRE BRUSHING AND CLEANING PREVIOUS POUR. PROVIDE 1/4 INCH AMPLITUDE MINIMUM OR KEYED JOINTS. ADD A PASTE OF CEMENT MORTAR IMMEDIATELY PRIOR TO POURING . ALL EXISTING CONCRETE SURFACES WHICH ARE TO RECEIVE NEW CONCRETE SHALL BE ROUGHENED AND WASHED CLEAN OF DUST PRIOR TO CONCRETE PLACEMENT. WAIT 48 HOURS BETWEEN POURS.

g. ALL CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS TO ASSURE THE ABSENCE OF VOIDS IN STRUCTURAL ELEMENTS.

h. SLABS ON GRADE SHALL BE A MINIMUM OF 5 INCHES THICK WITH #4 BARS AT 12 INCHES ON CENTER AT MID HEIGHT UNLESS OTHERWISE NOTED ON THE PLANS. PROVIDE 2 INCHES OF SAND BELOW SLAB WITH PLASTIC VAPOR BARRIER OVER 6 INCHES OF CLASS B CRUSHED ROCK COMPACTED TO 95% RELATIVE COMPACTION.

i. EPOXY TO BE SIMPSON SET EPOXY BASED ANCHORING ADHESIVE. FOLLOW MANUFACTURER'S INSTALLATION DIRECTIONS. ALL HOLES TO BE BRUSHED CLEAN AND BLOWN OUT PRIOR TO EPOXY INSTALLATION.

j. LAP LENGTHS. ALL REINFORCING BARS #6 AND SMALLER TO BE LAPPED 44 TIMES THE DIAMETER OF THE BAR. ALL BARS #7 AND LARGER TO BE LAPPED 55 TIMES THE DIAMETER OF THE BAR.

2) WOOD

a. FRAMING LUMBER SHALL BE DOUGLASS FIR LARCH WITH A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF PLACEMENT.
HEADERS, PLATES, JOISTS: NO. 1
POSTS AND BEAMS: NO. 1
STUDS AND BLOCKING: NO. 2

b. SILLS OR LEDGERS IN CONTACT WITH CONCRETE OR MASONRY, AND ANY WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED DOUGLASS FIR OR CALIFORNIA REDWOOD. NEWLY EXPOSED SURFACES RESULTING FROM FIELD CUTTING, BORING OR HANDLING SHALL BE FIELD TREATED. ALL NAILS AND BOLTS INTO PRESSURE TREATED FRAMING TO BE HOT-DIPPED GALVANIZED. ALL HARDWARE AND HANGERS IN CONTACT WITH PRESSURE TREATED FRAMING TO BE TRIPLE ZINC COATED OR GALVANIZED.

c. PLYWOOD SHEATHING

ROOF SHEATHING 5/8" CD EXTERIOR APA RATED 32/16, PS1

FLOOR SHEATHING: 3/4" CD EXTERIOR APA RATED 48/24, PS1

WALL SHEATHING: 1/2" EXTERIOR APA RATED PS1

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suhel@shataraarch.com

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PROJECT TENANT IMPROVEMENT

ADDRESS
75 PUEBLO ST
SAN FRANCISCO, CA

PARCEL ID: 005063130

PROJECT DIRECTORY

ARCHITECT

890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566

CONTACT: SUHEL SHATARA

BUILDING 11.02.2016

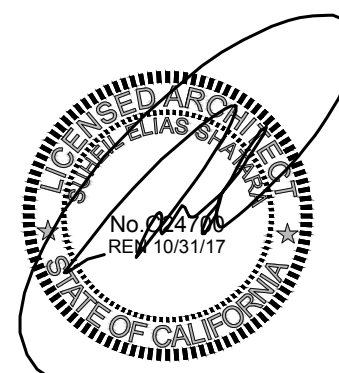
BUILDING 12.02.2016

BUILDING 01.22.2016

1 REV 02.15.2017

2 REV 05.23.2017

3 REV 08.25.2017



SHEET DESCRIPTION

**BUILDING
MATERIAL CUT
SHEET + BLDG
SECTION**

A0.1



2016 CALIFORNIA GREEN BUILDINGS STANDARD CODE
CHECKLIST FOR RESIDENTIAL

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the buildings conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

Building Permit #: RBLD-12-16-056809

Address: 75 PUEBLO STREET, DALY CITY, CA

Feature or Measure (For full details of the code requirements see the 2016 CALGreen Code)	Mandatory Measures Specified Yes / No and Plan Reference
SITE DEVELOPMENT (Section 4.106)	
A plan has been developed and will be implemented to manage storm water drainage during construction per Section 4.106.2 & 4.106.3.	N/A (E) BLDG
	Not affected
WATER EFFICIENCY AND CONSERVATION (Chapter 4)	
INDOOR WATER USE (Section 4.303)	
Plumbing fixtures (water closets and urinals) shall comply with the following: 1. The effective flush volume of all water closets shall not exceed 1.28 gal / flush per Section 403.1.1. 2. The effective flush volume of urinals shall not exceed 0.5 gal / flush per Section 403.1.2.	Yes Sheet M-1 plumbing floor plans
Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance per Section 4.303.1.3 and 403.1.4	Yes
OUTDOOR WATER USE (Section 4.303)	
Automatic irrigation system controller for landscaping provided by the builder and installed at the time of final inspection shall comply with Section 4.304	N/A - No landscape
ENHANCED DURABILITY AND REDUCED MAINTENANCE (Section 4.406)	
Annular spaces around pipes, electric cables, conduits or other openings in sole / bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per Section 4.406.1	Yes- Will comply
CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING (Section 4.408)	
A minimum of 60% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an offsite recycle, diversion, or salvage facility per Daly City Municipal Code 15.64.020.	Yes- Will comply
BUILDING MAINTENANCE AND OPERATION (Section 4.410)	
An operation and maintenance manual will be provided to the building occupant or owner per Section 4.410.1	Yes- Will comply

Feature of Measure (For full details of the code requirements see the 2016 CALGreen Code)	Yes / No and Plan Reference
ENVIRONMENTAL QUALITY (Section 4.503)	
Any gas fireplaces shall be a direct-vent sealed-combustible type.	Yes
Any wood stove or pellet stove shall comply with US EPA Phase II emission limits per Section 4.503.1	N/A
POLLUTANT CONTROL (Section 4.504)	
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per Section 4.504.1.	Yes
Paints and coatings shall comply with VOC limits per Section 4.504.2.2.	Yes
Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per Section 4.504.2.3.	Yes
Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per Section 4.504.2.4.	Yes
Carpet system installed in the building interior shall meet the testing and product requirements per Section 4.504.3.	Yes
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the requirements per Section 4.504.4.	Yes
Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per Section 4.504.5.	Yes
INTERIOR MOISTURE CONTROL (Section 4.505)	
A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of ¾" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per Section 4.505.2 and R506.2.3.	Yes
Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per Section 4.505.3.	Yes
INDOOR AIR QUALITY AND EXHAUST (Section 4.506)	
Exhaust fans, which are ENERGY STAR compliant and be ducted to terminate outside the building, shall be provided in every bathroom per Section 4.506.1.	Yes
ENVIRONMENTAL COMFORT (Section 4.507)	
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2004 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2009 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2004 or equivalent.	Yes

Feature or Measure (For full details of the code requirements see the 2016 CALGreen Code)	Yes / No and Plan Reference
INSTALLER SPECIAL INSPECTOR QUALIFICATION (Section 702)	
HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognize training or certification per Section 702.1	Yes Sheet: M-1
VERIFICATION (Section 703)	
Compliance documentation. Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	Yes
Responsible Designer's Declaration Statement	Contractor Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2016 California Green Building Standards Code.	I hereby certify, as the building or installer under permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name: SUHEIL SHATARA	Name:
Signature:	Signature:
Date: 05-25-2017	Date:
Company: SHATARA ARCHITECTURE INC.	License:
Address: 890 7TH STREET	Address:
City/St/Zip: SAN FRANCISCO, CA 94107	City/St/Zip:

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PROJECT
TENANT IMPROVEMENT

ADDRESS
**75 PUEBLO ST
SAN FRANCISCO, CA**

PARCEL ID: 005063130

PROJECT DIRECTORY
ARCHITECT

890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566

CONTACT: MR. SUHEIL SHATARA

OWNER
CONTACT ARCHITECT

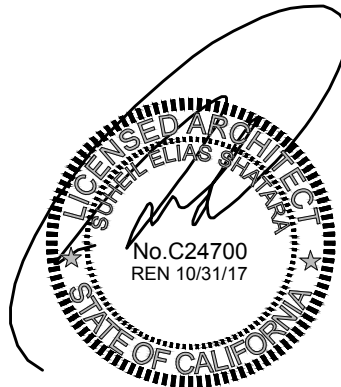
BUILDING 11.02.2016

BUILDING 12.02.2016

BUILDING 01.22.2016

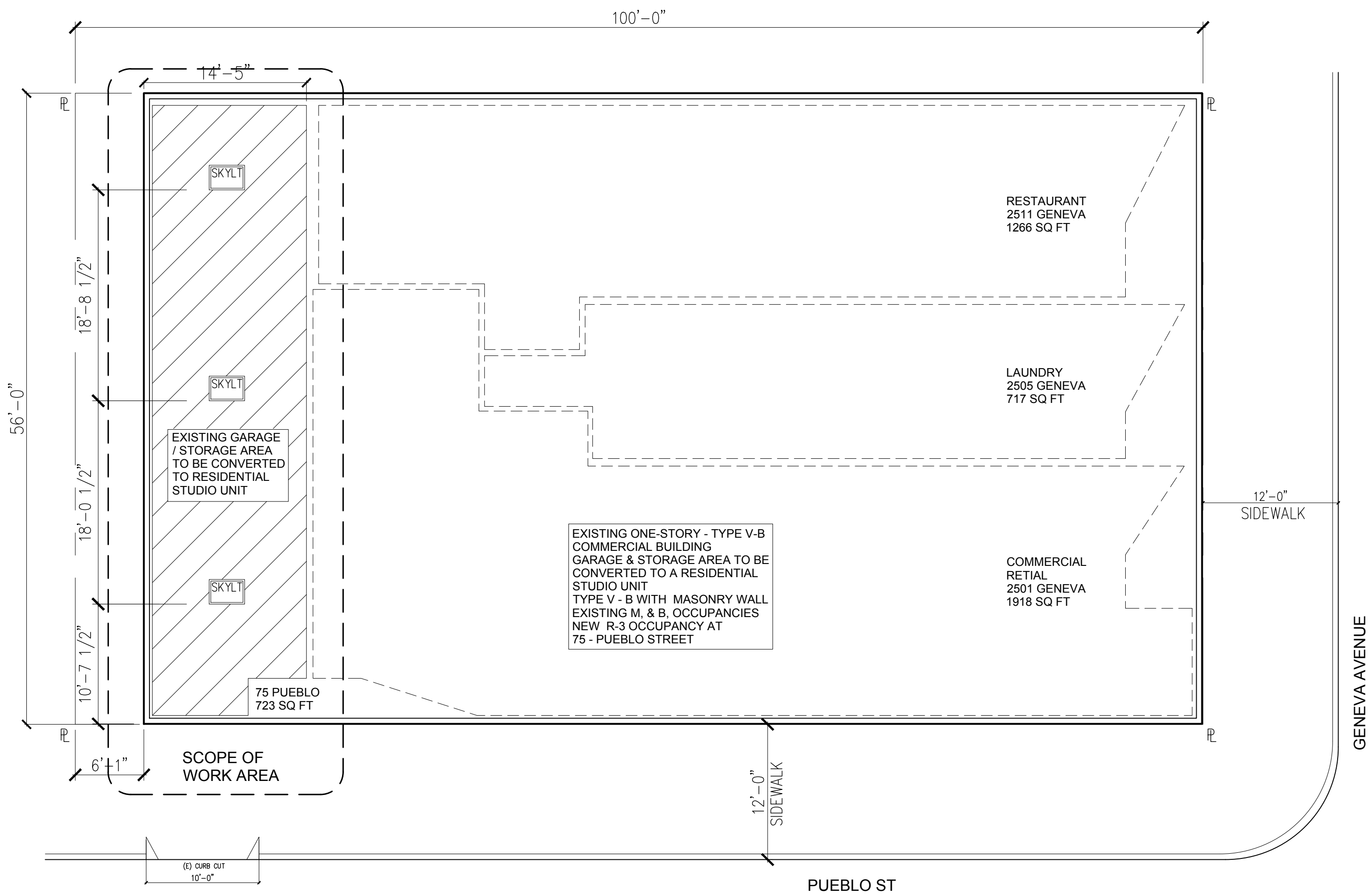
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2 REV 05.23.2017

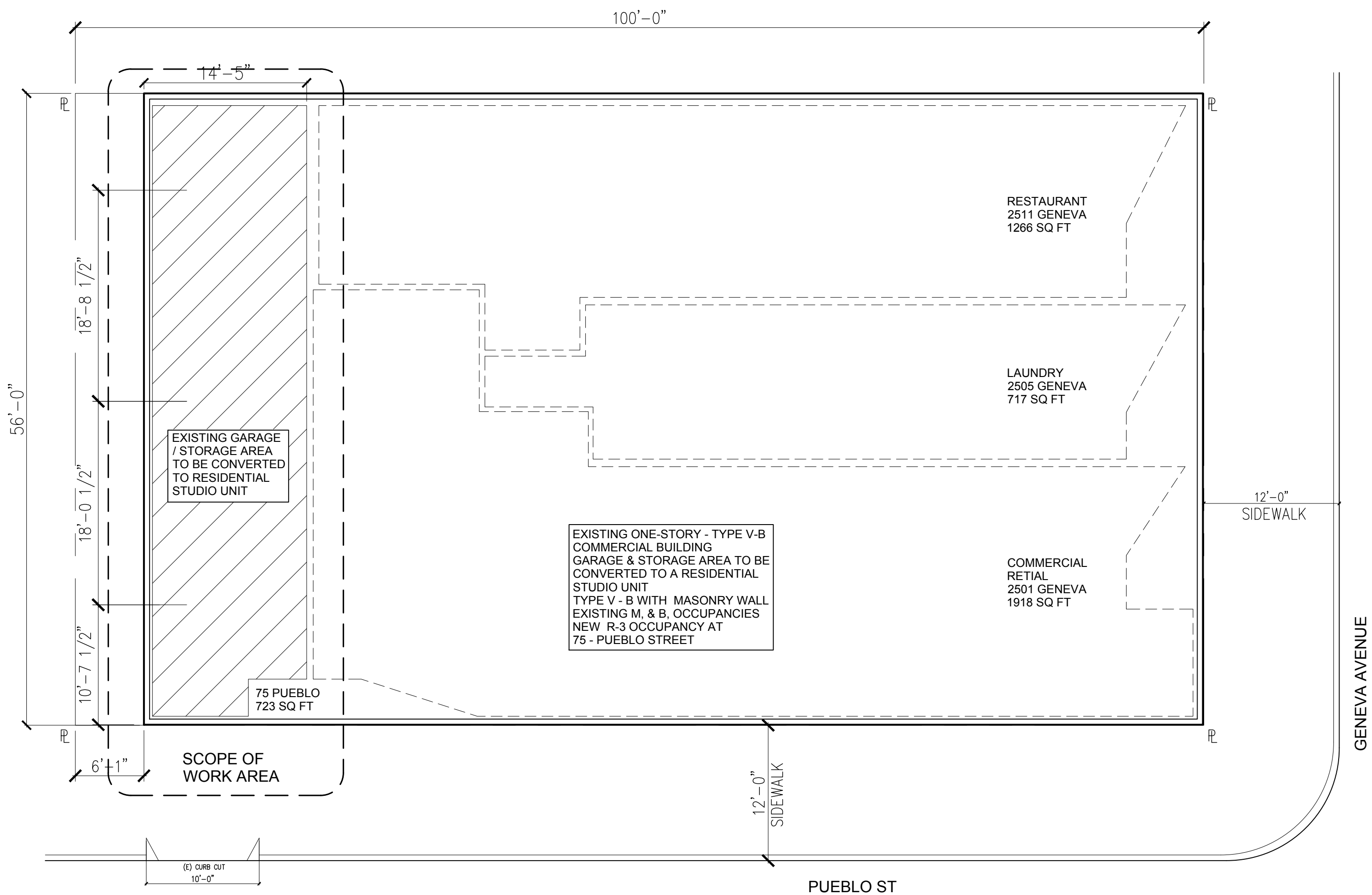


SHEET DESCRIPTION
GREEN POINTS

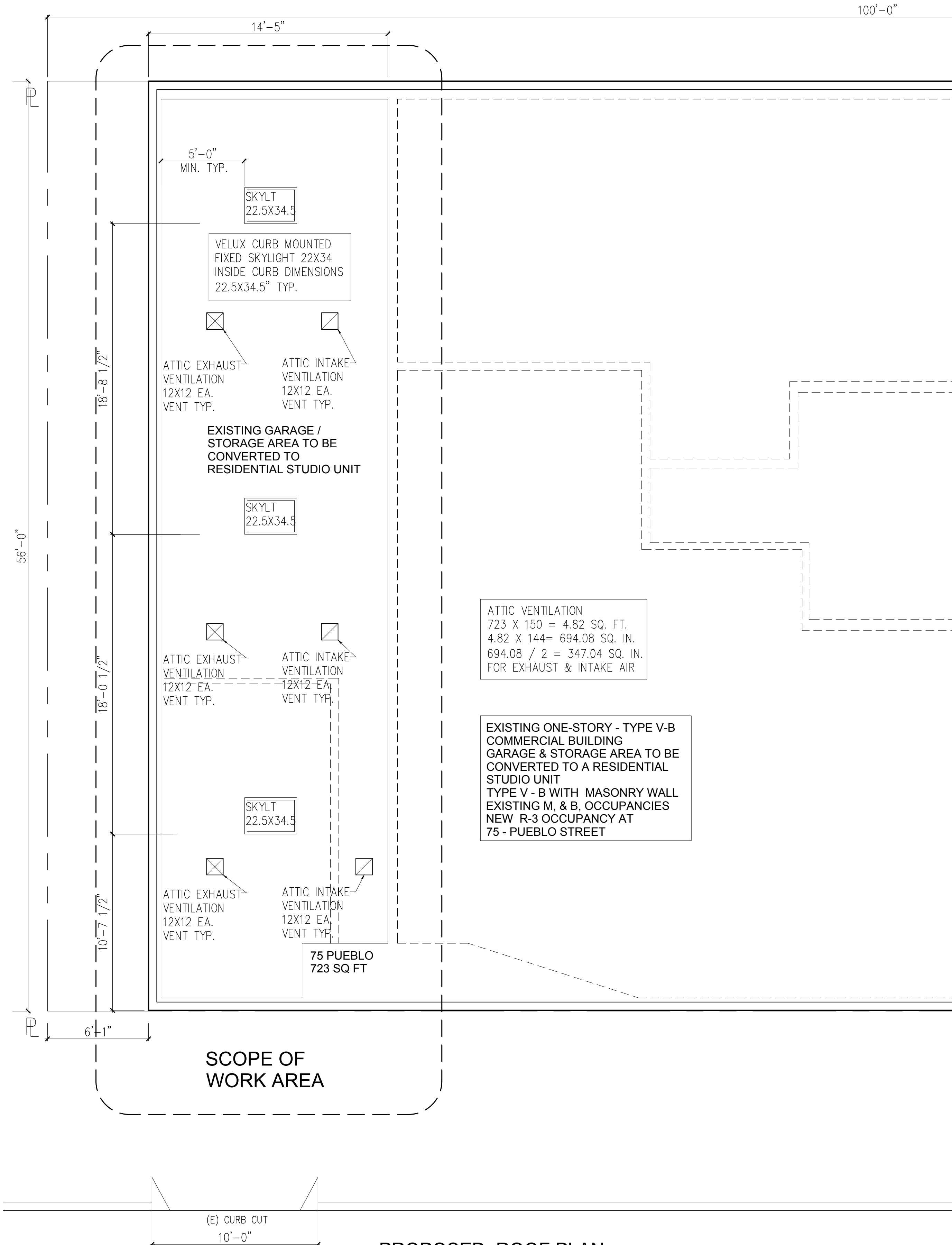
A0.01



2 PROPOSED SITE PLAN
SCALE : 1/8"=1'-0"



1 EXISTING SITE PLAN
SCALE : 1/8"=1'-0"



1 PROPOSED ROOF PLAN
SCALE : 1/4"=1'-0"

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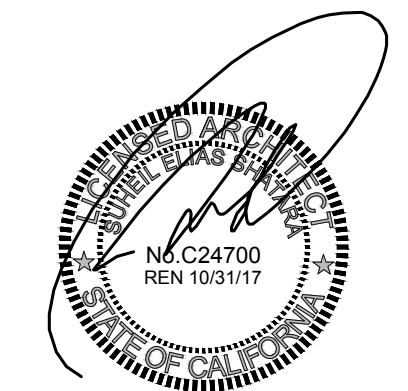
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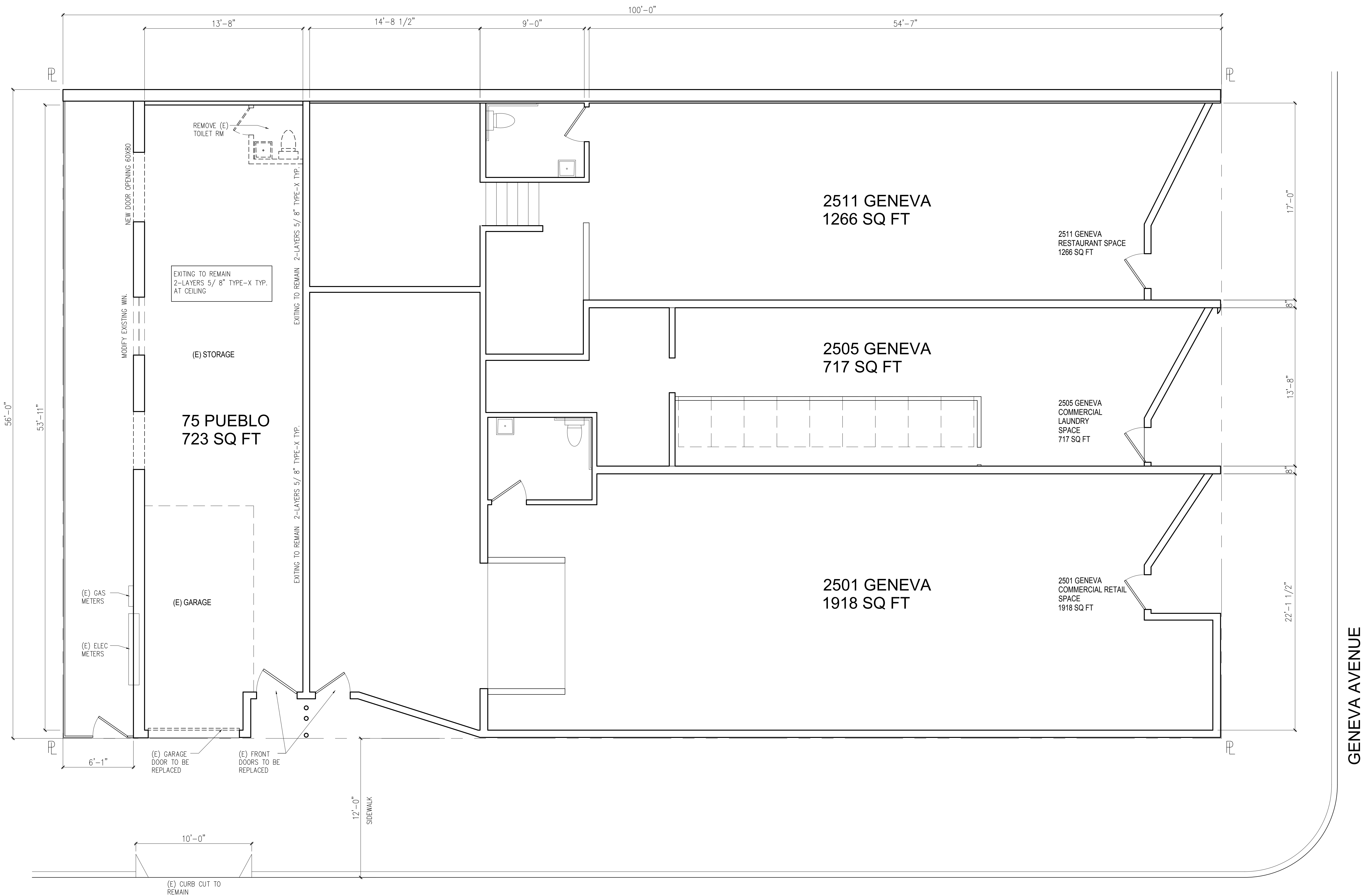
CONTACT: SUHEIL SHATARA

BUILDING	11.02.2016
BUILDING	12.02.2016
BUILDING	01.22.2016
1 REV	02.15.2017
2 REV	05.23.2017
3 REV	08.25.2017



SHEET DESCRIPTION
EXISTING -
PROPOSED SITE
PLAN

A1.0



PUEBLO ST

GENEVA AVENUE

1 EXISTING FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"

LEGEND

9	WALL TYPE	1 A3.4	SECTION
999	DOOR NUMBER	1 A3.4	ELEVATION
9A	WINDOW NUMBER	4	FLOOR/CEILING ASSEMBLY TYPE

--- (E) WALL TO BE DEMOLISHED
— (E) WALL TO REMAIN
/// (N) WALL

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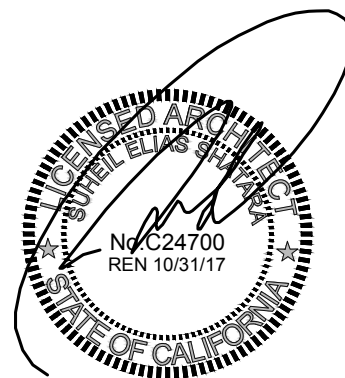
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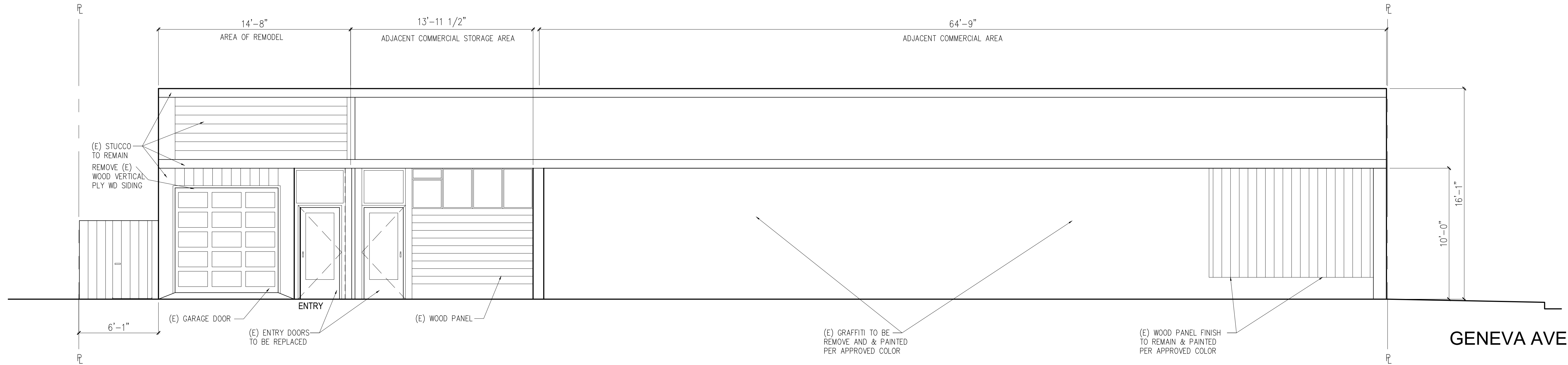
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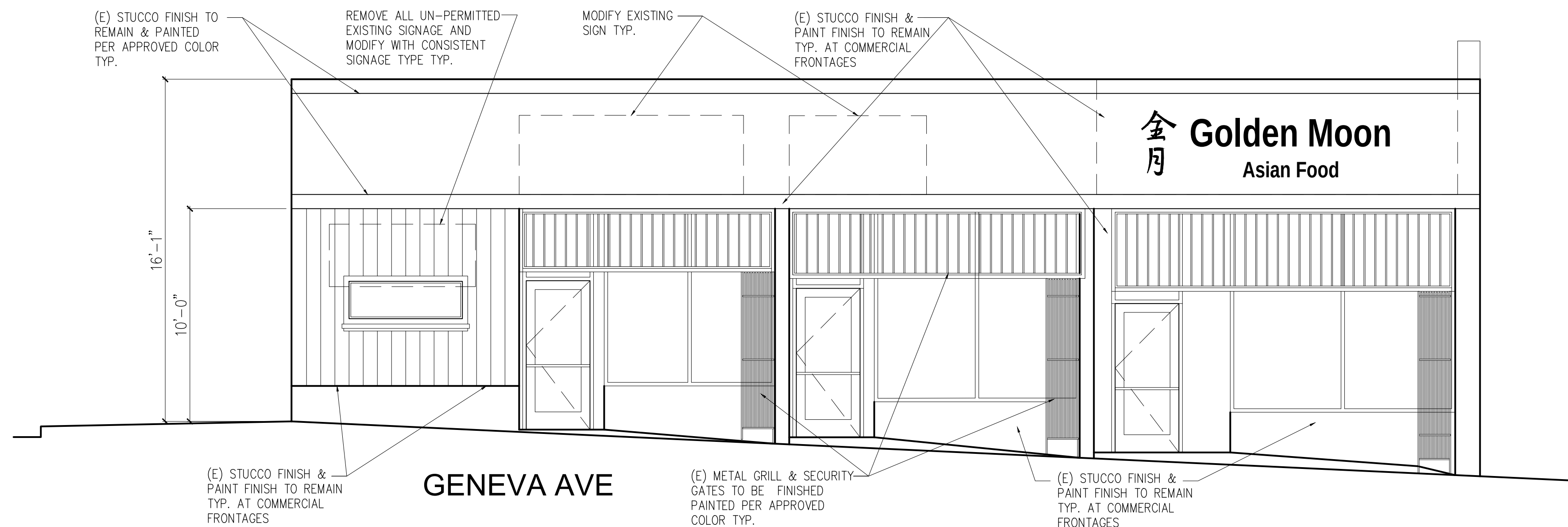


SHEET DESCRIPTION
EXISTING
FLOOR PLAN

A1.1



1 EXISTING WEST ELEVATION
SCALE : 1/4"=1'-0"



2 EXISTING SOUTH ELEVATION
SCALE : 1/4"=1'-0"

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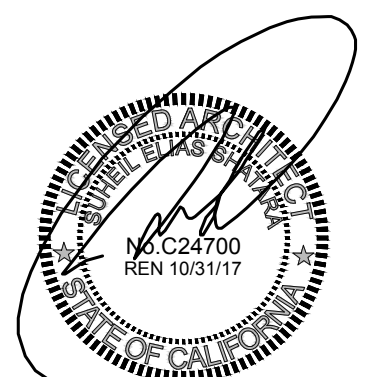
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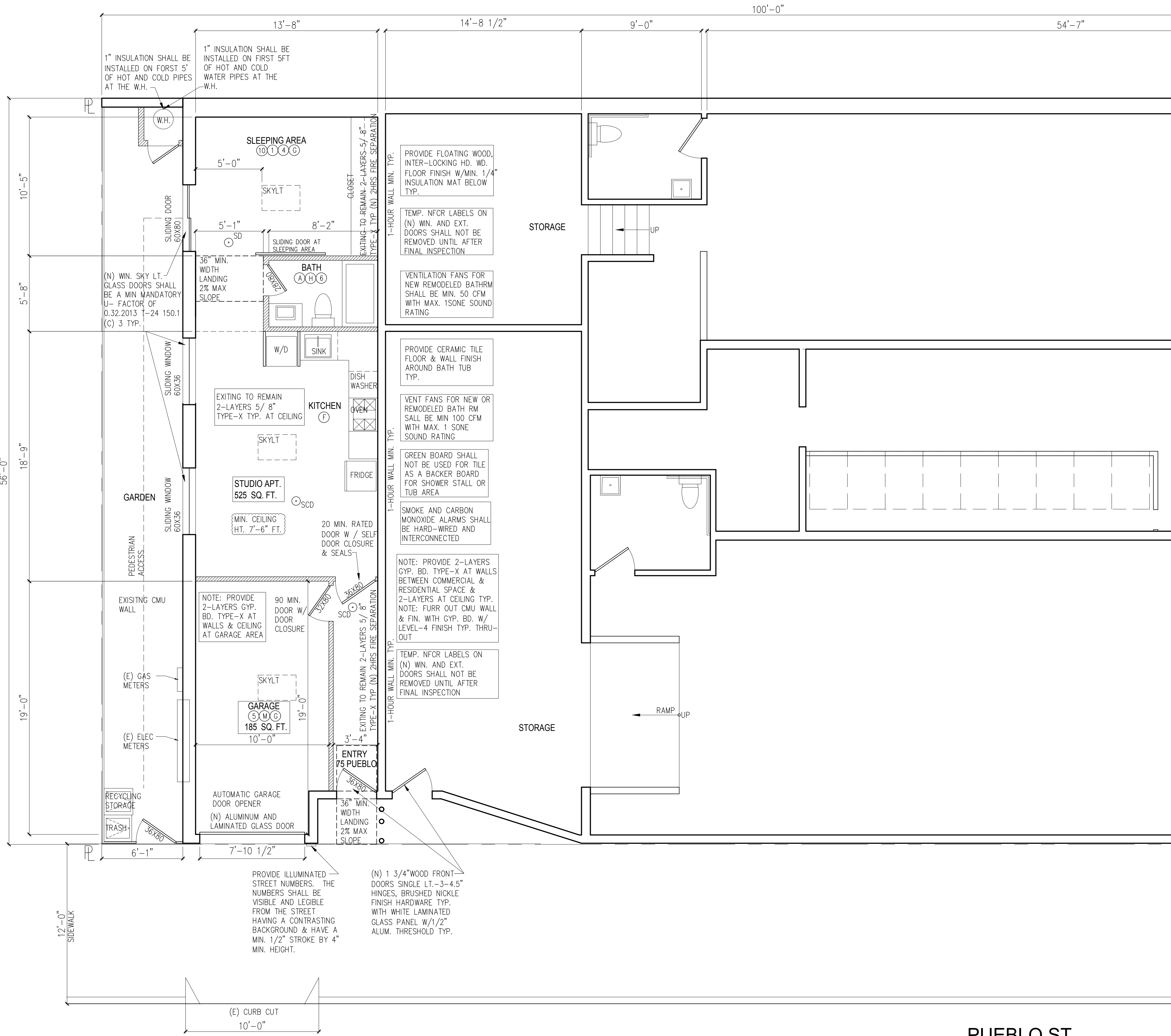
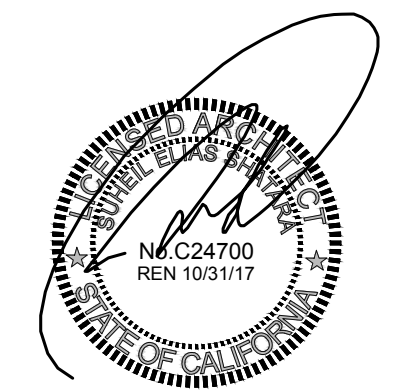
BUILDING	11.02.2016
BUILDING	12.02.2016
BUILDING	01.22.2016
1 REV	02.15.2017
2 REV	05.23.2017
3 REV	08.25.2017



SHEET DESCRIPTION
EXISTING
ELEVATIONS

A1.2

BUILDING	11.02.2016
BUILDING	12.02.2016
BUILDING	01.22.2016
1 REV	02.15.2017
2 REV	05.23.2017
3 REV	08.25.2017



MECHANICAL & ELECTRICAL KEYNOTES

ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, THE ITEMS LISTED BELOW:

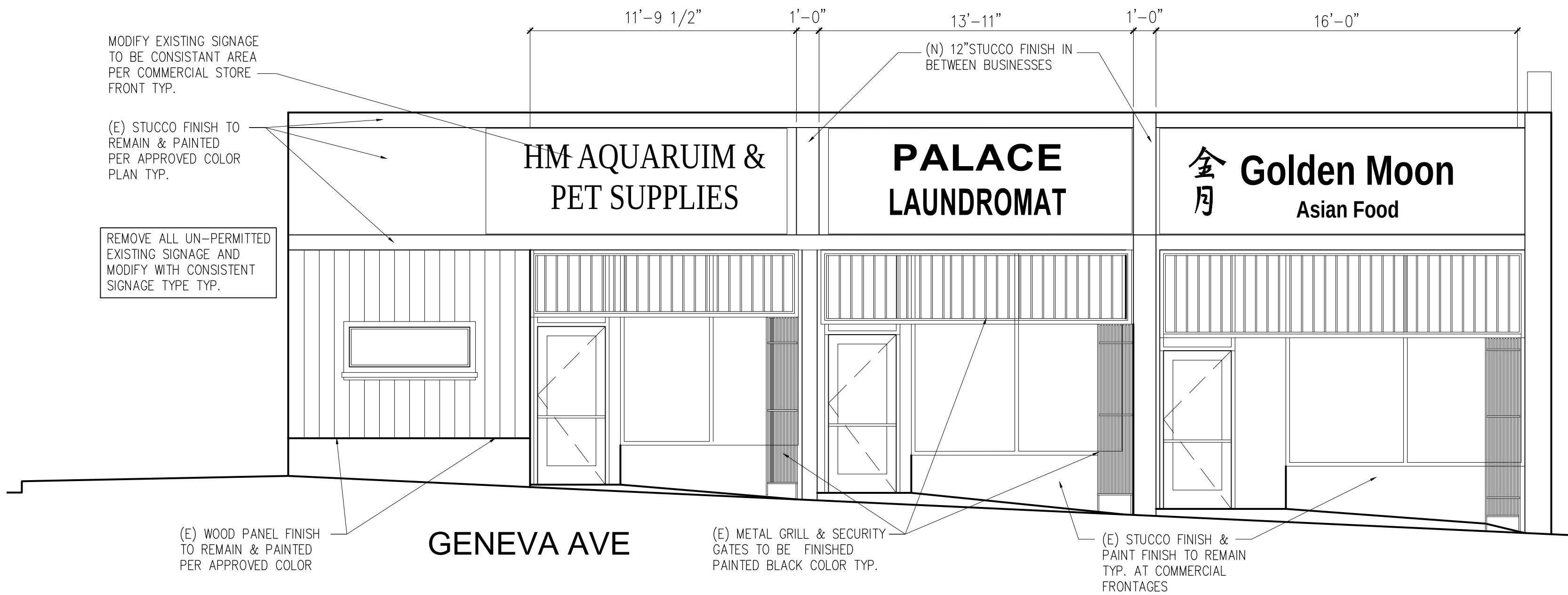
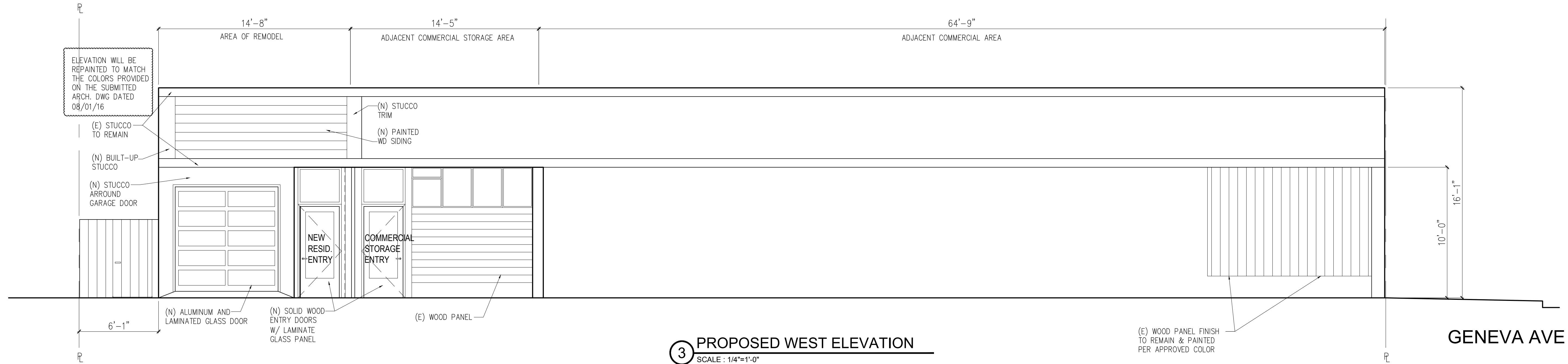
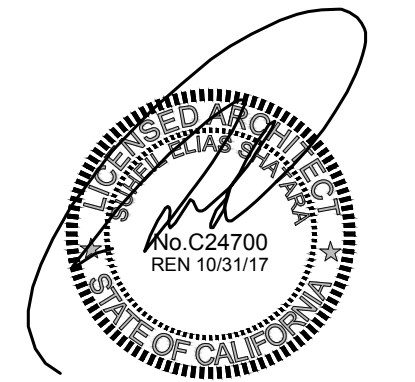
- (A) **BATHROOM:** OUTLETS: PROVIDE BATH WITH GFCI OUTLETS. LIGHTING: ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (B) **LAUNDRY:** ELECTRICAL: LAUNDRY ROOM, WASHER AND DRYER SHALL HAVE A SEPARATE 20 AMP CIRCUIT. DRYER VENT: RIGID PIPE (NO FLEX DUCT ALLOWED) SHALL TERMINATE OUTSIDE. 4" DIAM PIPE 14' MAX LENGTH WITH MAX 2 - 90 DEGREE TURNS, MINUS 2" FOR EACH ADDITIONAL 90 DEGREE TURN OR PROVIDE BOOSTER FAN. MAKE-UP AIR: VENT FOR GAS OR ELECTRIC DRIERS: 100 SQ. IN. MIN. INTAKE OPENING. LIGHTING: ALL HE LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (C) **OUTLETS/ELECTRICAL RECEPTACLES:** AT LEAST ONE OUTLET IN HALLWAY. PLACE OUTLETS SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6' HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 24" WIDE SHALL HAVE AN OUTLET. ALL OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- (D) **SWITCHES AND CONTROLS** SHALL BE PLACED MIN. 36" - MAX 48" ABOVE FINISH FLOOR.
- (E) **THERMOSTATS** SHALL BE PLACED 60" ABOVE FINISH FLOOR.
- (F) **ELECTRICAL:** A MINIMUM OF (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND FAMILY ROOM AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS. OUTLETS: MIN. 1 PER EACH COUNTER SECTION WIDER THAN 12". 4" MAX. DISTANCE BETWEEN OUTLETS. PROVIDE GFCI OUTLETS. LIGHTING: AT LEAST 50% OF INSTALLED LUMINAIRE MUST BE OF HIGH EFFICACY (H.E.) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-HE LIGHTING.
- (G) **LIGHTING (OTHER ROOMS):** BEDROOM, HALLWAY, STAIRS, DINING & CLOSETS BIGGER THAN 70 SF; ALL HE LIGHTING UNLESS LIGHTING IS CONTROLLED BY A DIMMER SWITCH OR CERTIFIED VACANCY SENSOR(S) (TITLE 24).
- (H) **EXHAUST FANS:** PROVIDE BATH & LAUNDRY W/ MECHANICAL EXHAUST FANS WITH BACKDRAFT DAMPER. EXHAUST DIRECT TO EXTERIOR. NO VENT TERMINATION IN EXTERIOR WALL WITHIN 3 FT. OF PROPERTY LINE OR WINDOW OR OPENING USED FOR VENTILATION.
- (I) **HEATING SYSTEM:** AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ITS ADEQUACY WHERE FURNACE DUCTS PERCE 1-HR GARAGE WALLS, DUCTS SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
- (K) **COMBUSTION AIR INLET:** OPENING NOT ALLOWED WITHIN 3' OF PROP. LINE. 12" DOWN FROM TOP, 12" UP FROM BOTTOM.
- (L) **WATER HEATER:** SEE WATER HEATER DETAIL FOR SEISMIC STRAP AND 18" PLATFORM
- (M) **GARAGE:** LIGHTING: ALL HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY CERTIFIED VACANCY SENSOR(S) (TITLE 24). BOLLARDS: PROVIDE TO PROTECT GAS EQUIPMENT FROM IMPACT. (CMC308.1) VENTILATION: 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- (N) **CIRCUITS INTERRUPTER (BREAKERS):** ALL 120 VOLT SINGLE PHASE, 15 AND 20 AMP CIRCUITS SUPPLYING OUTLETS IN A DWELLING UNIT'S BEDROOMS, LIVING, DINING, HALLWAYS, CLOSETS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.

- LEGEND**
- 9 WALL TYPE
- 999 DOOR NUMBER
- 9A WINDOW NUMBER
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL
- 1 A3.4 SECTION
- 1 A3.4 ELEVATION
- (A) FLOOR/CEILING ASSEMBLY TYPE

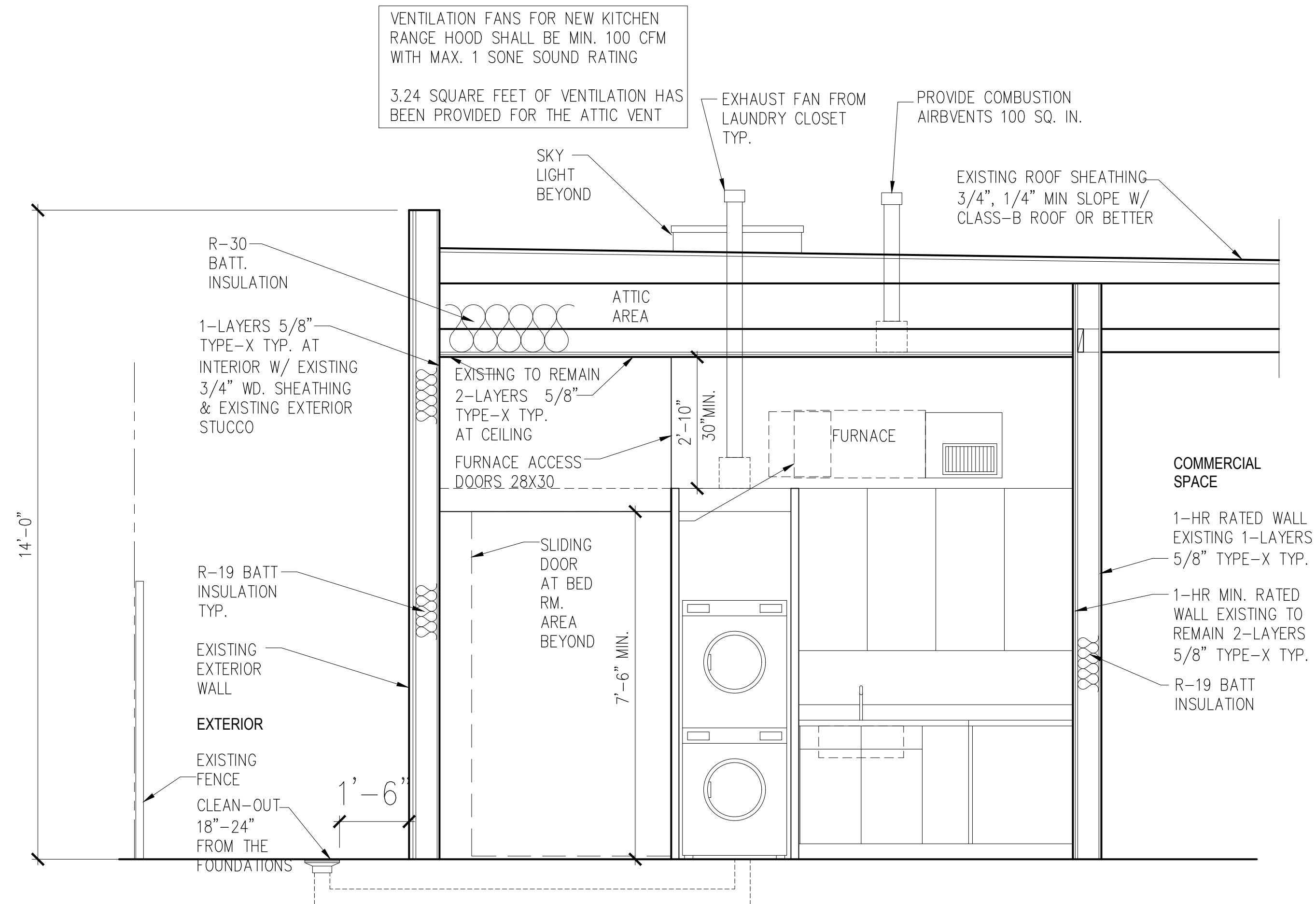
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1 PROPOSED FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"

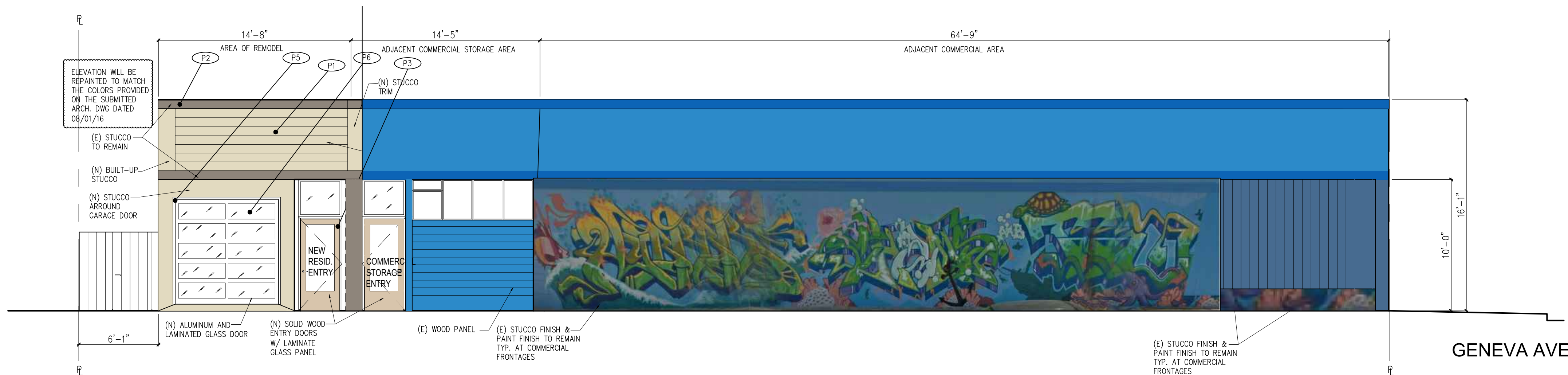
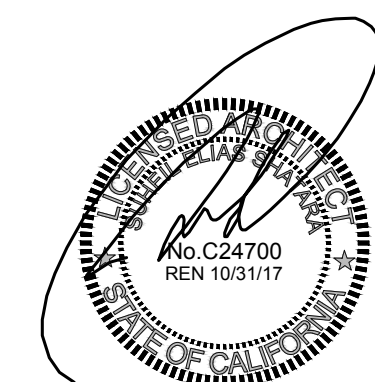
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BUILDING	12.02.2016
BUILDING	01.22.2016
1 REV	02.15.2017
2 REV	05.23.2017
3 REV	08.25.2017



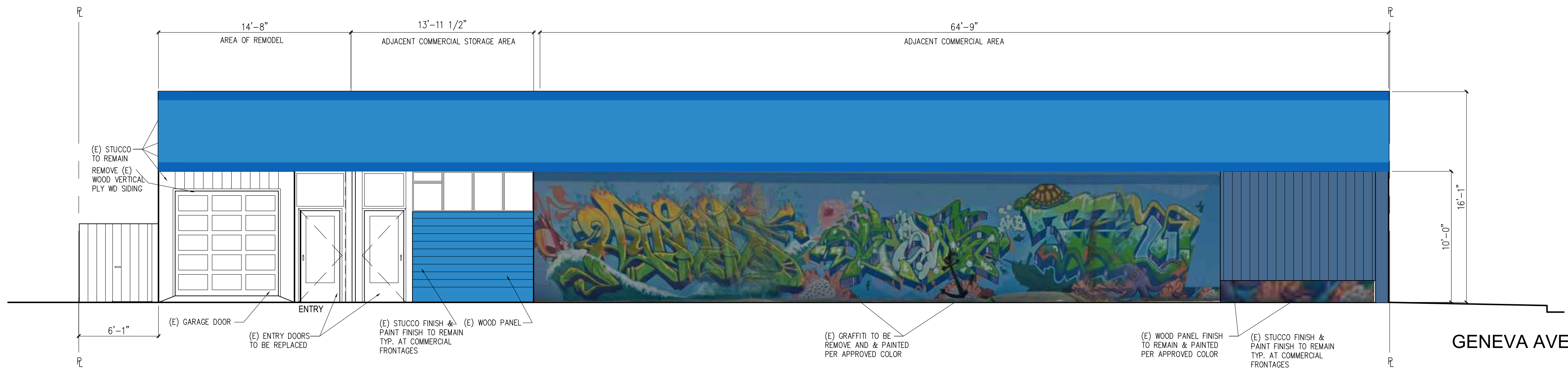
1 PROPOSED SOUTH ELEVATION
SCALE : 1/4"=1'-0"



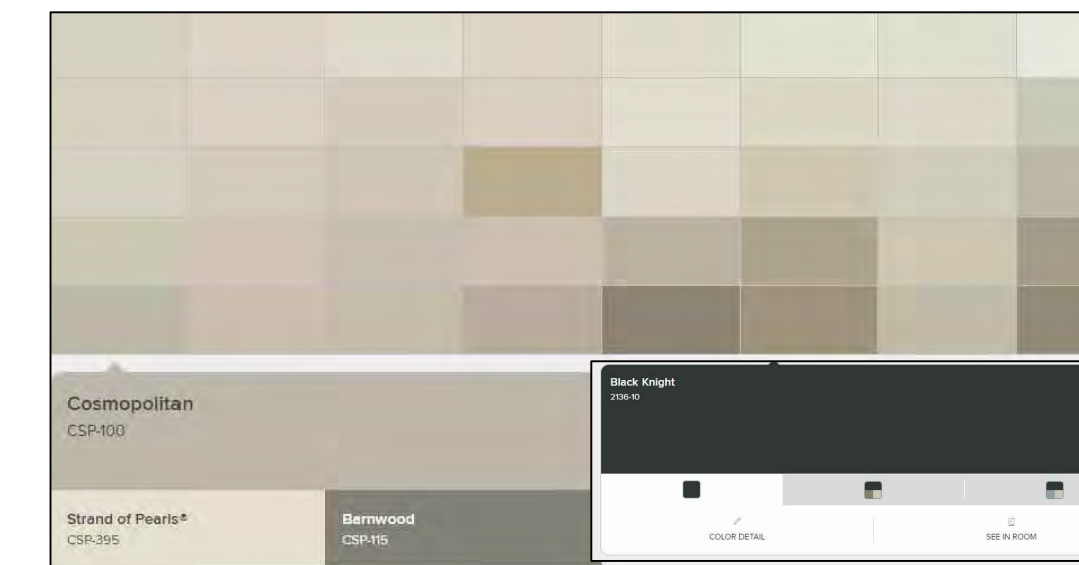
2 PROPOSED CLASS B- ROOF ASSEMBLY
SCALE : 1/2"=1'-0"



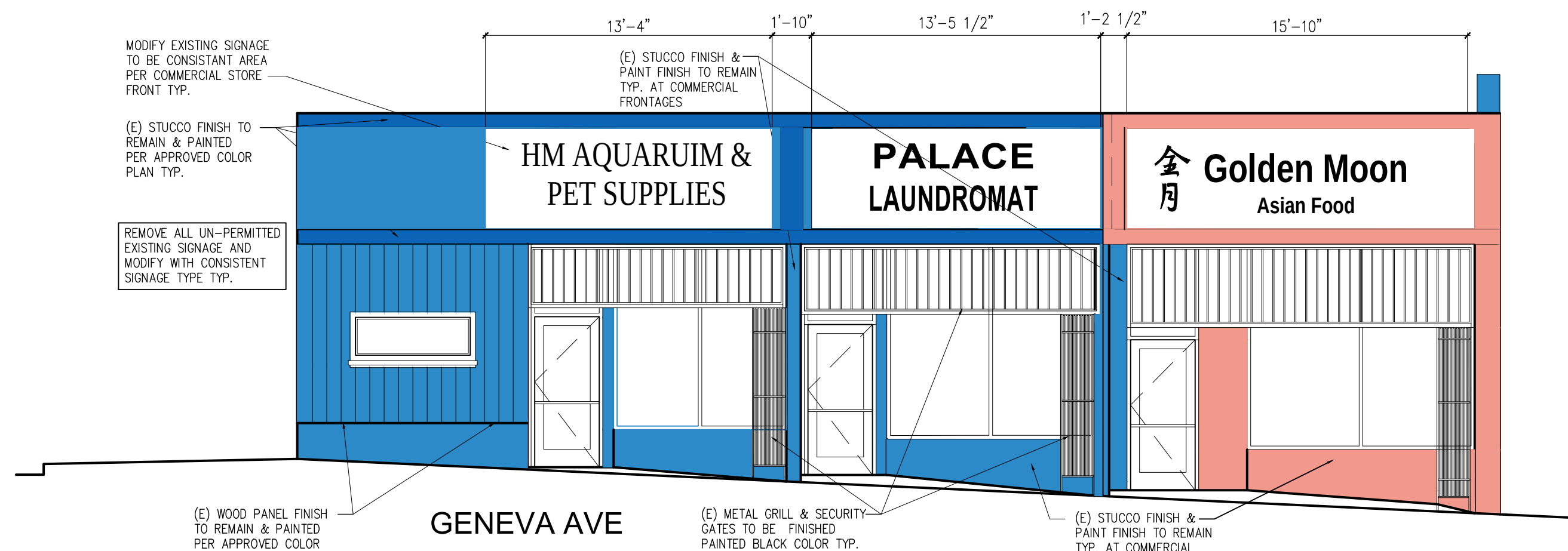
4 PROPOSED WEST ELEVATION
SCALE : 1/4"=1'-0"



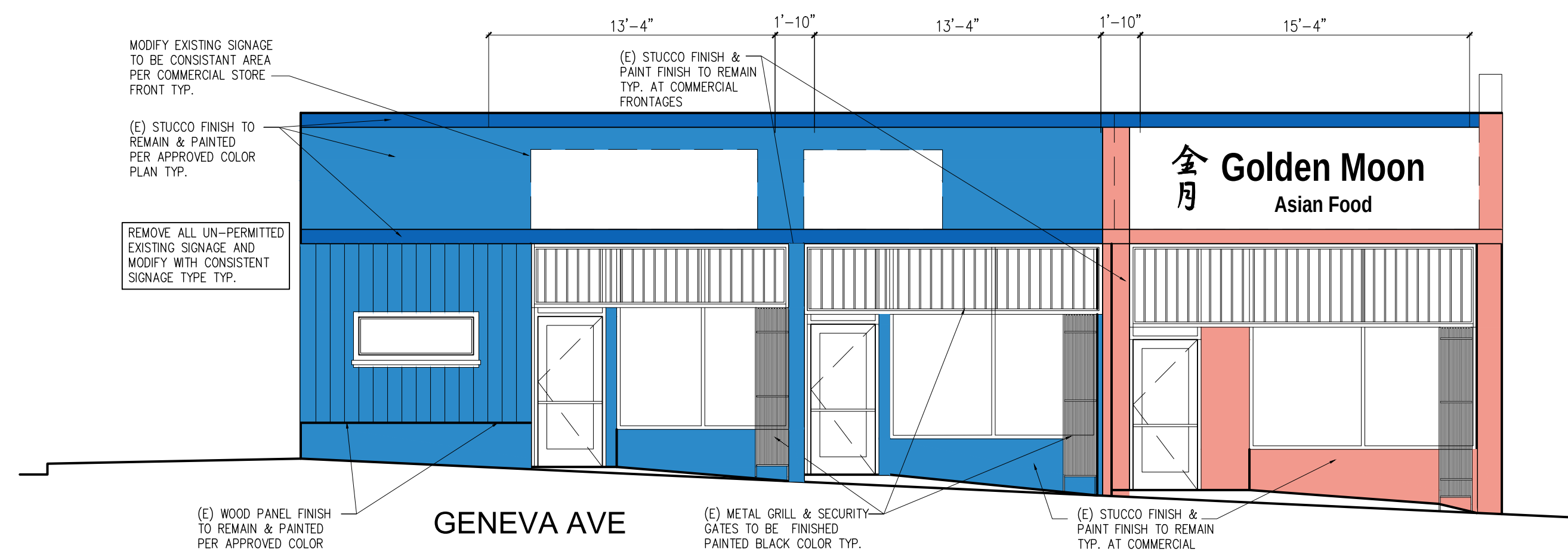
3 EXISTING WEST ELEVATION
SCALE : 1/4"=1'-0"



BENJAMIN MOORE PAINT COLOR SCHEDULE		
PAINT	PAINT DESCRIPTION	PAINT REF.#
P1	STRAND OF PEARLS	CSP-395
P2	BARNWOOD	CSP-115
P3	COSMOPOLITAN	CSP-100
P4	BLACK KNIGHT-METAL	2136-10
P5	ALUMINUM GLASS	
P6	LAMINATED GLASS	
P7		
P8		



1 PROPOSED SOUTH ELEVATION
SCALE : 1/4"=1'-0"



2 EXISTING SOUTH ELEVATION
SCALE : 1/4"=1'-0"

I. CONCRETE REINFORCEMENT:

- A. FOR ALL STRUCTURAL CLASSES OF CONCRETE WITH SPECIFIED STRENGTH OF 2500 PSI OR MORE, INSPECT REINFORCEMENT SIZE, PLACEMENT, CLEARANCES, ETC. ALL INSPECTIONS TO BE DONE 48 HOURS PRIOR TO PLACEMENT OF CONCRETE. REPORT ANY DISCREPANCIES TO ENGINEER.
- B. REINFORCING STEEL: THE REINFORCING BARS SHALL CONFORM TO ASTM 615 GRADE 60 FOR #5 AND LARGER. #4 BARS AND SMALLER SHALL BE GRADE 40.
1. SUPPORTS FOR REINFORCING ON GROUND SHALL BE BLOCKS OF CONCRETE.

II. CAST-IN-PLACE CONCRETE

1. QUALITY ASSURANCE:
- A. REFERENCE STANDARDS:
1. CAL. BUILDING CODE, LATEST ADOPTED EDITION.
2. ACI 304 - RECOMMENDED PRACTICE FOR MEASURING, MIXING AND PLACING CONCRETE.
3. ACI 305 - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING.
4. ACI 306 - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING.

B. CONCRETE MIX DESIGNS:

1. THE MIX DESIGN(S) OF CONCRETE IS TO BE PREPARED BY A RECOGNIZED TESTING LABORATORY WITH A LICENSED CIVIL ENGINEER BEING THE PREPARER, OR BY A QUALIFIED LICENSED CIVIL ENGINEER.
2. CONCRETE CYLINDER TESTS: TAKE A SET OF FOUR SPECIMENS AT THE JOB OF EACH CLASS OF CONCRETE FOR EACH 100 YARDS OR FRACTION THEREOF PLACED EACH DAY FOR STANDARD 8" x 12" CYLINDER TESTS IN ACCORDANCE WITH ASTM C-31. A RECORD OF THE LOCATION IN THE BUILDING OF EACH CONCRETE BATCH WILL BE KEPT AND NOTED ON THE SPECIMEN. STANDARD COMPRESSIION TEST OF CYLINDERS WILL BE MADE, ONE AT 1 DAYS AND TWO AT 28 DAYS IN ACCORDANCE WITH ASTM C-39. THE FOURTH CYLINDER TO BE HELD UNTIL THE SPECIFIED CONCRETE STRENGTHS HAVE BEEN ATTAINED.
3. SLUMP TEST AND AIR TESTS WILL BE MADE AT THE TIME OF TAKING TEST CYLINDERS, AND/OR AT ONE-HOUR INTERVALS DURING PLACING CONCRETE IN ACCORDANCE WITH ASTM D-143.
4. MEASURE AND RECORD CONCRETE TEMPERATURE UPON ARRIVAL OF TRANSIT MIXERS AND WHEN TAKING SPECIMENS NOTE WEATHER CONDITIONS AND TEMPERATURE.

2. MATERIALS:

- A. PORTLAND CEMENT: ASTM C-150, TYPE II, LOW ALKALI.

1. FLY ASH (POZZOLAN) IS NOT PORTLAND CEMENT AND MAY NOT BE SUBSTITUTED FOR PORTLAND CEMENT.

- B. CONCRETE AGGREGATES: ASTM C-33-11A, STONE AGGREGATE AND SAND.

- C. WATER: POTABLE, CLEAN, FROM DOMESTIC SOURCE.

- D. ADMIXTURES: ALL ADMIXTURES SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ADMIXTURES CONTAINING CALCIUM CHLORIDES OR OTHER ACCELERATORS SHALL NOT BE USED.

- E. GROUT FOR BASE PLATES: NON-SHRINK, HIGH STRENGTH GROUT SHALL BE USED FOR ALL GROUTING; CONFORMING TO CRC C-621. GROUT SHALL BE METALLIC TYPE FOR CONCEALED WORK AND NON-METALLIC TYPE FOR EXPOSED WORK. ACCEPTABLE MANUFACTURERS INCLUDE THE BURKE COMPANY, MASTER BUILDERS AND W.R. MEADOWS, INC.

- F. CURING COMPOUNDS: ASTM C-309, TYPE I, CLASS B, WATER BASE ACRYLIC CURE/SEALER WHICH WILL NOT DISCOLOR CONCRETE OR AFFECT BONDING OF OTHER FINISHES. PRODUCTS MAY BE "VOCOMP 20" BY W.R. MEADOWS, INC. OR APPROVED EQUIVALENT.

- G. EVAPORATION RETARDANT: 'CON-FILM', BY MASTER BUILDERS.

3. CONCRETE MIXES:

- A. THE PROPORTIONS OF THE CONCRETE MIXES SHALL BE SUCH AS TO PRODUCE CONCRETE OF REQUIRED AVERAGE STRENGTH, AS DEFINED BY UNIFORM BUILDING CODE SECTION 1905, SLUMPS, AGGREGATE SIZES AND OF A CONSISTENCY THAT WILL ALLOW THOROUGH COMPACTION WITHOUT EXCESSIVE PUDDLING, SPADING OR VIBRATING AND WITHOUT PERMITTING THE MATERIALS TO SEGREGATE, OR FREE WATER TO COLLECT ON THE SURFACE. THE SIZE OF AGGREGATES SHALL BE SUCH THAT IT WILL PRODUCE DENSE AND UNIFORM CONCRETE FREE FROM ROCK POCKETS, HONEYCOMB AND OTHER IRREGULARITIES. ALL CONCRETE MIXES SHALL HAVE ENTRAINED AIR FOR WORKABILITY (4% MAXIMUM). MIX DESIGNS SHALL INCLUDE ADEQUATE WATER REDUCING AND RETARDING ADMIXTURES TO MEET OR EXCEED MINIMUM SET TIMES AND TO MINIMIZE WATER CEMENT RATIOS. MINIMUM AND MAXIMUM CRITERIA PRESENTED HEREIN IS A GUIDELINE AND DOES NOT REPRESENT A SPECIFIC MIX DESIGN. MINIMUM CEMENT CONTENT INDICATES MINIMUM SACKS OF CEMENT, NOT CEMENTIOUS MATERIAL.

CLASS	COURSE AGGREGATE SIZE (INCHES) AND FINE AGGREGATE	MAXIMUM NOMINAL SLUMP & TOLERANCE (INCHES)	MINIMUM 28-DAY DESIGN STRENGTH	MINIMUM CEMENT SACKS PER CY.
FOUNDATION & WALLS	1" x #4	3½" + ½"	3,000	5.0

4. CURING:

- A. GENERAL:

1. ALL CONCRETE SHALL BE KEPT AT OR ABOVE 50 DEGREES F. DURING AND FOR THE FIRST SEVEN (7) DAYS AFTER PLACEMENT.

- B. CURING: CURING SHALL IMMEDIATELY FOLLOW FINISHING.

1. WATER CURING: FLATWORK MAY BE CONTINUOUSLY WATER CURED WITH A FOG SPRAY OR FLOODED WHEN CURE/SEALERS CANNOT BE UTILIZED. FOR A PERIOD OF SEVEN (7) DAYS MINIMUM (INCLUDING HOLIDAYS AND WEEKENDS). ALTERNATIVELY COVER WITH NON STAINING WATER RETAINING MATERIALS AND KEEP SATURATED FOR SAME PERIOD.

2. FOUNDATIONS:

- A. WET TRENCHES PRIOR TO PLACING CONCRETE AND KEEP EXPOSED SURFACES DAMP FOR 7 DAYS MINIMUM.

3. ANCHOR BOLTS: FOR GRADE SEE DETAILS.

ROUGH CARPENTRY

1. QUALITY ASSURANCE:

- A. ALL LUMBER: UNIFORM BUILDING STANDARD NO. 23-1 'CLASSIFICATION, DEFINITION AND METHODS OF GRADING FOR ALL SPECIES OF LUMBER'.
- B. PLYWOOD: CALIFORNIA BUILDING CODE STANDARD NO. 23-2, 'PRODUCT STANDARD PS 1/95'.
- C. 'TIMBER CONSTRUCTION STANDARDS' (AITC), LATEST EDITION.
- D. CALIFORNIA BUILDING CODE, CHAPTER 23, LATEST LOCALLY ADOPTED EDITION.
- E. 'WCLIB' WESTCOAST LUMBER INSPECTION BUREAU.

2. MATERIALS:

- A. PROVIDE WASHERS, PRE-DRILLING, ETC. REQUIRED FOR PROPER INSTALLATION.
- B. FOR EXTERIOR WORK, FASTENERS SHALL BE HOT-DIP GALVANIZED, NON-FERROUS, OR MADE RUST-RESISTANT BY APPROVED METHODS.

C. BOLTS IN WOOD:

1. ASTM A-307, STANDARD SEMI-FINISHED MACHINE BOLTS AS SHOWN OR REQUIRED; MALLEABLE IRON WASHERS OR STEEL PLATE WASHERS, UNLESS OTHERWISE SHOWN, SHALL BE PROVIDED UNDER ALL BOLT HEADS AND NUTS. BOLTS AND WASHERS SUBJECTED TO WEATHER OR MOISTURE TO BE GALVANIZED OR STAINLESS STEEL. BOLTS SUBJECTED TO MOIST CORROSIVE ATMOSPHERE SHALL BE STAINLESS STEEL.

2. WEDGE OR EXPANSION ANCHORS SET AFTER CASTING SHALL BE WEL-IT, ITU RAMSET/REDHEAD TRIBOLT, ITU DYNABOLT, OR HILTI KWIK BOLT II.
3. ANCHOR BOLTS ARE FROM ASTM A36 STEEL, OR TO BE ASTM A307 MACHINE BOLTS. NO UPSET THREADS ALLOWED.

D. POWDER-AQUATED FASTENINGS: HILTI NK.

- E. FRAMING HARDWARE: PROVIDE FRAMING HARDWARE AS CALLED FOR ON THE DRAWINGS OR ACCEPTABLE EQUIVALENT. HARDWARE CALLED FOR ON THE DRAWINGS IS MANUFACTURED BY SIMPSON CO, SAN LEANDRO, CATALOG C-2000. THE USE OF ALL OTHER CONNECTORS IS A SUBSTITUTION AND REQUIRES SUBMITTAL OF COMPLETE EQUIVALENCE DATA. WHERE SUBJECTED TO A MOIST AND CORROSIVE ATMOSPHERE, FABRICATE FROM STAINLESS STEEL.

3. STRUCTURAL LUMBER AND STRUCTURAL SHEATHING:

A. LUMBER

1. SIZE PER INDUSTRY STANDARDS FOR NOMINAL SIZES SHOWN, S4S.
2. SILLS ON CONCRETE OR MASONRY: NO. 2 PRESSURE TREATED DOUGLAS FIR.
3. INTERIOR STRUCTURAL FRAMING SHALL BE DOUGLAS FIR WITH GRADES AS NOTED BELOW. ALL GRADES ARE PER WCLIB STANDARD GRADING RULES #1.
- a. ALL PERMANENTLY EXPOSED (INTERIOR OR PROTECTED FROM WEATHER) FRAMING SHALL BE SELECT STRUCTURAL GRADE WITH NO BOX HEART.
4. EXCEPT PER 1 ABOVE, UNO, MINIMUM GRADES ARE:
- a. FLOOR AND ROOF JOISTS AND RAFTERS (2x) AND 2x8 STUDS, DF#.
- b. 2x4 AND 2x6 STUDS AND PLATES, DF#2
- c. 4x AND LARGER, DF#1. BLOCKING, DF#2.
- d. 6x8 AND LARGER POSTS AND BEAMS SHALL BE PER 4c WHEN SO NOTED ON THE DRAWINGS.

B. STRUCTURAL WOOD SHEATHING:

1. PLYWOOD: ALL STRUCTURAL PLYWOOD SHALL BE GRADE MARKED FOR CONFORMANCE WITH UNIFORM BUILDING CODE STANDARD 23-2, 'PRODUCT STANDARD PS 1-95' AND SHALL BE FABRICATED WITH EXTERIOR GLUE. GRADES SHALL BE AS REQUIRED ON THE DRAWINGS.
2. PLYWOOD NAILING SHALL BE AS REQUIRED ON THE DRAWINGS. DO NOT OVERDRIVE (DO NOT BREAK SKIN OF PLYWOOD FACE SHEET). OVER DRIVING WILL BE CAUSE FOR REJECTION.
3. PNEUMATIC NAILING DEVICES SHALL BE ADJUSTABLE SO THAT NAIL HEADS DO NOT PENETRATE SKIN OF PLYWOOD. CONTRACTOR SHALL SUBMIT EQUIPMENT AND NAILS FOR REVIEW PRIOR TO USE.
4. ROOF AND FLOOR SHEATHING: EXCEPTING 'PANELIZED ROOFS' LAY WITH FACE GRAIN PERPENDICULAR TO ROOF RAFTERS, ROOF TRUSSES OR FLOOR JOISTS. STAGGER PLYWOOD SHEETS. BLOCK ALL UNSUPPORTED SHEET EDGES WITH 2x MATERIAL UNLESS NOTED OTHERWISE.
5. WALL SHEATHING: LAY WITH FACE GRAIN EITHER PARALLEL OR PERPENDICULAR TO STUDS. EXPOSED BOTTOM EDGES SHALL BE SEALED AS RECOMMENDED BY MANUFACTURER. BLOCK ALL UNSUPPORTED SHEET EDGES WITH 2x MATERIALS UNLESS NOTED OTHERWISE.
6. OSB SUBSTITUTION NOT ALLOWED AT EXT. SHEAR WALLS.

4. ROUGH HARDWARE:

A. BOLTS, LAG SCREWS AND WASHERS:

1. BOLTS IN WOOD SHALL BE MACHINE BOLTS AND OF SUCH LENGTH THAT NOT MORE THAN ½" OF THREAD WILL BEAR AGAINST WOOD. BOLT HOLES IN WOOD SHALL BE 1/32" OVERSIZED. BOLT HOLES FOR SILL PLATES MAY BE 1/16" MAXIMUM OVERSIZED. HOLES IN STEEL SHALL BE 1/16" OVERSIZED.
2. PROVIDE SQUARE PLATE OR MALLEABLE IRON WASHER AND NUT AT HEAD WHERE BEARING IS AGAINST WOOD, CUT WASHER UNDER NUT WHERE IT IS AGAINST STEEL. WASHER WILL NOT BE REQUIRED UNDER HEAD OF CARRIAGE BOLTS. PROVIDE MALLEABLE IRON WASHERS WHERE EXPOSED.
3. ALL NUTS SHALL BE TIGHTENED WHEN PLACED AND RETIGHTENED AT COMPLETION OF THE JOB OR IMMEDIATELY BEFORE CLOSING WITH FINAL CONSTRUCTION.

4. LAG SCREWS SHALL BE SCREWED (NOT DRIVEN) INTO PLACE. DRILL HOLES SAME DIAMETER AND DEPTH AS SHANK. THEN DRILL PILOT HOLES SAME DIAMETER AS AT BASE OF THREAD FOR THE THREADED PORTION.

STRUCTURAL STEEL

1. QUALITY ASSURANCE:

A. REFERENCE STANDARDS:

1. CALIFORNIA BUILDING CODE, CHAPTER 22, LATEST LOCALLY ADPTED EDITION.
3. 'SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS', AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC).
4. 'STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION', AMERICAN WELDING SOCIETY (AWS).

B. STEEL MATERIALS TESTING AND WELDING:

1. THE CONTRACTOR SHALL PROVIDE ALL CERTIFICATION, VERIFICATIONS, AND OTHER TEST DATA THAT IS OR MAY BE REQUIRED TO SUBSTANTIATE SPECIFIED MATERIAL PROPERTIES AT NO ADDITIONAL COST TO THE OWNER.

C. WELDING INSPECTION:

1. ALL STRUCTURAL WELDS SHALL BE INSPECTED AND CERTIFIED BY THE OWNER'S TESTING LABORATORY. UNLESS THE FABRICATING SHOP IS CERTIFIED ACCEPTABLE BY ICBO OR THE LOCAL BUILDING OFFICIAL.
2. QUALIFICATION OF WELDERS: THE WELDING INSPECTOR WILL VERIFY THAT ALL THE WELDERS ARE PROPERLY QUALIFIED PRIOR TO STEEL FABRICATION.
3. WELD INSPECTION: WELDING INSPECTION SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED BELOW. THE WELDING INSPECTOR WILL CHECK THE MATERIALS, EQUIPMENT AND PROCEDURE AS WELL AS THE WELDS. THE INSPECTOR WILL FURNISH REPORTS THAT THE WELDING IS PROPER AND HAS BEEN DONE IN CONFORMITY WITH THE PLANS, SPECIFICATIONS AND CODES. THE INSPECTOR WILL USE ULTRA-SONIC OR ANY OTHER AID TO VISUAL INSPECTION WHICH MAY BE NECESSARY TO ASSURE ADEQUACY OR WELDS. UP TO 1/4 INCH SINGLE PASS FILLET WELDS AND WELDING OF STUDS TO BEAMS MAY HAVE PERIODIC INSPECTION. ULTRASONIC INSPECTION, FOR DISCONTINUITIES, OF PLATES THICKER THAN 1" IS REQUIRED WHEN SUBJECTED TO THROUGH THICKNESS WELD SHRINKAGE STRAINS.

2. SUBMITTALS:

- A. SHOP DRAWINGS: PREPARE COMPLETE SHOP DRAWINGS SHOWING BOLT AND ANCHOR SETTING PLANS, AND ALL DETAILS OF LAYOUT FABRICATION AND ERECTION.

3. MATERIALS:

- A. STRUCTURAL STEEL SHAPES AND PLATES: CONFORM TO ASTM A36. DUAL GRADE STRUCTURAL STEEL IS NOT ACCEPTABLE WITHOUT PRIOR APPROVAL OF USE. ASTM A572 GRADE 50 WHEN SO NOTED ON THE DRAWINGS(# MOMENT FRAME) ASTM A572 DUAL GRADE ACCEPTABLE UNLESS NOTED OTHERWISE

- B. STEEL PIPE: CONFORM TO ASTM A-53, GRADE B, COLD-FORMED STEEL TUBES, A-500, GRADE B.

C. BOLTS:

1. MACHINE BOLTS: BEARING AND SHEAR CONNECTIONS CONFORM TO ASTM A-307. A325NC # MOMENT FRAMES.
2. HIGH STRENGTH BOLTS, NUTS AND HARDENED WASHERS: BEARING AND SHEAR CONNECTIONS, ASTM A-325, ASTM A-563 AND ASTM F-436.

- D. ARC-WELDING ELECTRODES CONFORM TO AWS STANDARDS E70 OR EQUIVALENT.

- E. PRIMER: BUILDING STRUCTURAL STEEL: INTERIOR EXPOSED: TNEEC FD-88 (30 DRY MILS MIN) EXTERIOR EXPOSED/INTERIOR WITH CORROSIVE ENVIROMENT: TNEEC 68-1212 (40 MILS DRY MIN).

- F. GALVANIZING: CONFORM TO ASTM A153, AND A123.

- G. GALVANIZE REPAIR: GAL-VIZ BY HARRIS WELCO.

SHEARWALL SCHEDULE (4)			
MARK	SHEATHING	NAILING (PEN)	ANCHOR BOLT (2) x 1" EMBED
6	1/2' STRUC 1 FLY	10d # 6' OC	3/8" AB # 16' OC
4	1/2' STRUC 1 FLY	10d # 4' OC	3/4" AB # 16' OC (1)
3	1/2' STRUC 1 FLY	10d # 3' OC EF	1" AB # 16' OC (1)
4	EF 1/2' STRUC 1 FLY	10d # 4' OC EF	1" AB # 16' OC (1)

SEE 10/50/3 FOR START OF AB

USE RING SHANK NAILS @ CURVED WALLS

(1) = USE 3x STUD, BLOCKING AND PLATE @ PLYWOOD EDGE

(2) = USE GALV. PLATE 3 x 3 x 1/4 WASHERS.

(3) = STAGGER NAILS.

(4) = FIELD NAILING SHALL BE 10d # 12' OC-TYPICAL.

(6) = TYP. EXT. FLY. UNO.

(7) = SEE CBC TABLE 2306.4.1

SHEARWALL SCHEDULE

N78

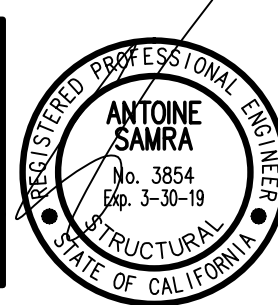
INSPECTION BY ENGINEER TSA IS REQUIRED FOR ALL PHASES OF STRUCTURAL WORK. A FINAL APPROVAL LETTER IS NEEDED

TENANT IMPROVEMENT
75 PUEBLO ST DALY CITY, CA

REVISIONS

TSA
STRUCTURAL
ENGINEERS▲

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DATE: FEB 1, 2018

SPECIFICATIONS

S0.1

A	ANCHOR BOLT
AB	ABOVE
AC	AIR CONDITIONING
ADJ	ADJACENT
E	AT
B	
BL	BUILDINGS
BLK,BLKG	BLOCK / BLOCKING
BM	BELOW
BT	BEAM
BO	BOTTOM
BRS	BEARING
BTUN	BETWEEN
C	
CB	AMERICAN STANDARD CHANNEL
CC	CARRIAGE BOLT
CE	CEMENT LINE
CL	CONTROL JOINT
COL	CEILING
CLR	CLEAR
CLS	COLUMN
CMC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CP	COMPLETE PENETRATION
CPH	CONCRETE MASONRY UNIT
CR	COUNTERSINK
CSK	GUT WASHER
D	
DBL	DOUBLE
DF	DOUBLE END FIR
DI or *	DIAMETER
DM	DIAGONAL
DIA	DIPNOSH
DJ	DOVEL JOINT
DL	DEAD LOAD
DO	DITTO
DWG	DRAWING
E	
EA	EACH
EE	EACH END
EF	EACH FACE
ELRC	ELEVATION
ELEV	ELEVATION
EMBED	EMBEDMENT
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH SIDE
EW	EACH WAY
EXIST or (E)	EXISTING
EXP	EXPANSION
F	
FDN	FOUNDATION
FG	FINISH
FG	FINISH GRADE
FL	FERRULE LOOP INSERT
FLR	FLOOR
FR	FACE NAIL
FS	FACE OF STUD
FOSB	FOOTING
FRMG	FRAMING
FTG	FOOTING
FS	FAIR SIDE
G	
GA	GAUGE OR GAUGE
GLV	GALVANIZED
GLB	LIGHT LUMINATED BEAM
GR	GRADE
H	
HO	HOLD-DOWN
HGR	HANGER
HORIZ	HORIZONTAL
HWS	HIGH STRENGTH
HWSB	HIGH STRENGTH BOLT
HWSB	HIGH STRENGTH FRICITION BOLT
HWSB	HIGH STRENGTH FRICTION BOLT
HWSB	HIGH STRENGTH GROUT
HWSB	HORizontally SLOTTED HOLE
HT	HEIGHT
I	
ID	INSIDE DIAMETER
J	SHAVED WOOD BUILT-UP TRUSS
JST	JOIST
JT	JOINT
K	
L	STEEL ANGLE
Lo or *	(POUND)/
LMF	LIGHT GAUGE METAL FRAMING
LMF	LIGHT GAUGE METAL FRAMING CONTRACTOR
LL	LIVE LOAD
LLH	LONG LEG VERTICAL
M	
MAX	MAXIMUM
MB	MACHINE BOLT
MM	METAL BUILDING MANUFACTURER
MS	MISCELLANEOUS CHANNEL
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTC	MATCHABLE RING WASHER
MTL	METAL
MU	MECH'L UNIT
N	
NU	NEW
N/C	NOT IN CONTRACT
N or *	NIPSE
NBS	NEAR SIDE
NTS	NOT TO SCALE
O	
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPNS	OPENING
OPP	OPPOSITE
OTH	OTHERWISE
P	
P	PLATE OF PROPERTY LINE
PEN	PANEL EDGE NAILED
PLY	PLYWOOD
PLF	PIER FOUNDATION
PNL	PARTIAL PENETRATION
PP	PRESSURE TREATED
PSF	POUND/SQ FOOT
PSI	POUND PER SQUARE INCH
PR	PRESSURE
PRDF	PRESSURE TREATED DOUGLAS FIR
PT	POINT
R	
RL	RADIUS
RFRTR	RAPTER
REF	REFERENCE
REINF	REINFORCING
REQD	REQUIRED
REV	REVISION
RF	ROOF
S	
SAD	SEE ARCHITECTURAL DRAWINGS
SB	SOLID BLOCKING
SCHED	SCHEDULE
SEC	SECTIONAL DRAWINGS
SMT	SIMILAR
SM	STRUCTURAL MECHANICAL DRAWINGS
SPCG	SPECIFICATION
SPEC	SPECIFICATION
SQ	SQUARE
SS	SELECT STRUCTURAL or STAINLESS STEEL
STIFF	STIFFENER
STR	STRUCTURE
STRUCT	STRUCTURAL
SU	SHEAR WALL
SYTH	SYNTHETICAL
T	
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TH&K	THREADED
THRD	THREADED
THRU	THROUGH
TL	TOTAL LOAD
TN	TIE NAIL
TOC	TOP OF CONCRETE
TOP	TOP OF FRAMING
TOP	TOP OF MASONRY
TOP	TOP OF PLYWOOD
TSB	TOP OF STEEL (SLAB)
TOT	TOTAL
TOT	STRUCTURAL TUBE STEEL
TU	TYPICAL
TYP	TYPICAL
U	
UNO	UNLESS NOTED OTHERWISE
V	
VERT	VERTICAL
VSH	VERTICALLY SLOTTED HOLE
W	
WD	WIDE FLANGE STEEL BEAM
WO	WITHOUT
WO	WITHOUT
WP	WORKING POINT or WATERPROOF
WT	WEIGHT
WT	WEIGHT USE FABRIC

3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT DOCUMENTS, APPLICABLE REQUIREMENTS OF THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), AND ALL LOCAL ORDINANCES, CODES AND OTHER REQUIREMENTS.
2. THE DOCUMENTS INCLUDING GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS SUBJECT TO REVIEW BY THE ARCHITECT/ENGINEER. NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS IN THE EVENT OF A CONFLICT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES, SHALL CHECK ALL DIMENSIONS AND ELEVATIONS, AND SHALL COORDINATE THE DOCUMENTS WITH CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INCLUDE METHODS, PROCEDURES OR SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, GUYS AND BRACING. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, REGULATIONS AND ORDINANCES. TSA STRUCTURAL ENGINEER'S SCOPE OF WORK DOES NOT INCLUDE MEANS & METHODS OF CONSTRUCTION NOR SAFETY MEASURES AT THE PROJECT CONSTRUCTION SITE.
5. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. PRIOR TO SUBMITTAL, THE SHOP DRAWINGS SHALL HAVE BEEN STAMPED INDICATING THAT THE CONTRACTOR HAS VERIFIED ALL QUANTITIES, DIMENSIONS, FIELD CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA.
6. THE CONTRACTOR SHALL RESTORE AND REPAIR ADJACENT GROUNDS OR STRUCTURES THAT ARE CHANGED, MODIFIED, REMOVED OR DAMAGED DURING THE CONSTRUCTION SHOWN IN THESE DRAWINGS.
7. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION NOT NOTED.
8. REQUESTS FOR SUBSTITUTION SHALL BE ACCOMPANIED BY MANUFACTURER'S APPROVED PRODUCT EVALUATIONS REPORTS (ICBO REPORTS) AND A LIST OF ALL PROPOSED SUBSTITUTIONS TO THE ARCHITECT/ENGINEER AND ORS FOR REVIEW AND WRITTEN APPROVAL PRIOR TO FABRICATION OR USE.
9. PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL NOT BE PLACED IN SLABS, BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NO STRUCTURAL MEMBER WILL BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY SHOWN. OBTAIN PRIOR WRITTEN APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, AND GROUP OF PIPES ETC.
10. THE USE OF NEW CONSTRUCTION FOR THE SUPPORT/STORAGE OF CONSTRUCTION EQUIPMENT OR MATERIALS IS RESTRICTED TO THE DESIGN CAPACITY OF THE NEW CONSTRUCTION AT THE TIME IT IS TO BE USED FOR SUCH SUPPORT. PLACE MATERIAL OR EQUIPMENT SO AS NOT TO EXCEED THE CAPACITY OF INDIVIDUAL ELEMENTS. CONTRACTOR SHALL PROVIDE ADEQUATE, ENGINEERED SHORING WHERE DESIGN CAPACITY IS NOT SUFFICIENT.
11. CHANGES TO DRAWINGS ARE NOT ALLOWED WITHOUT PRIOR WRITTEN APPROVAL.
12. IT IS THE CONTRACTOR RESPONSIBILITY TO PREVENT AND ELIMINATE THE PRESENCE OF HAZARDOUS MATERIAL. THIS ISSUE IS NOT WITHIN THE STRUCTURAL SCOPE OF WORK.

1. THESE DRAWINGS WERE PREPARED WITH THE INTENTION THAT ALL ELEVATIONS AND HORIZONTAL DIMENSIONS THAT ARE NOT SHOWN DIRECTLY ON THE DRAWINGS ARE INFERRABLE FROM THE DRAWINGS. IT IS INTENDED THAT THE CONTRACTOR USE THE ENTIRE SET OF DRAWINGS TO ESTABLISH VERTICAL AND HORIZONTAL CONTROL FOR THE PROJECT. THE DRAWINGS FOR EACH DISCIPLINE ARE TO BE CONSIDERED AS COMPLEMENTARY TO EACH OTHER, NOT SELF-SUFFICIENT.
2. THE STRUCTURAL DRAWINGS ALONE DO NOT INCLUDE ALL DIMENSIONS NECESSARY TO LOCATE STRUCTURAL MEMBERS, SLAB EDGES, SLAB OPENINGS, EMBEDDED ITEMS, CURBS, DEPRESSIONS, ETC.
3. DO NOT SCALE DRAWINGS.
4. USING THE COMPLETE SET OF DRAWINGS, THE CONTRACTOR SHALL PREPARE A LAYOUT PLAN ESTABLISHING ELEVATIONS, HORIZONTAL DIMENSIONS, AND OTHER RELATIONSHIPS NOT SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.

1. OWNER WILL EMPLOY AND PAY FOR THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM SPECIFIED INSPECTIONS AND TESTING.
2. SPECIAL INSPECTOR SHALL BE APPROVED BY THE ARCHITECT/ENGINEER
3. EMPLOYMENT OF TESTING LABORATORY SHALL NOT RELIEVE CONTRACTOR OF OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
4. CONTRACTOR SHALL COOPERATE WITH THE TESTING LABORATORY TO FACILITATE THE EXECUTION OF THE LABORATORY'S SERVICES.
5. TESTING LABORATORY SHALL PERFORM SPECIAL INSPECTION OF THE FOLLOWING ITEMS (REFER TO THE TESTING AND INSPECTION LIST)
 - A. FIELD AND SHOP WELDING
 - B. CONCRETE STRENGTH
6. TESTING LABORATORY SHALL SUBMIT COPIES OF TESTING REPORTS TO ARCHITECT/ENGINEER, TO THE OWNER, AND TO THE CONTRACTOR.
7. STRUCTURAL OBSERVATIONS DO NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS REQUIRED.
8. INSPECTION BY TSA ENGINEER OF RECORD:
 - A. SHEAR WALL & ROOF NAILING
 - B. PLACEMENT OF STEEL IN CONCRETE AND CMU
 - C. FRAMING.

1. APPLICABLE CODE: CALIFORNIA BUILDING CODE (CBC), 2016 EDITION

2. ROOF LOADS:

A. LIVE LOADS: 20 PSF

B. DEAD LOADS: 14 PSF

3. WIND DESIGN: 110 MPH, SITE EXPOSURE C, 3 SEC.

BASIC WIND SPEED: 110

4. SEISMIC: 1.0

CAT II, SITE CLASS D, DESIGN CAT D, $F_a=1.0$, $F_v=1.5$

$I=1.0$, $SDS=1.0$, $R=6.5$, $V=0.17W$

B. ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF D+L LOADS

I. FOR COMPLETE INFORMATION, SEE SPECIFICATIONS. SPECIFICATIONS SHALL

DESIGNATION:

ASTM A615, GRADE 60
ASTM A185
ASTM A82

STRENGTH: (28-DAY)

3000 PSI
2000 PSI

DESIGNATION:

ASTM A512-50 (ASTM A992, F_y=50 IS ACCEPTABLE)
ASTM A36 (ASTM 50 WHERE NOTED)
ASTM A500, GRADE B
ASTM A53, TYPE E, GRADE B
ASTM A325X (A325C/T/C WHERE NOTED)
ASTM A307 (A307C BID WHERE NOTED)
A501/A505 A520 or A529-PCW, 10 KSI TENSILE STRENGTH

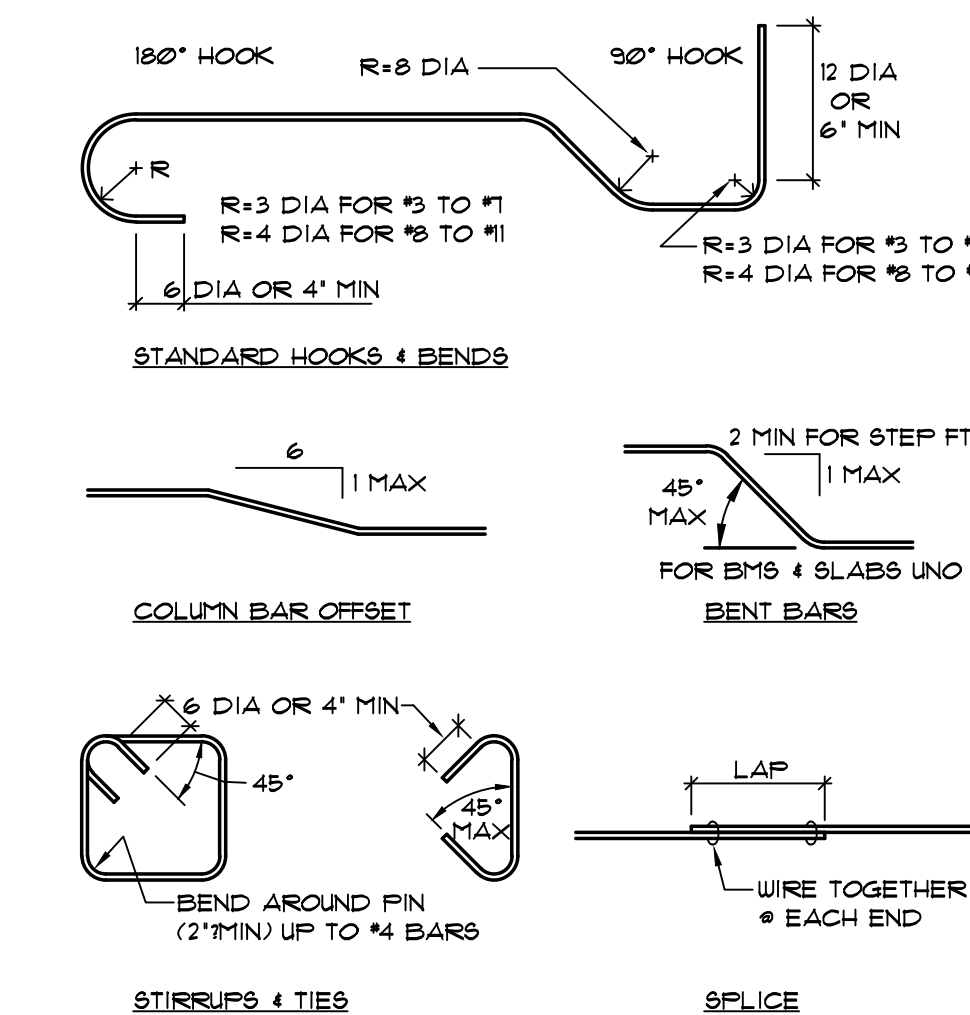
6. EPOXY ANCHORS: EPOXY SHALL BE HILTI HY150 IN CMU - ESR 2678 AND SIMPSON SET XP ESR 2508 IN CONCRETE

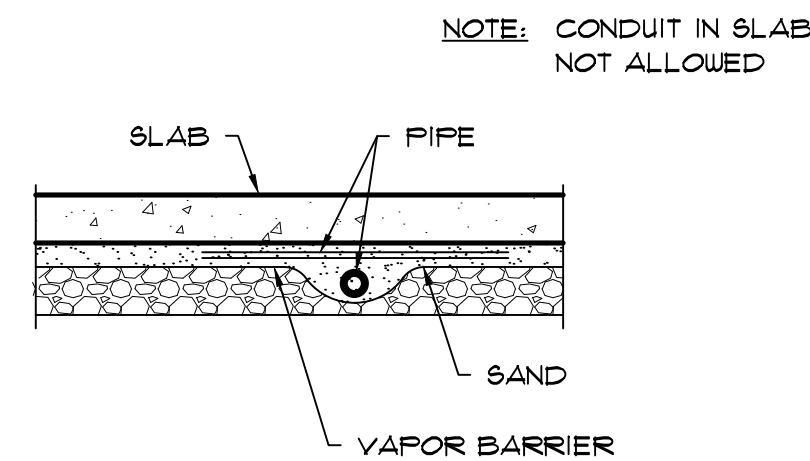
7. NON-SHRINK GROUT: COMPLY WITH ASTM C1107.

MINIMUM REINFORCING STEEL BAR LAPS (STAGGER SPLICES ONE SPLICE LENGTH)			
SIZE	LAP LENGTH	SIZE	LAP LENGTH
#3	16"	#6	42"
#4	28"	#7	43"
#5	35"	#8	55"

(CLASS B)
MINIMUM BAR SPACING: 4x BAR DIAMETER

CONCRETE COVER FOR REINFORCING STEEL	CLEARANCE
CAST AGAINST GRADE	3"
FORMED - EXPOSED TO EARTH OR WEATHER	
1/2" & SMALLER	1 1/2"
3/4" & LARGER	2"
FORMED - NOT EXPOSED TO EARTH OR WEATHER	1"
SLAB - FROM TOP OF CONC	2"
ALL BARS SHALL END IN A STANDARD 90° OR 180° HOOK UNLESS DETAILED OTHERWISE	



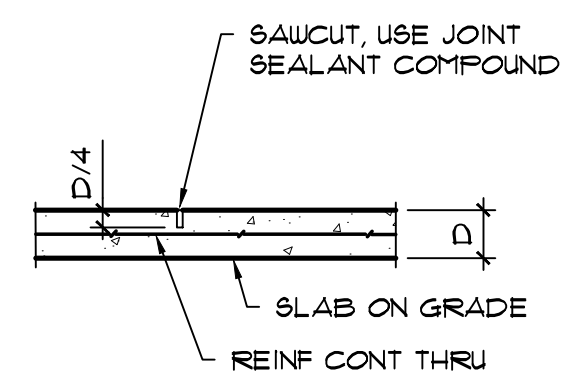
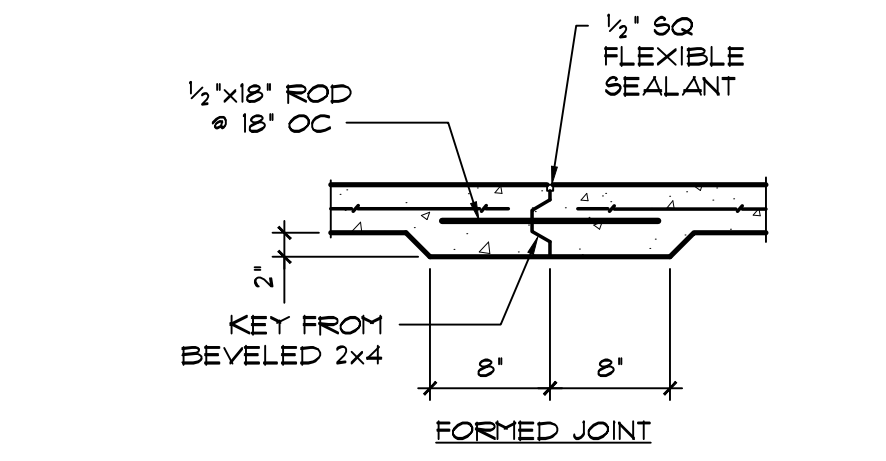


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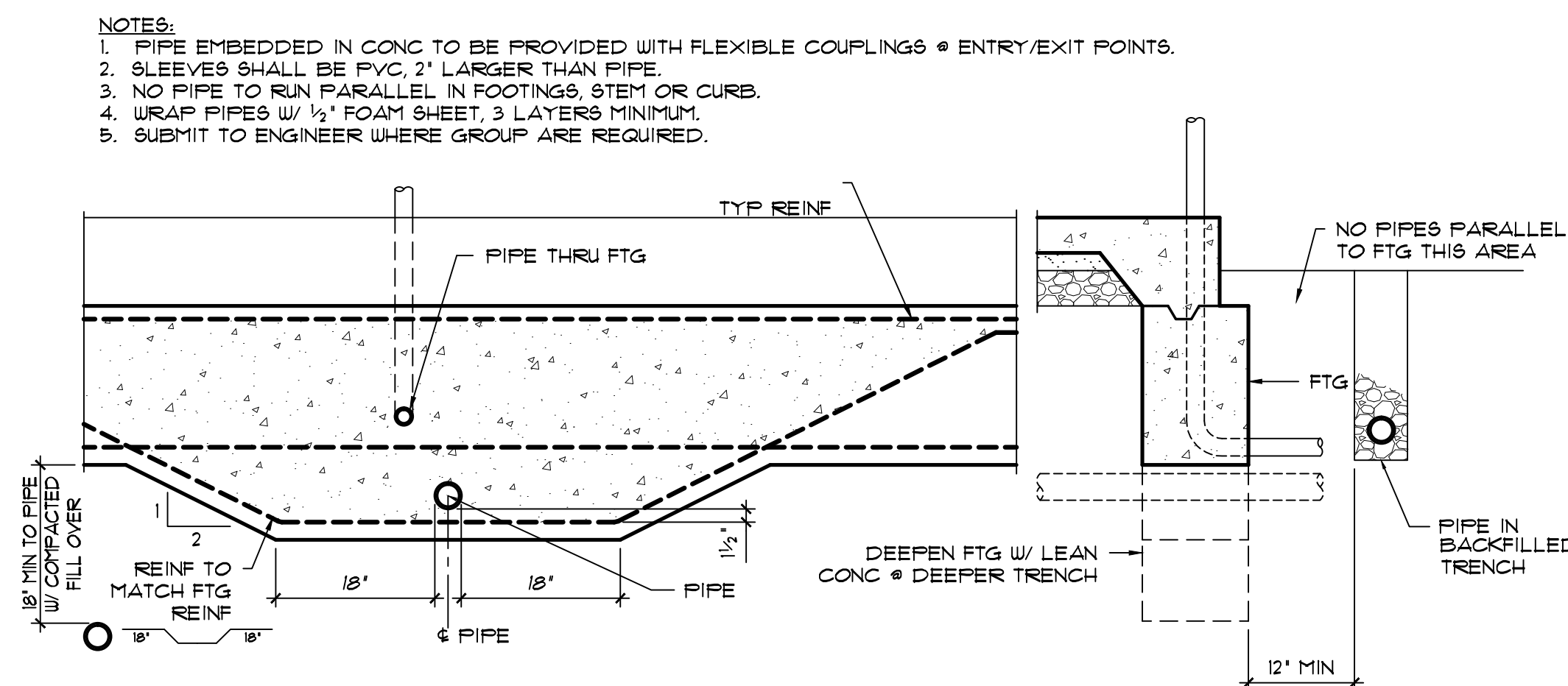
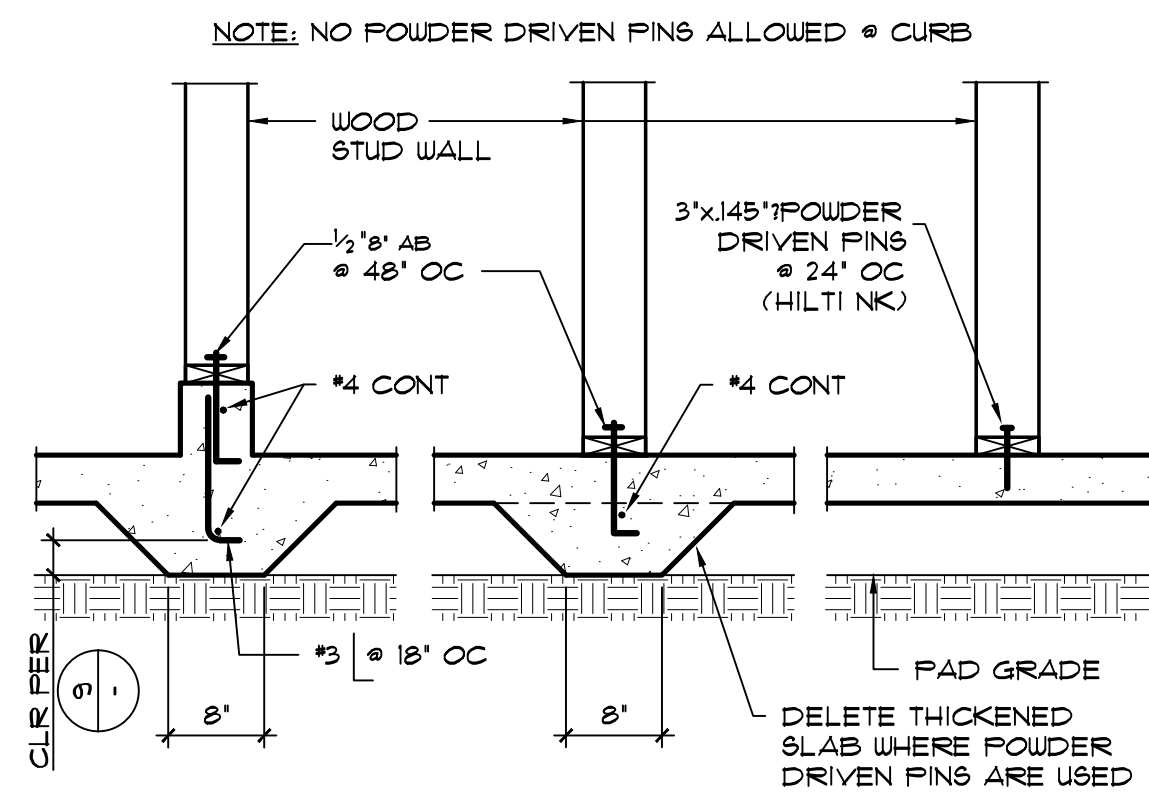
BOLT SIZE	PLATE WASHER ²	MALLEABLE WASHER	STD CUT WASHER
3/8"	2"x2"x3/16"	2 1/2"x1/4"	1 3/32"
1/2"	2"x2"x1/4"	2 1/2"x1/4"	1 3/8"x1/4"
5/8"	2 1/4"x2 1/4"x1/4"	2 3/4"x5/16"	1 3/4"
3/4"	2 1/2"x2 1/2"x5/16"	3"x7/16"	2"x5/32"
7/8"	3"x3"x5/16"	3 1/2"x7/16"	2 1/4"x1/4"
1"	3 1/2"x3 1/2"x3/8"	4"x1/2"	2 1/2"x1/4"
1 1/8"	3 1/2"x3 1/2"x1/2"	4 1/2"x1/2"	2 3/4"x1/4"

* SEE SW. SCHED FOR PLATES & SILL PLATES

6



(2) _____



8

TENANT IMPROVEMENT
75 PUEBLO ST DALY CITY, CA

REVISIONS

TSA
STRUCTURAL ENGINEERS

433 Airport Blvd, Ste 106E
Burlingame, Co 94010
Tel. (650) 620-9555
Fax (650) 373-2040
E-mail: tso@tsase.com

REGISTERED PROFESSIONAL ENGINEER
ANTOINETTE SAMRA
No. 3854
Exp. 3-30-19
STRUCTURAL ENGINEER
STATE OF CALIFORNIA

DATE: FEB 1, 2018

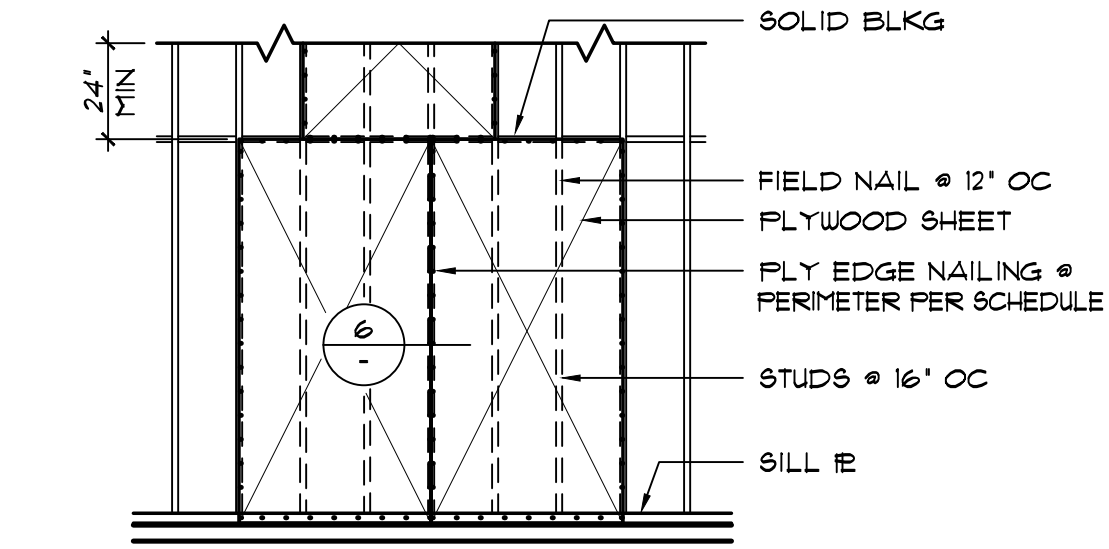
NOTES &
TYPICAL DETAIL

S0.2

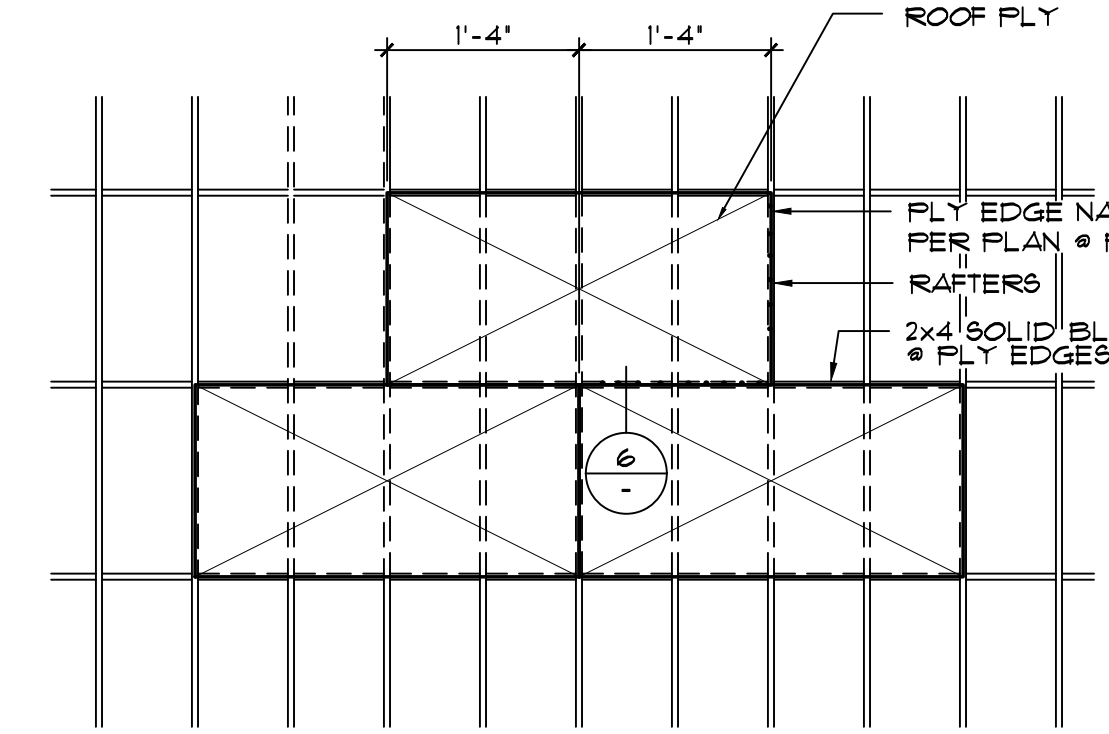
CONNECTION	FASTENING ¹⁸⁰	LOCATION
1. JOIST TO SILL OR GIRDER	3-8d COMMON (2 1/2" X Ø131") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2-8d COMMON (2 1/2" X Ø131") 2-3" X Ø131" NAILS 2- 3" 14 GAGE STAPLES	TOENAIL EACH END
3. 1'x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2 1/2" X Ø131")	FACE NAIL
4. WIDER THAN 1'x6" SUBFLOOR TO EA JOIST	3-8d COMMON (2 1/2" X Ø131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3 1/2" X Ø162")	BLIND & FACE NAIL
6. SOLE PLATE TO JOIST OR BLKG.	16d (3 1/2" X Ø135") @ 16" OC. 3" X Ø131" NAILS @ 8" OC. 3" 14 GAGE STAPLES @ 12" OC.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLKG. @ BRACED WALL PANEL	3"- 16d (3 1/2" X Ø135") @ 16" 4- 3" X Ø131" NAILS @ 16" 4- 3" 14 GAGE STAPLES PER 16'	BRACED WALL PANELS
7. TOP PLATE TO STUD	2-16d COMMON (3 1/2" X Ø162") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4-8d COMMON (2 1/2" X Ø131") 4-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	TOENAIL
	2-16d COMMON (3 1/2" X Ø162") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3 1/2" X Ø135") @ 16" 3" X Ø131" NAILS @ 12" OC. 3" 14 GAGE STAPLES @ 8" OC.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3 1/2" X Ø135") @ 16" OC. 3" X Ø131" NAILS @ 12" OC. 3" 14 GAGE STAPLES @ 12" OC.	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8-16d COMMON (3 1/2" X Ø162") 12-3" X Ø131" NAILS 12-3" 14 GAGE STAPLES	LAP SPLICE
11. BLOCKING BET. JOISTS OR RAFTERS TO TOP PLATE.	3-8d COMMON (2 1/2" X Ø131") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d (2 1/2" X Ø131") @ 6" OC. 3" X Ø131" NAIL @ 6" OC. 3" 14 GAGE STAPLE @ 6" OC.	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTION	2-16d COMMON (3 1/2" X Ø162") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3 1/2" X Ø162")	16" OC. ALONG EDGE
15. CEILING JOIST TO PLATE	3-8d COMMON (2 1/2" X Ø131") 5-3" X Ø131" NAILS 5- 3" 14 GAGE STAPLES	TOENAIL
16. CONTINUOUS HEADER TO STUD	4-8d COMMON (2 1/2" X Ø131")	TOENAIL
17. CEILING JOIST, LAPS OVER PARTITIONS	3-16d COMMON (3 1/2" X Ø162") MIN. TABLE 230Ø104J 4-3" X Ø131" NAILS 4- 3" 14 GAGE STAPLES	FACE NAIL
18. CEILING JOIST TO PARALLEL RAFTERS	3-16d COMMON (3 1/2" X Ø162") MIN. TABLE 230Ø104J 4-3" X Ø131" NAILS 4- 3" 14 GAGE STAPLES	FACE NAIL
19. RAFTER TO PLATE	3-8d COMMON (2 1/2" X Ø131") 3-3" X Ø131" NAILS 3- 3" 14 GAGE STAPLES	TOENAIL
20. BUILT-UP CORNER STUDS	16d COMMON (3 1/2" X Ø162") 3" X Ø131" NAILS 3" 14 GAGE STAPLES	24" OC. 16" OC. 16" OC.

- A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- B. NAILS SPACED AT 6" ON CENTER AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT SUPPORT WHERE SPANS ARE 48" OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD PARTITIONS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALLS SHEATING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- C. COMMON OR DEFORMED SHANK (6d-2" X Ø113"; 8d-2 1/2" X Ø131"; 10d-3" X Ø148")
- D. COMMON (6d-2" X Ø113"; 8d-2 1/2" X Ø131"; 10d-3" X Ø148")
- E. DEFORMED SHANK(6d- 2" X Ø113"; 8d-2 1/2" X Ø131"; 10d-3" X Ø148")
- F. CORROSION-RESISTANT SIDING (6d-1 7/8" X Ø106"; 8-d 2 3/8" X Ø128") OR CASING (6d-2" X ØØ99"; 8d-2 1/2" X Ø113") NAIL.
- G. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.
- H. CORROSION-RESISTANT ROOFING NAILS 1/16 INCH DIAMETER HEAD AND 1 1/2 INCH LENGTH FOR 1/2 INCH SHEATING AND 1 3/4 INCH LENGTH FOR 25/32 INCH SHEATING.
- I. CORROSION RESISTANT STAPLES WITH NOMINAL 1/16 INCH CROWN AND 1 1/8 INCH LENGTH FOR 1/2 INCH SHEATING AND 1 1/2 INCH LENGTH FOR 25/32 INCH SHEATING. PANEL SUPPORTS AT 16 INCHES (20 INCHES) IF STRENGTH AXIS IS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED)
- J. CASING (1 1/2" X ØØ8Ø") OR FINISH (1 1/2" X ØØ12") NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- K. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- L. FOR ROOF SHEATING APPLICATIONS, 8d NAILS (2 1/2" X Ø113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- M. STAPLES SHALL HAVE MINIMUM CROWN WIDTH OF 1/16 INCH.
- N. FOR ROOF SHEATING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- O. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATING AND 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATING
- P. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.

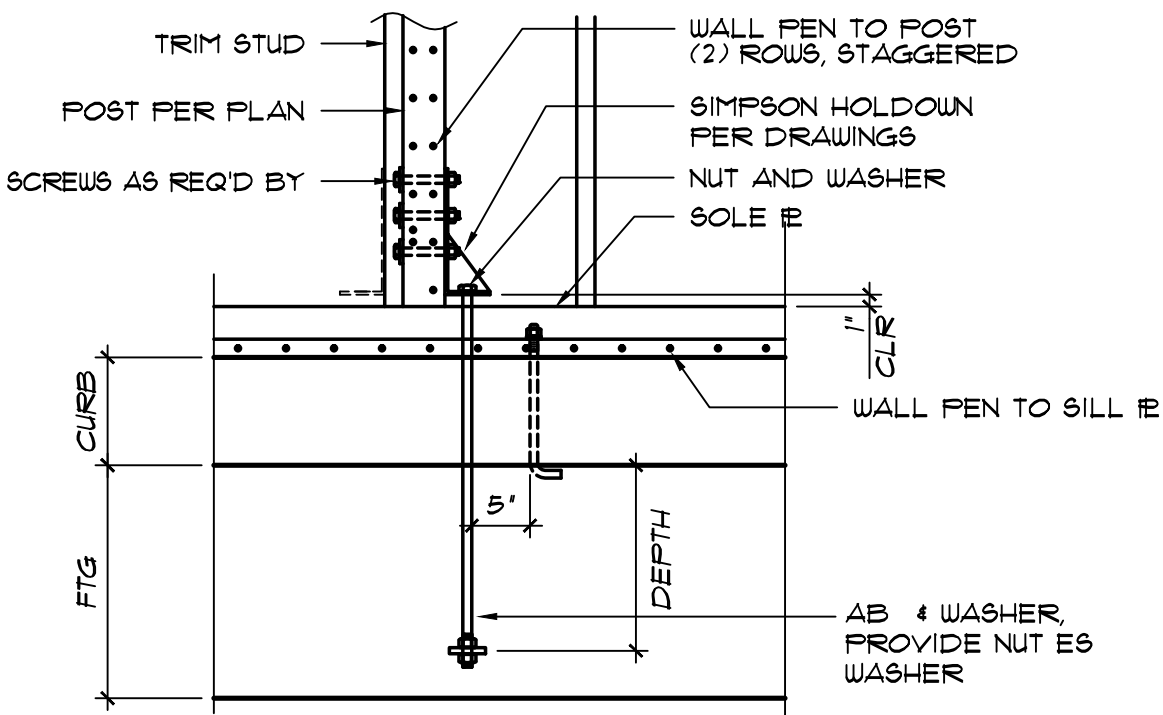
14 MINIMUM NAILING SCHEDULE



8 SHEARWALL PLYWOOD NAILING ELEVATION

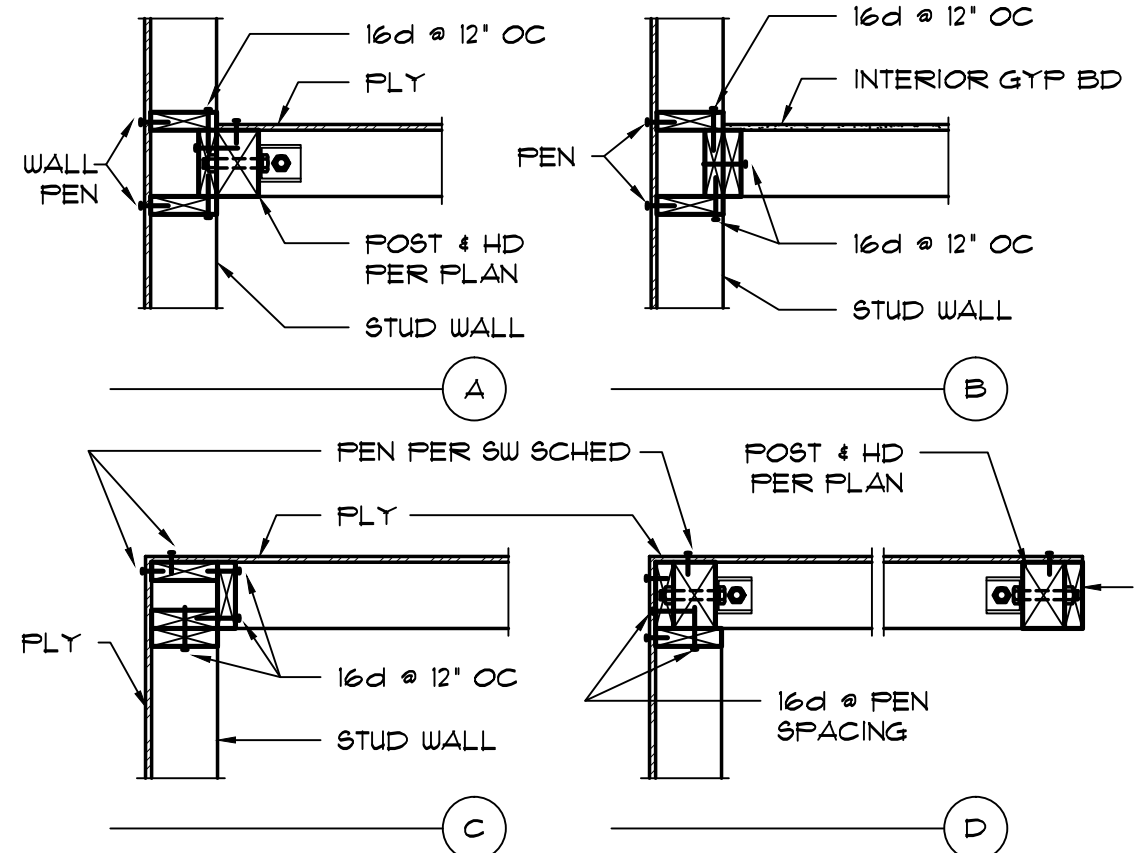


9 ROOF PLYWOOD NAILING PLAN

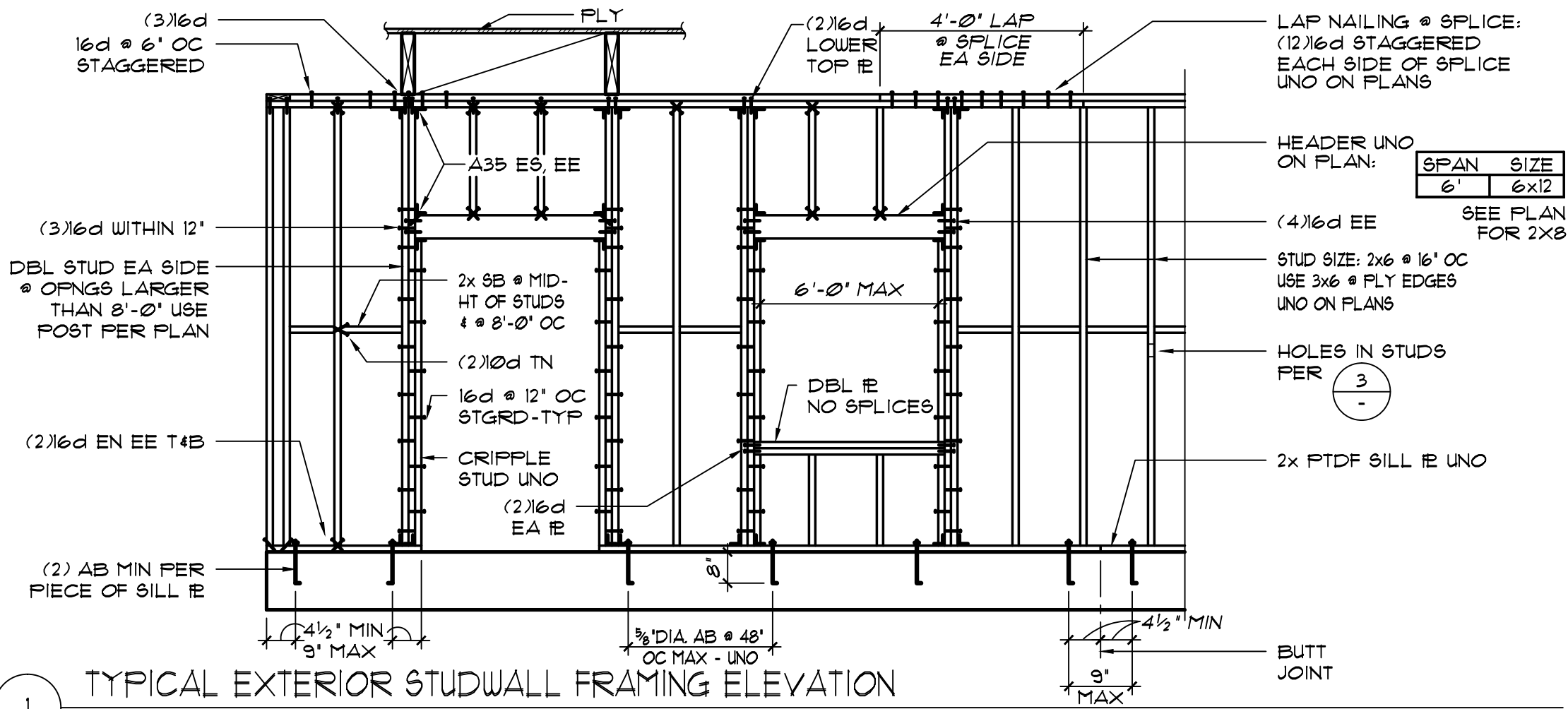


HOLDOWN	ANCHOR BOLT W/ THREADED END	WASHER	DEPTH
HDU5	5/8"	1/2X 2" SQ	12"
HDU8	7/8"	1/2X 2" SQ	12"
HDU14	1" "	1/2X 3" SQ	14"

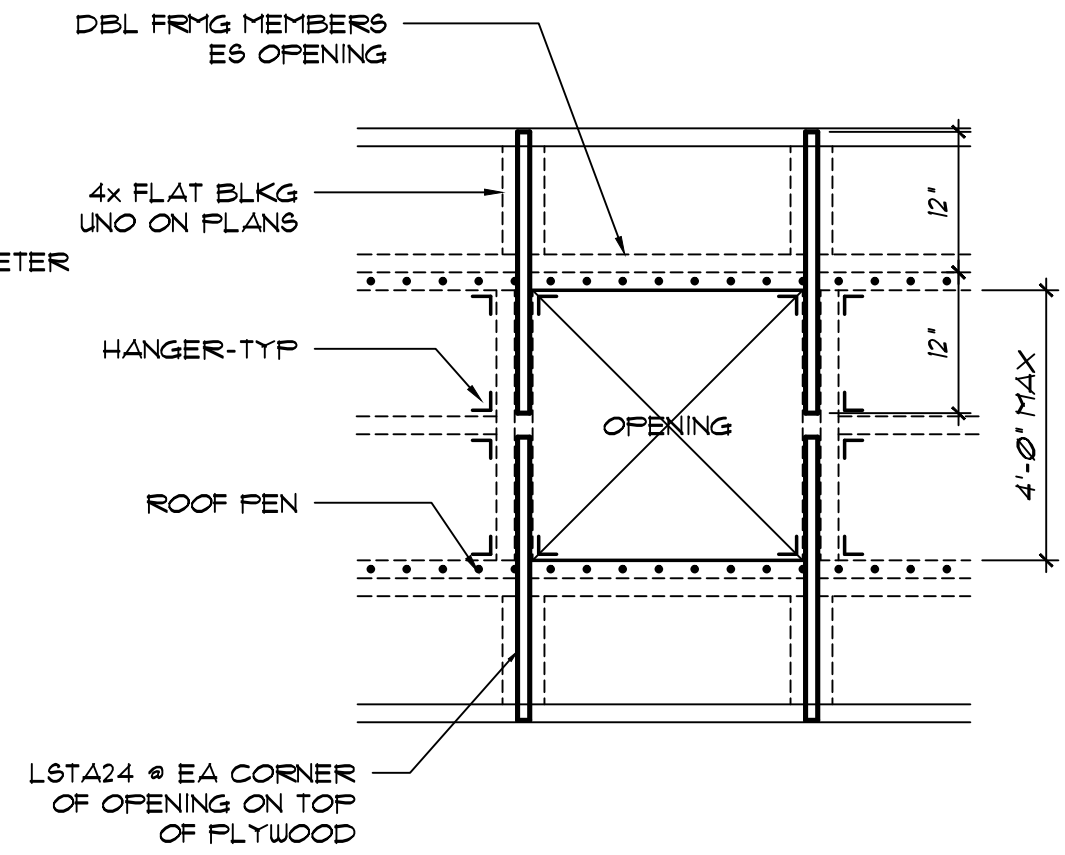
10 HOLDOWN - ELEV.



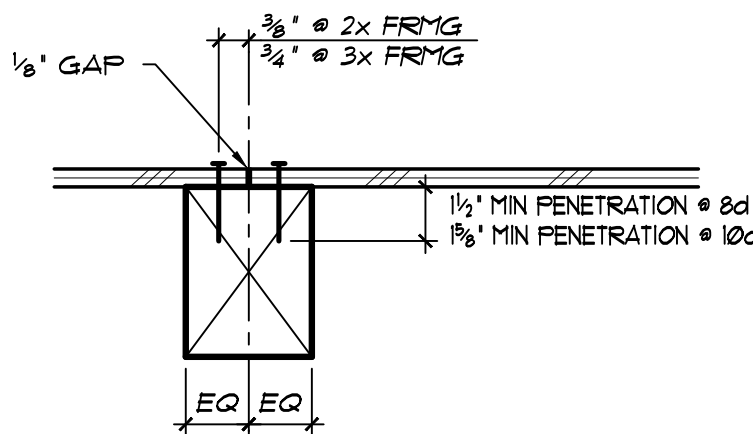
11 PLAN VIEW OF STUD WALL



1 TYPICAL EXTERIOR STUDWALL FRAMING ELEVATION

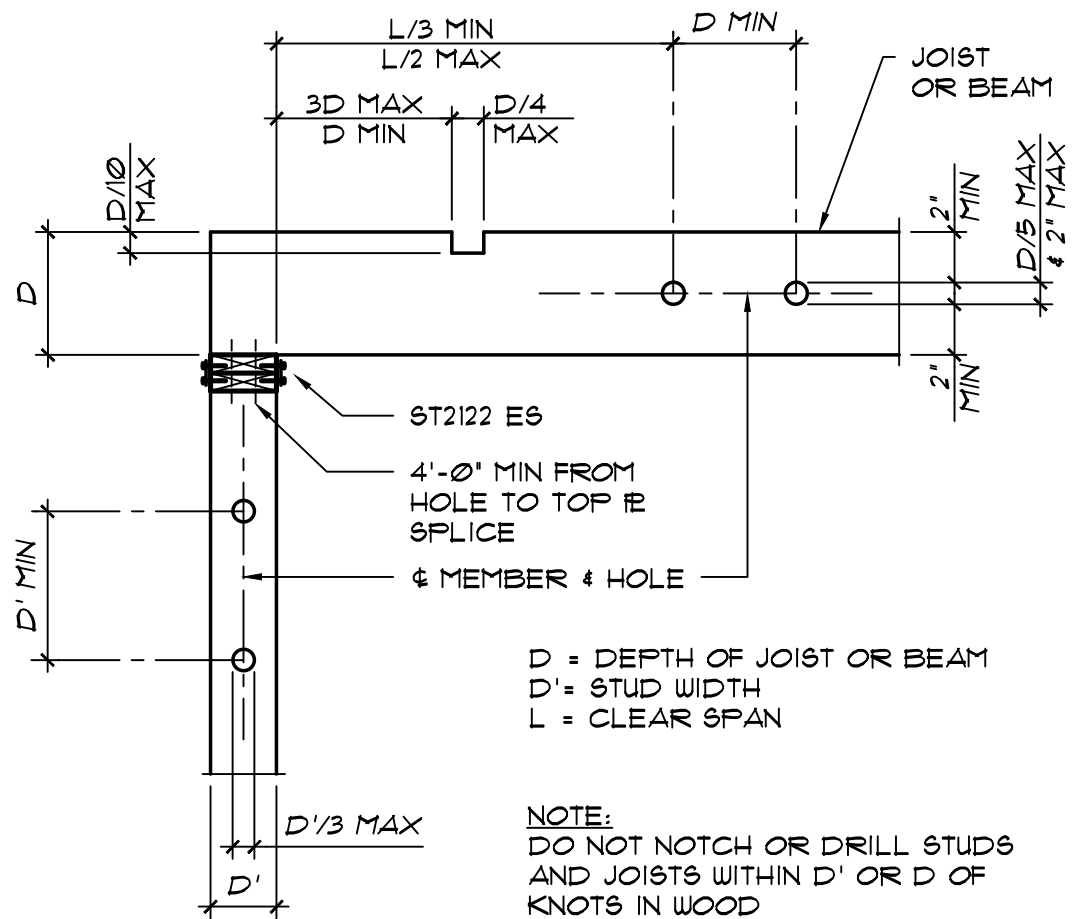


5 OPENING IN ROOF - PLAN

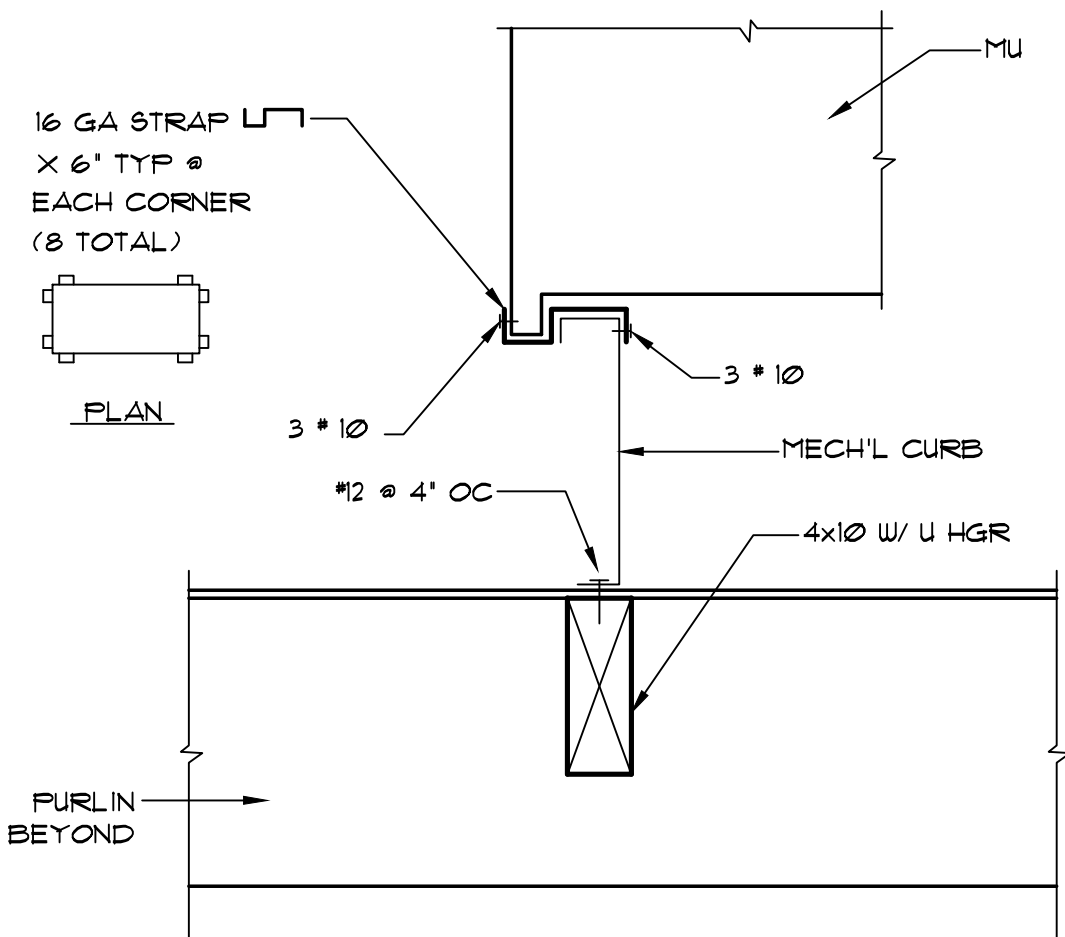


NOTE:
PLYWOOD SHEETS ARE 4'x8'
EDGE NAIL PER PLAN; FIELD NAIL
@ 12" OC. NAIL HEADS SHALL BE
HAND DRIVEN FLUSH WITH PLYWOOD.
MINIMUM PLYWOOD SIZE IS 24" WIDEX
48" LONG

6 PLYWOOD NAILING



3 HOLES & NOTCHES IN WOOD STUDS, JOISTS, BEAMS & PLATES

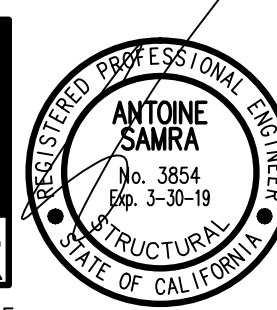


4 SECTION @ MU

TENANT IMPROVEMENT
75 PUEBLO ST DALY CITY, CA

REVISIONS

TSA
STRUCTURAL
ENGINEERS

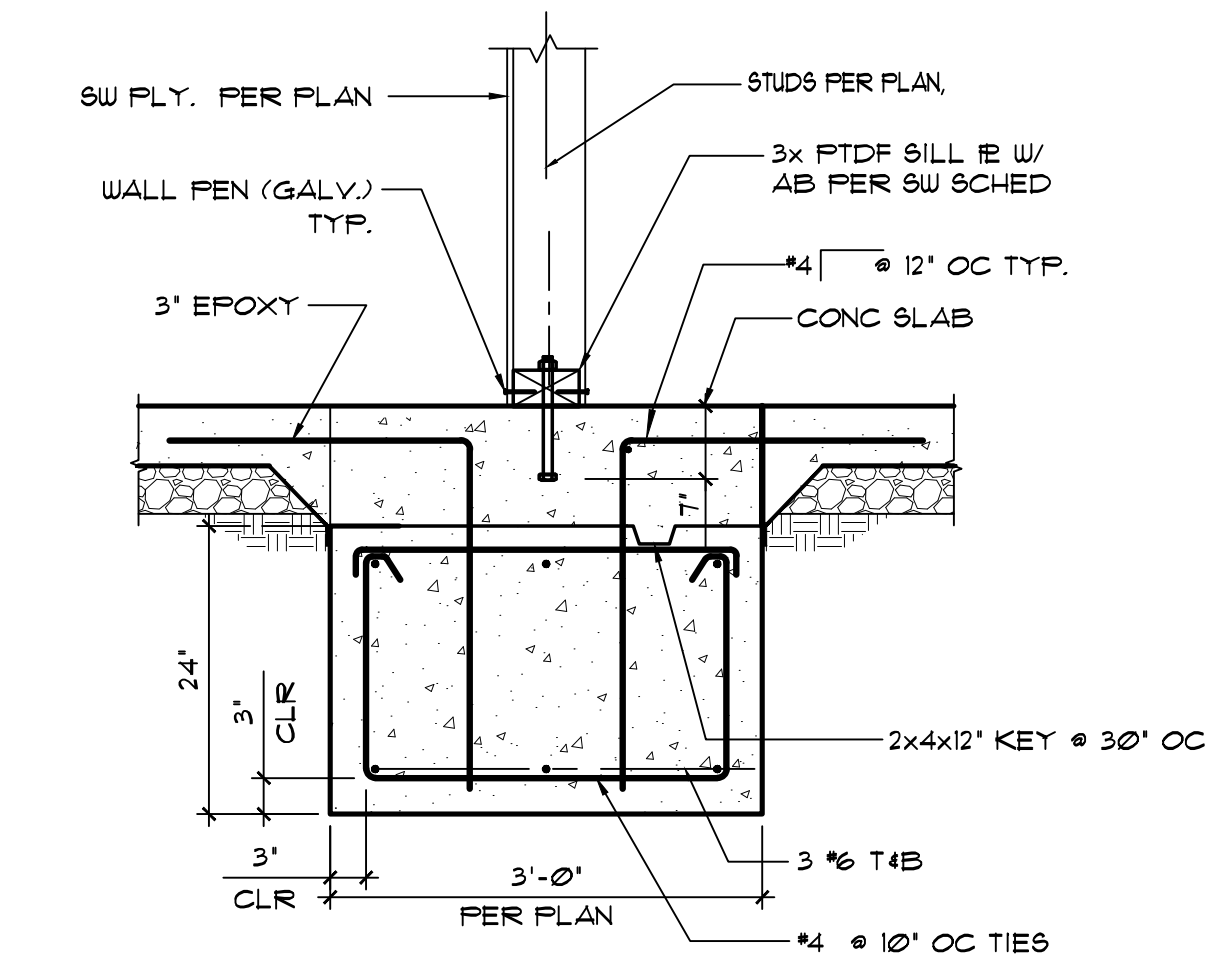
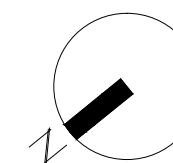


433 Airport Blvd, Ste 106E
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E-mail: tso@tsase.com

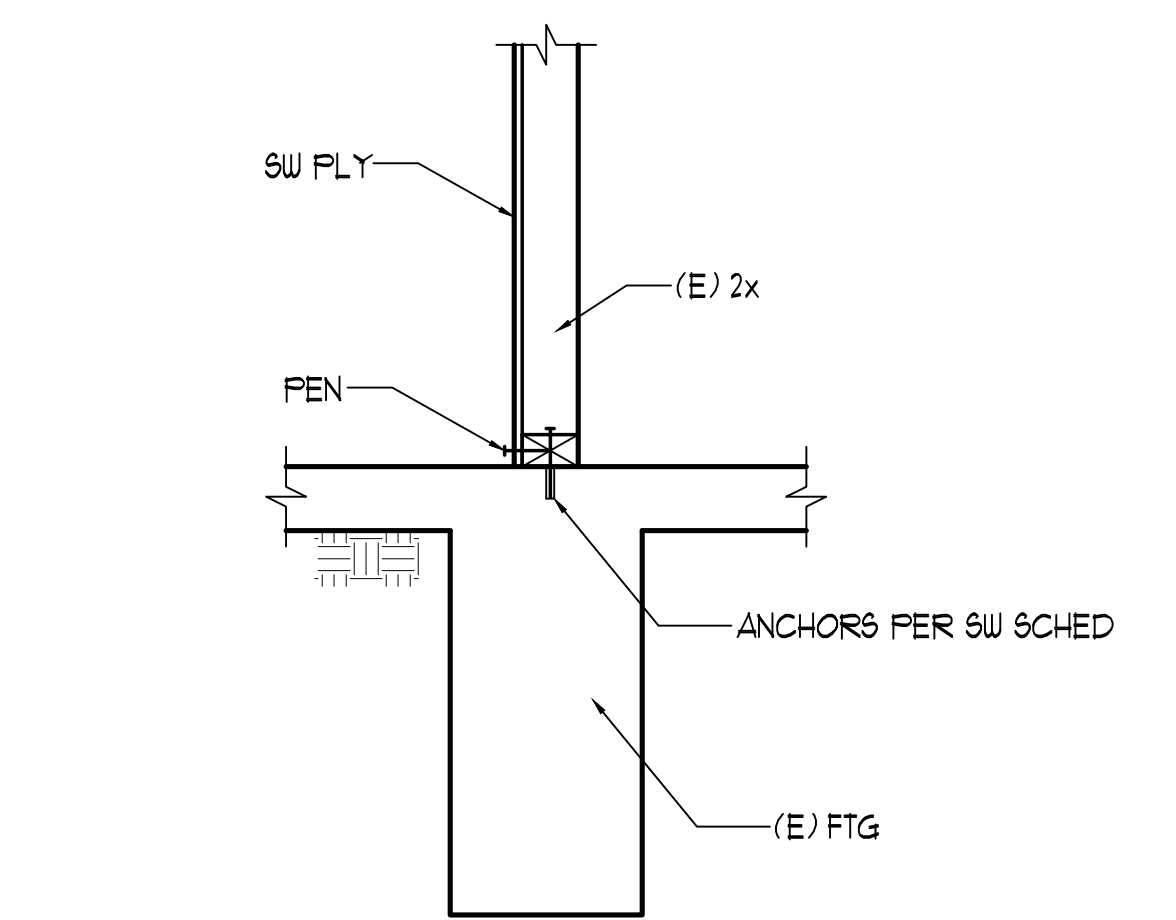
DATE: FEB 1, 2018

TYPICAL DETAIL

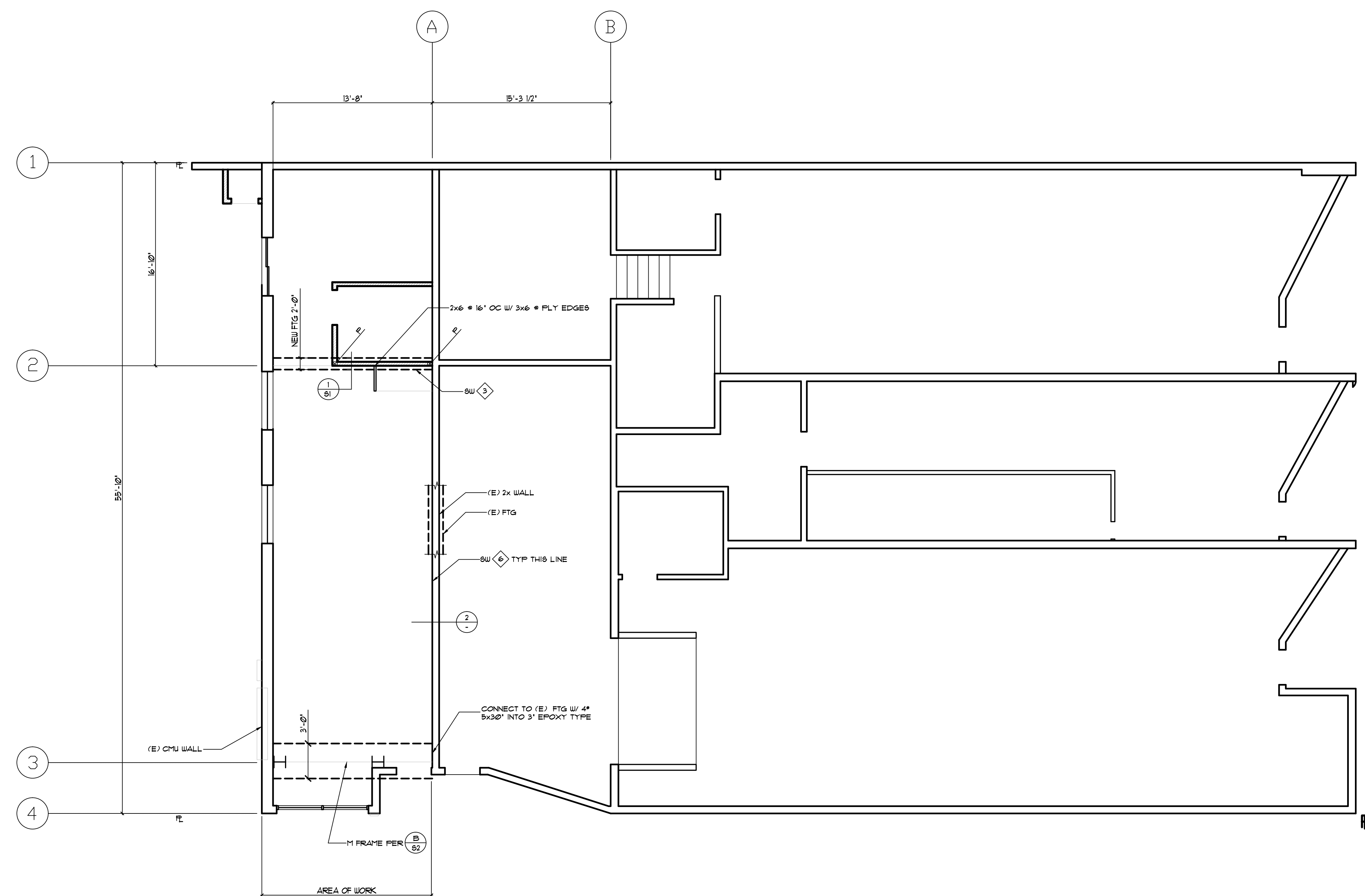
S0.3



1
S1



2



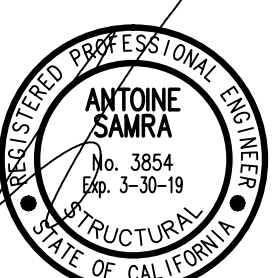
P: 4x6 w/ HDU @ EACH END SEE 10/503
SW 6 SEE S01 FOR SCHED
SEE 0/503

A FIRST FLOOR FOUNDATION PLAN
S1 1/4" = 1'-0"

TENANT IMPROVEMENT
75 PUEBLO ST DALY CITY, CA

REVISIONS

TSA
STRUCTURAL
ENGINEERS

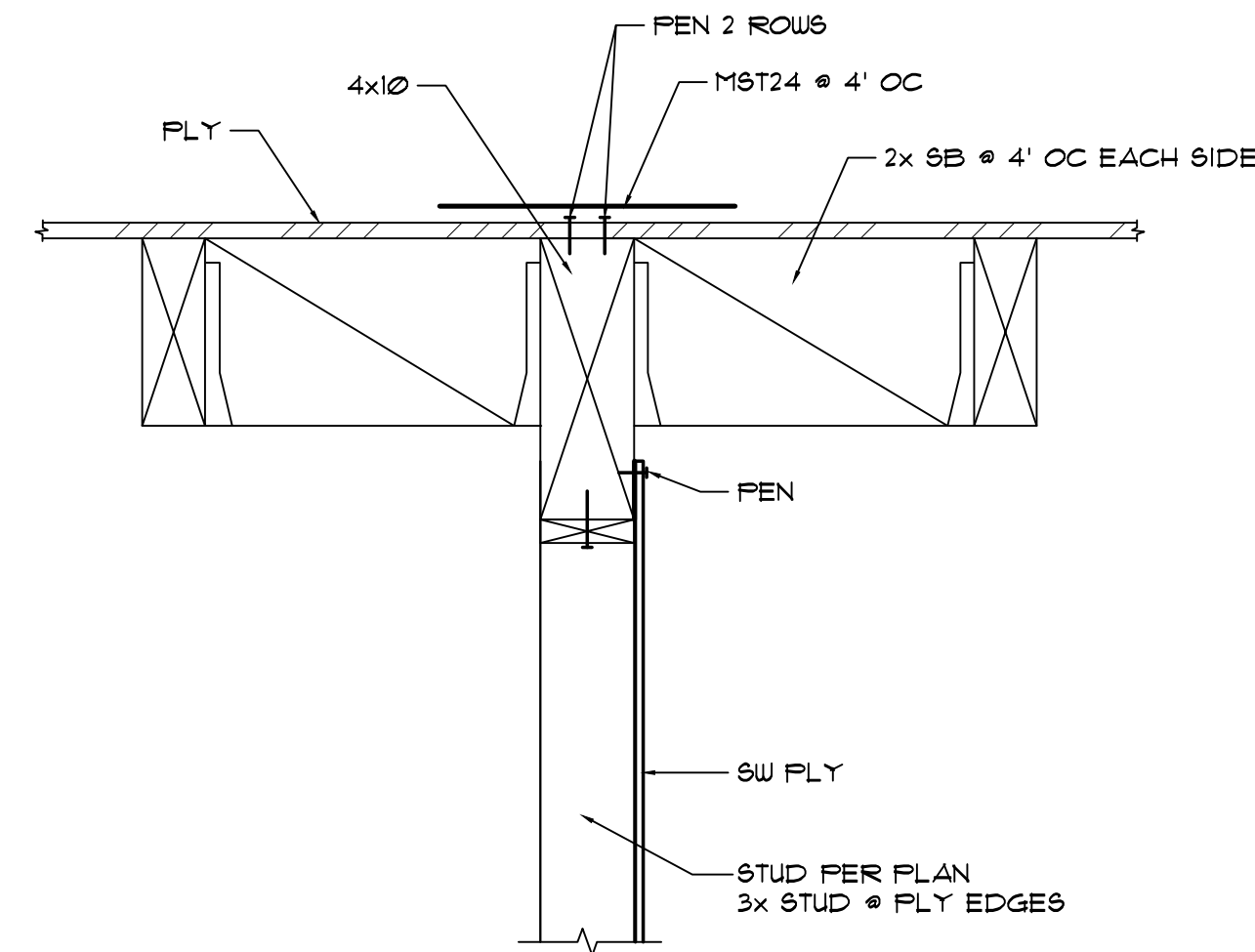
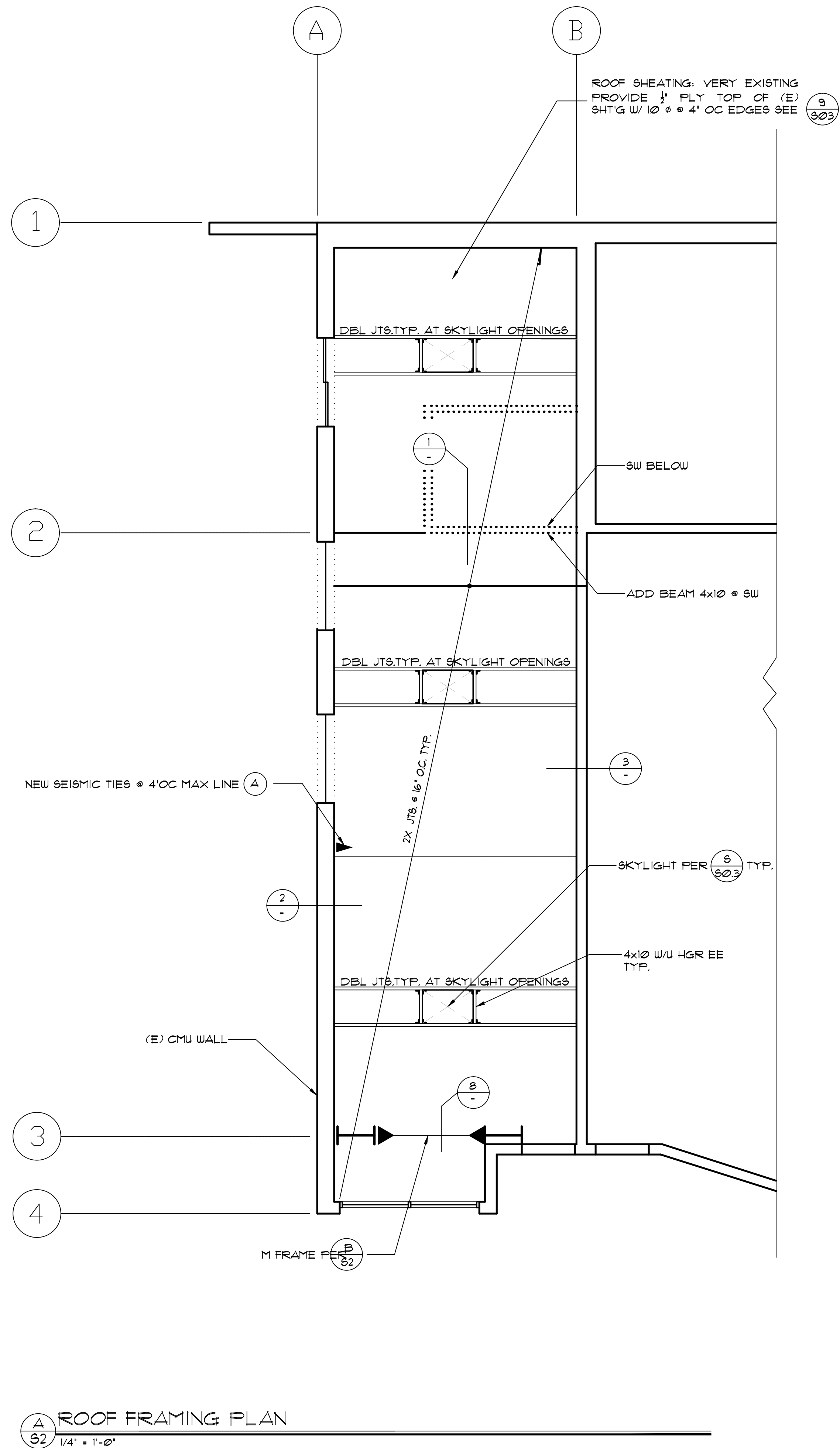


433 Airport Blvd, Ste 106E
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Tel: (650) 620-3555
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E-mail: tso@tsase.com

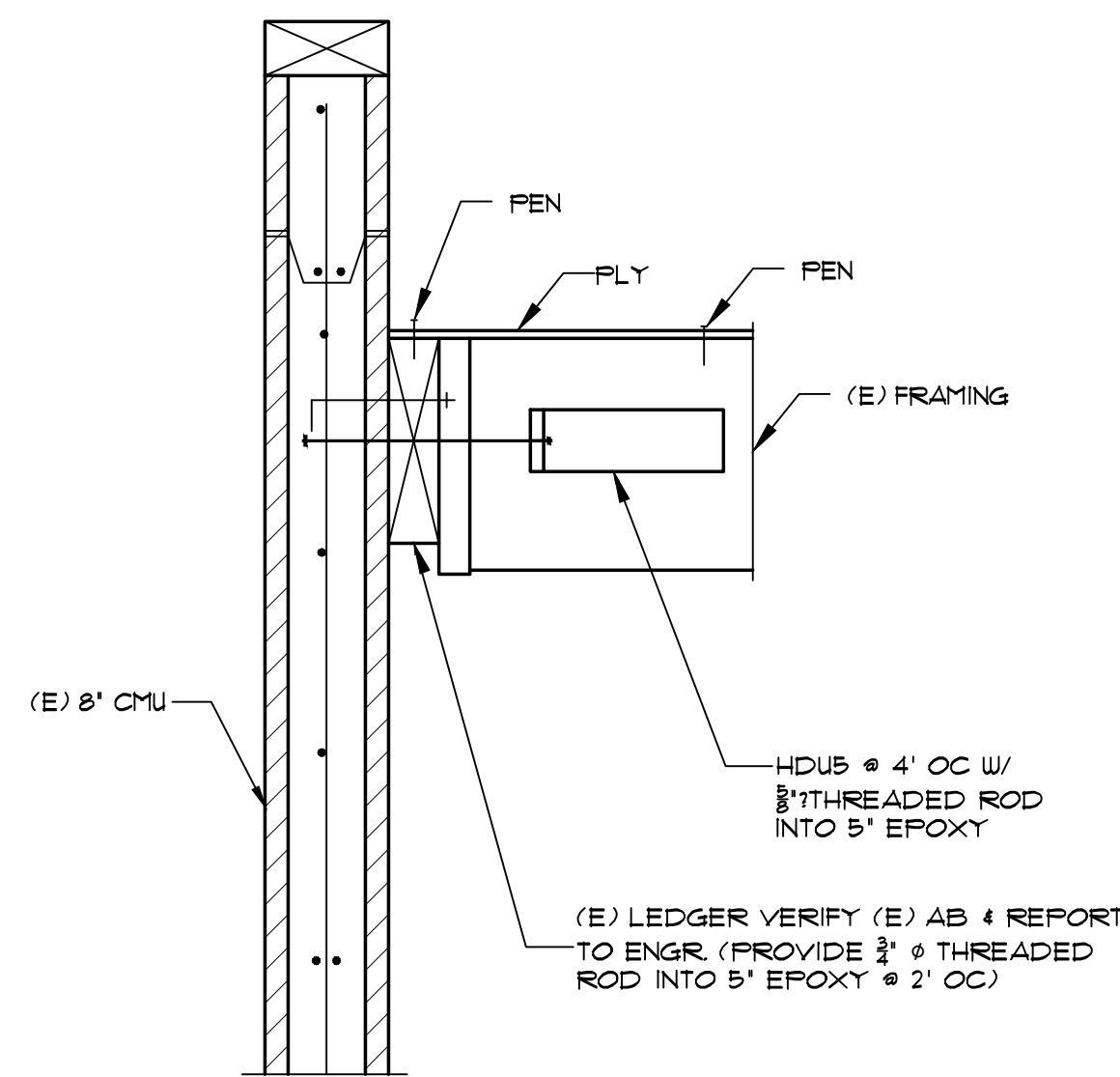
DATE: FEB 1, 2018

FOUNDATION
PLAN AND DETAILS

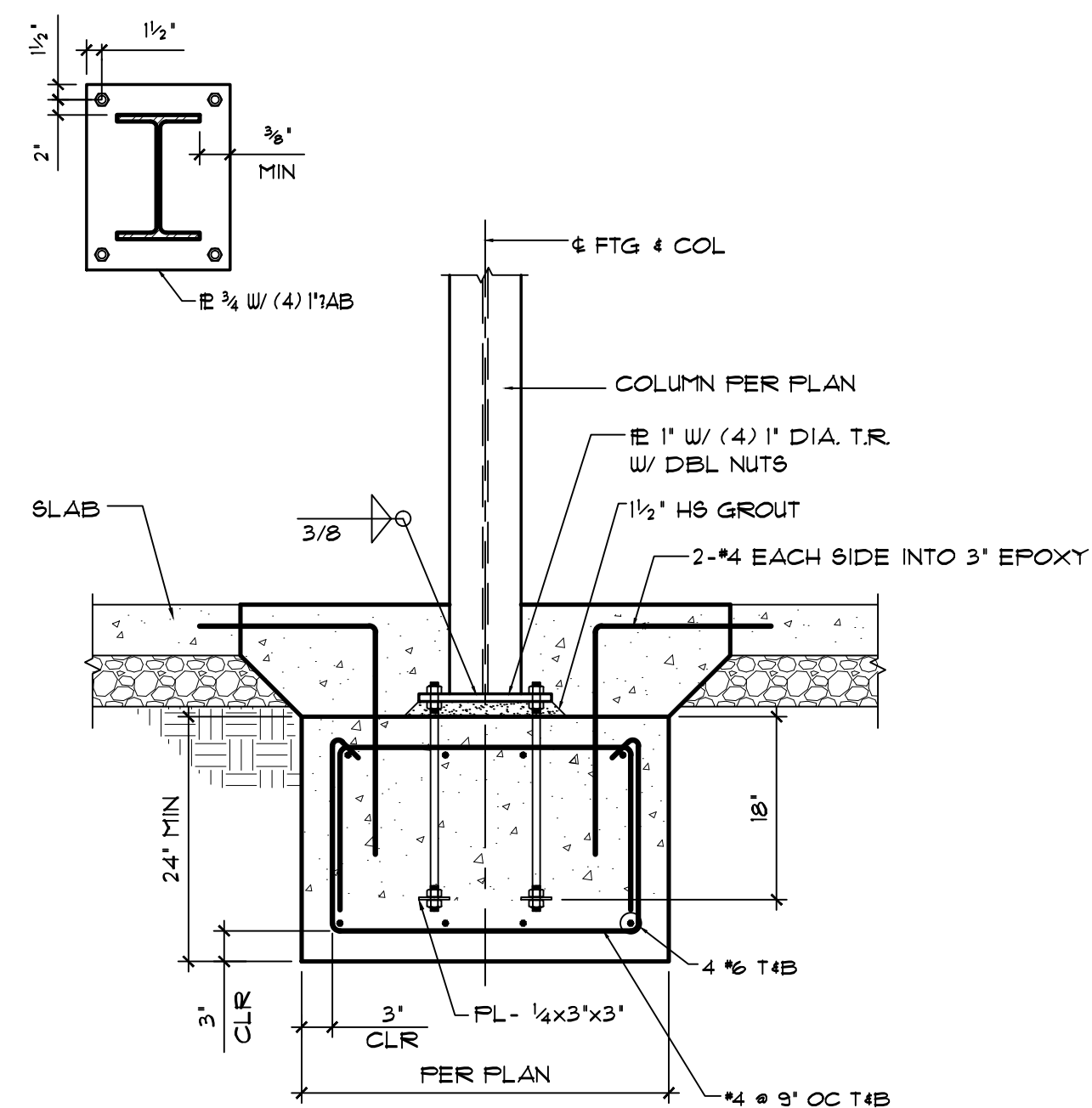
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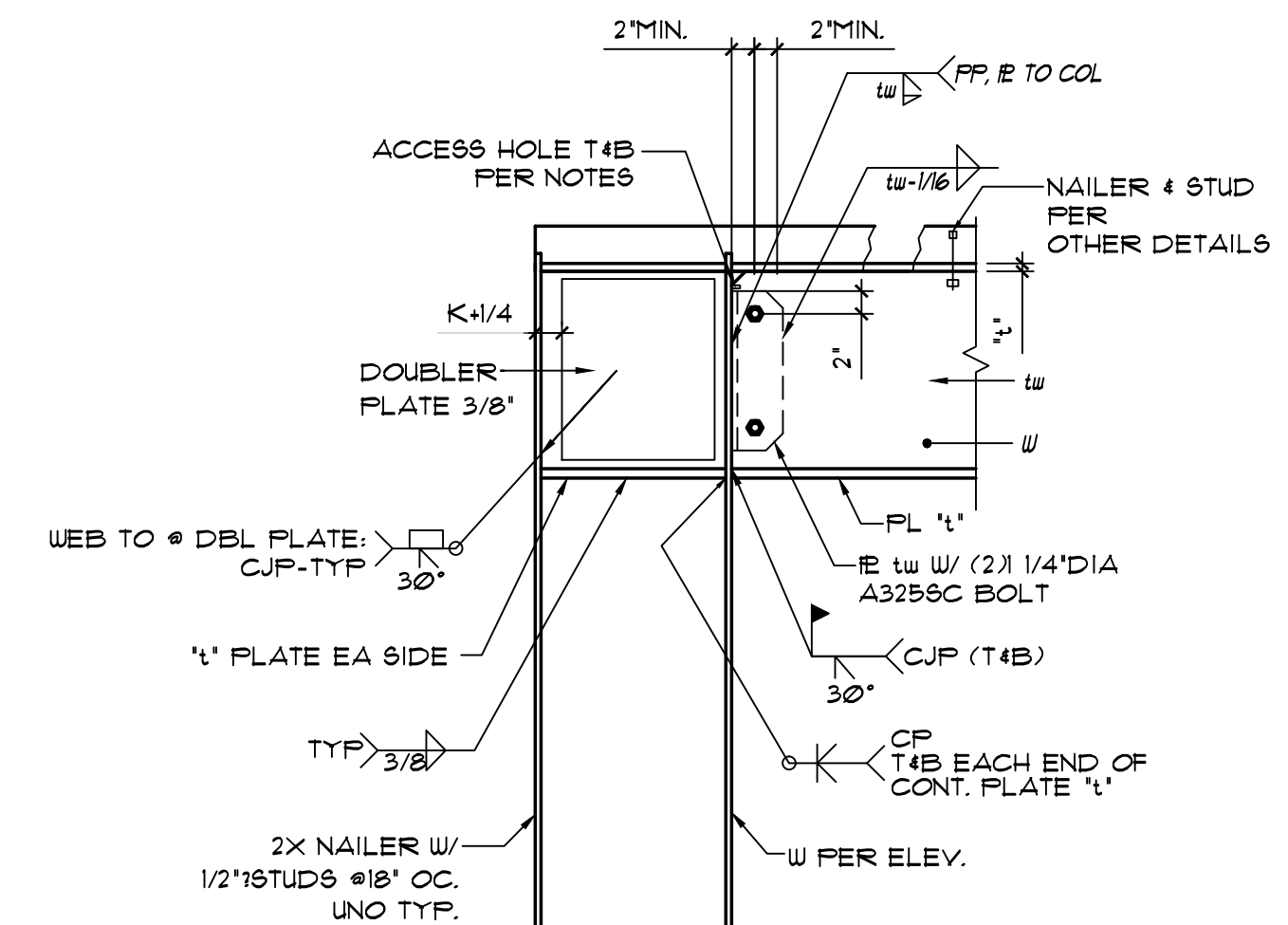
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S2 1' = 1'-0"



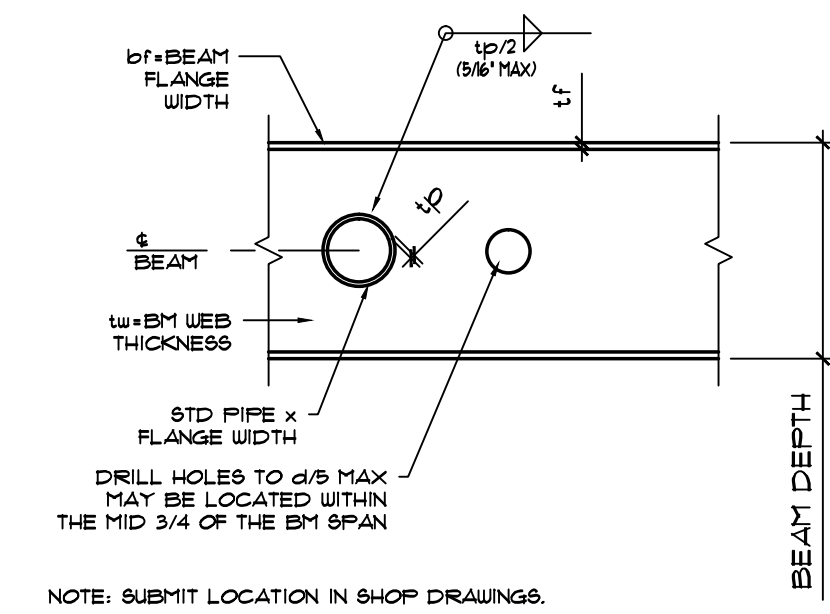
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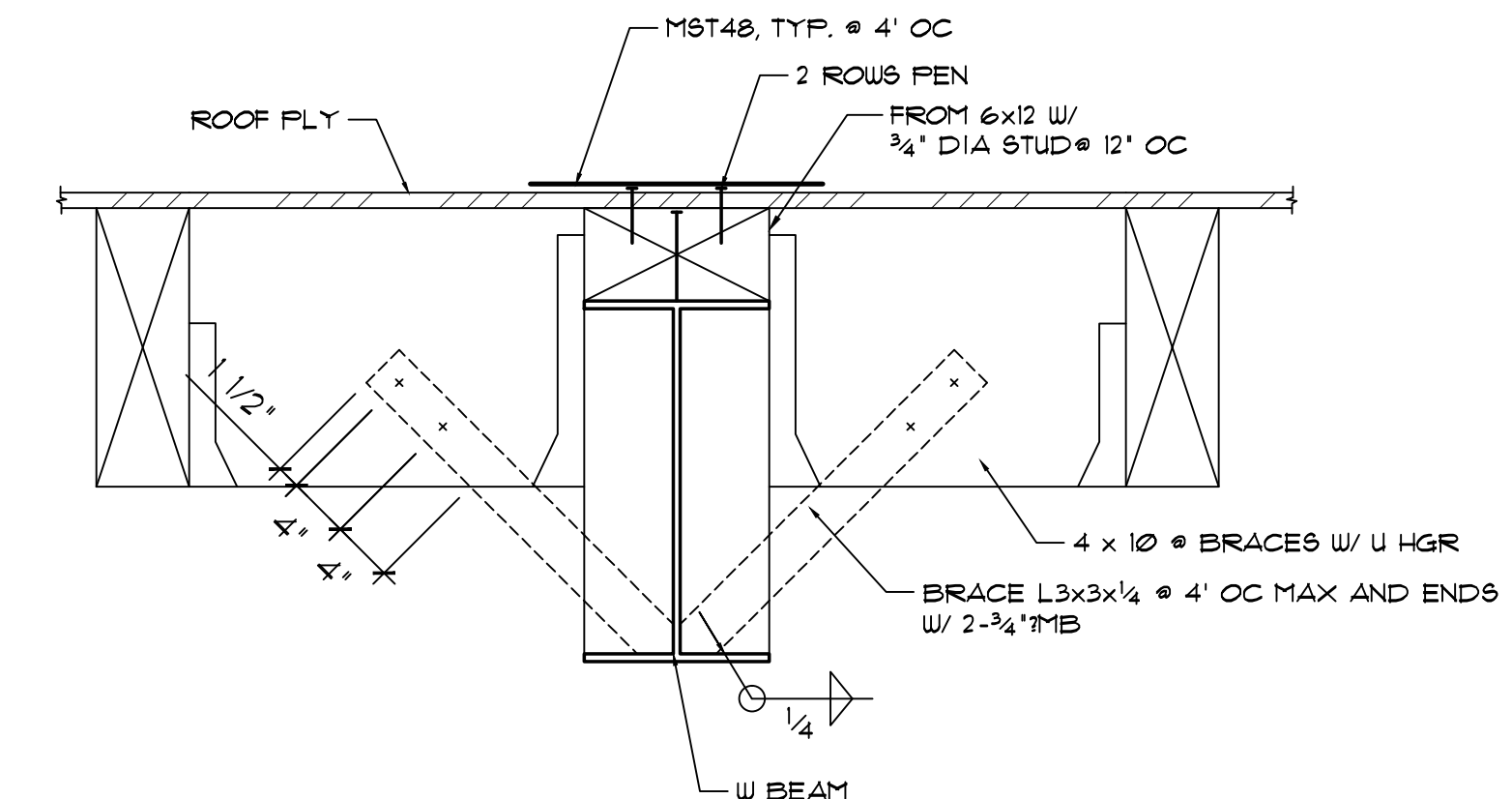
3 SECTION
S2 3/4\"/>



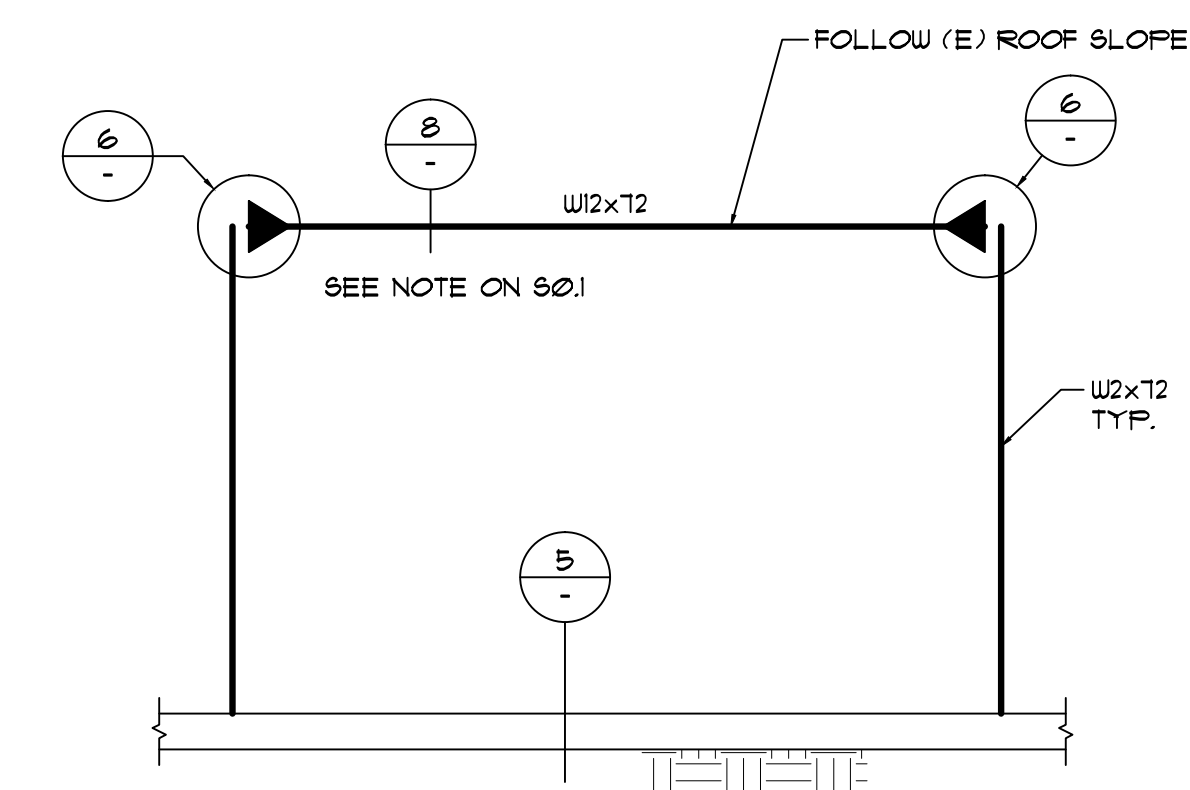
6 ELEV
S2 3/4\"/>



7 ELEV
S2 3/4\"/>



8 SECTION
S2 1' = 1'-0"



9 MOMENT FRAME ELEV
S2 3/8\"/>

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75 PUEBLO ST DALY CITY, CA

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Fax: (650) 373-2040
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DATE: FEB 1, 2018

FRAMING PLAN
DETAILS

S2

SHATARA
ARCHITECTURE
INC.

890 7TH ST.
SAN FRANCISCO
CA 94107

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suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.
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PROJECT
TENANT IMPROVEMENT

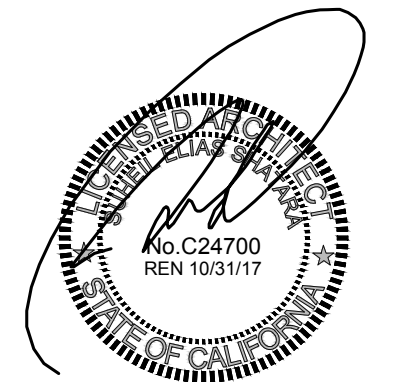
ADDRESS
75 PUEBLO ST
SAN FRANCISCO, CA
PARCEL ID: 005063130

PROJECT DIRECTORY
ARCHITECT

890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566

CONTACT: SUHEL SHATARA

BUILDING	11.02.2016
BUILDING	12.02.2016
BUILDING	01.22.2016
1 REV	02.15.2017
2 REV	05.23.2017
3 REV	08.25.2017



SHEET DESCRIPTION
MECHANICAL-
PLUMBING
FLOOR PLANS

M-1

MECHANICAL NOTES:

1- PROVIDE HEATING LOAD CALCULATIONS AND SIZE HEATING SYSTEM ACCORDING TO THE MECHANICAL CODE. PROVIDE A KEYED NOTE ON THE PLAN VIEW THAT SHOWS THE MAXIMUM BTU OUTPUT OF THE FURNACE BASED ON THE CALCULATIONS. DEFERRED SUBMITTALS ARE NOT ALLOWED. USE ACCA MANUAL D FOR DUCT SYSTEMS, ACCA MANUAL J FOR LOAD CALCULATIONS AND ACCA MANUAL S FOR EQUIPMENT SIZING.
ALTERNATELY, USE ENERGYPRO SOFTWARE SIZING CALCULATIONS FOR HEATING SYSTEMS FROM THE PERFORMANCE CF1 R DOCUMENTS (CMC 601. 2, 1701.1 AND REFERENCED STANDARDS TABLE 17-1).

2- PROVIDE SERVICE AND ACCESS FOR EQUIPMENT AND APPLIANCES. PROVIDE MINIMUM 30-INCHES IN DEPTH, WIDTH, AND HEIGHT OF WORKING SPACE REQUIRED FOR SERVICE OF EQUIPMENT (FOR FURNACE & WATER HEATER) PER CMC 304. 1 & CPC 504.3. 1.
COMBUSTION AIR REQUIREMENTS

3- PROVIDE CALCULATIONS FOR COMBUSTION AIR SUPPLY FOR GAS FUEL BURNING FURNACES AND WATER HEATERS BASED ON THE BTU RATINGS OF EACH APPLIANCE PER CMC 701. 1. INCLUDE DETAIL GRAPHICS THAT SHOW THE DUCT SIZES, INTAKE LOCATION, AND INTERIOR VERTICAL LOCATIONS OF THE COMBUSTION AIR DUCTS. NOTE: IF COMBUSTION AIR IS TO BE TAKEN FROM INTERIOR SPACE, PROVIDE DOORS TO UTILITY ROOM WITH PROPERLY SIZED OPENINGS. IF COMBUSTION AIR IS TO BE TAKEN FROM THE EXTERIOR, PROVIDE A LISTED, GASKETED DOOR ASSEMBLY WITH A THRESHOLD AND BOTTOM DOOR SEAL AND A LISTED, SELF-CLOSING DEVICE (CMC 701. 1 - 9).

4- USE ONE OF THE FOLLOWING METHODS TO PROVIDE COMBUSTION AIR FOR THE FURNACE, WATER HEATER OR OTHER GAS BURNING APPLIANCE (CMC 701.2-4):

- IF INDOOR COMBUSTION AIR IS TAKEN FROM ROOMS DIRECTLY COMMUNICATING WITH THE APPLIANCE ON THE SAME STORY, USE:
 - 50 CU FT PER EACH 1000 BTU OF THE APPLIANCE RATING.
 - OPENING SIZE = 1 SQ IN PER EACH 1000 BTU.
 - MINIMUM OPENING SIZE = 100 SQ IN (AT LEAST 3 INCHES IN DIMENSION).
 - OPENING SIZE SHALL NOT BE LESS THAN THE SIZE OF COMBINED VENT CONNECTORS.
 - OPENING SHALL BE LOCATED WITHIN THE 12 INCHES OF THE TOP
 - DUCTS MAY BE HORIZONTAL OR VERTICAL
 - 2 OPENINGS REQ'D - ONE WITHIN 12 INCHES OF THE TOP OF THE ENCLOSURE AND ONE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE.
- IF INDOOR COMBUSTION AIR IS TAKEN FROM ROOMS DIRECTLY COMMUNICATING WITH THE APPLIANCE ON DIFFERENT STORIES, USE:
 - SAME AS ABOVE EXCEPT OPENING SIZE OF 2 SQ IN PER EACH 1000 BTU.
- IF COMBUSTION AIR IS TAKEN FROM OUTDOORS OR TAKEN FROM ATTIC OR CRAWL SPACE DIRECTLY CONNECTED TO OUTDOORS, USE ONE OF THE FOLLOWING METHODS:
 - TAKEN FROM OUTDOORS THROUGH VERTICAL DUCTS:
 - OPENING SIZE = 1 SQ IN PER EACH 4000 BTU.
 - 2 OPENINGS REQ'D - ONE WITHIN 12 INCHES OF THE TOP OF THE ENCLOSURE AND ONE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE
 - TAKEN FROM OUTDOORS THROUGH HORIZONTAL DUCTS:
 - OPENING SIZE = 1 SQ IN PER EACH 2000 BTU.
 - 2 OPENINGS REQ'D - ONE WITHIN 12 INCHES OF THE TOP OF THE ENCLOSURE AND ONE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE.
 - TWO PERMANENT OPENINGS METHOD TO OUTDOORS (100 SQUARE INCHES EACH).

ENVIRONMENTAL AIR EXHAUST REQUIREMENTS

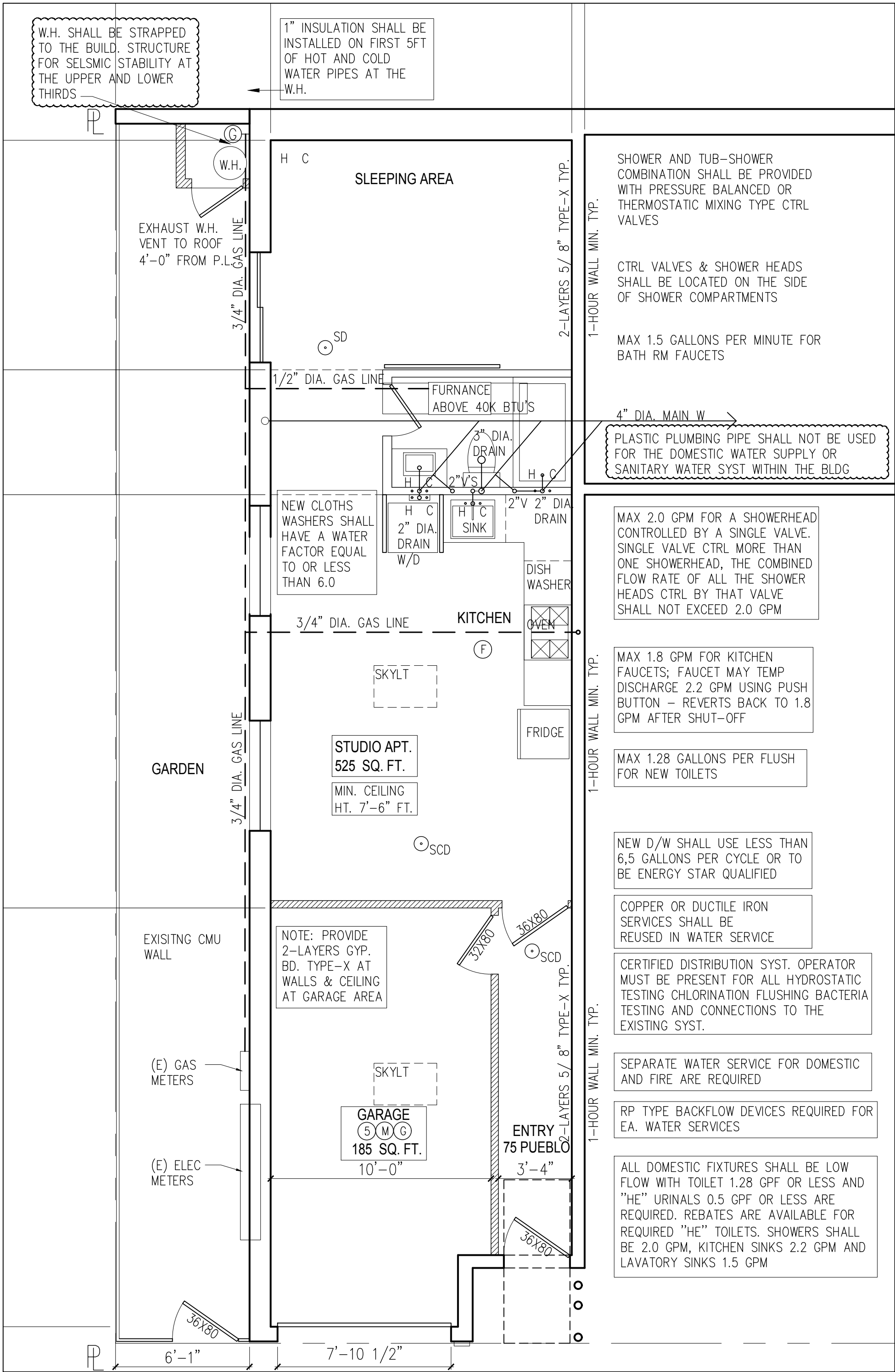
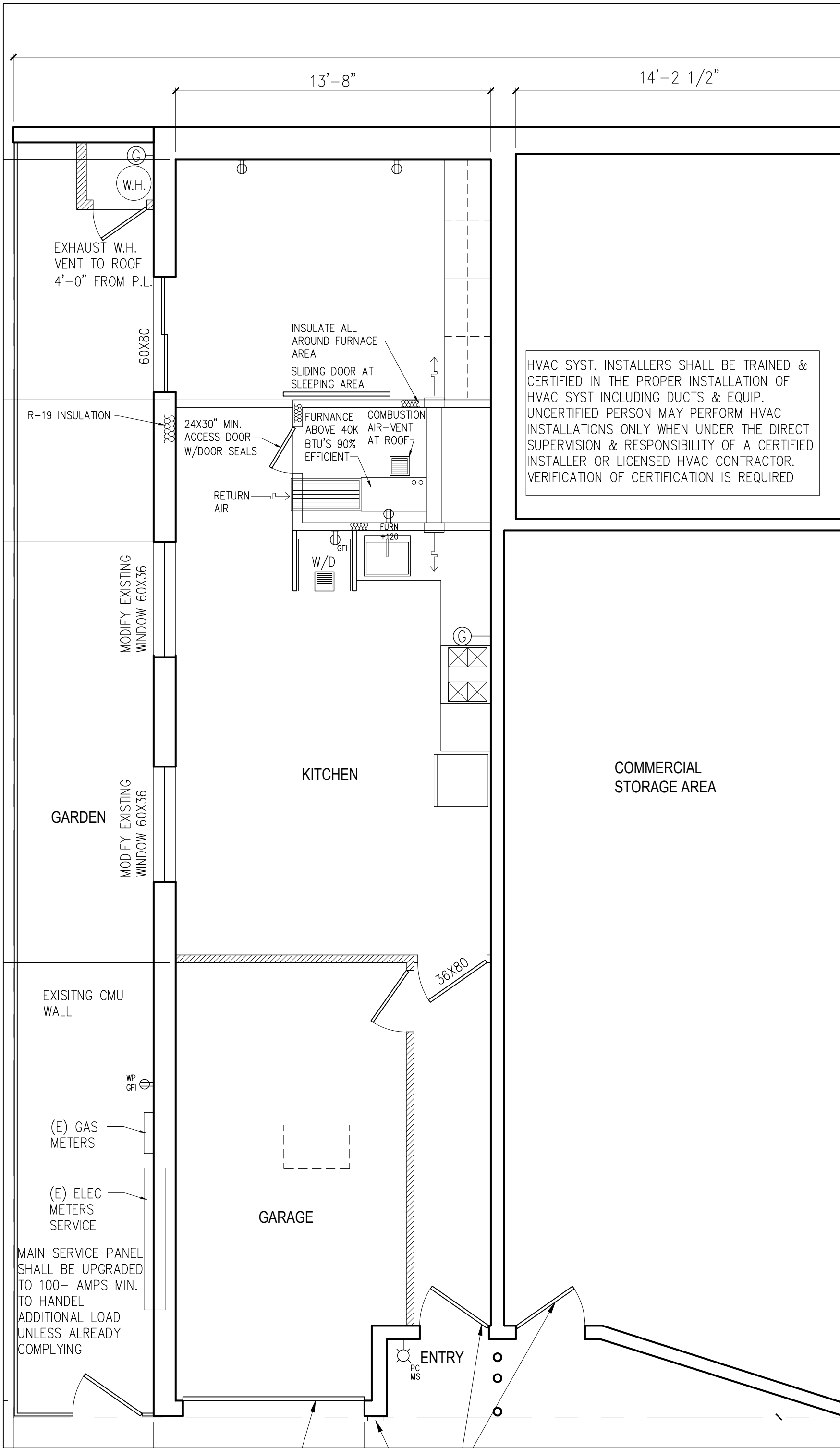
5- PROVIDE DETAIL GRAPHICS THAT SHOWS AN EXHAUST DUCT FOR THE CLOTHES DRYER. INDICATE THE POINT OF DISCHARGE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE (CMC 504.3 & 504.5).

6- PROVIDE DETAIL GRAPHIC CROSS SECTION WITH DIMENSION THAT SHOWS THE BOTTOM ENCLOSURE OF HEATING DUCTS SHALL BE AT LEAST 7 FEET 0 INCHES FROM FINISHED FLOOR (CBC 1208.2).
VENTILATION REQUIREMENTS

7- PROVIDE DETAIL GRAPHIC THAT SHOWS A VENTILATION FAN SHALL BE INSTALLED FOR EACH NEW OR REMODELED BATHROOM. INDICATE THE POINT OF DISCHARGE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE (CBC 1203.4.2.1 & CMC).

8- PROVIDE DETAIL GRAPHIC THAT SHOWS A 26 GAUGE RIGID DUCTED RANGE HOOD SHALL BE INSTALLED FOR THE KITCHEN. INDICATE THE POINT OF DISCHARGE OUTSIDE OF THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE (CBC 1203.4.2.1 & CMC).

9- SHOW ON THE PLAN AT EACH FLOOR LEVEL THE LOCATION OF THE RETURN AIR.



HEATING LOAD CALCULATION

75 Pueblo St., Daly City, CA
Project Address:

3-28-2017
Date

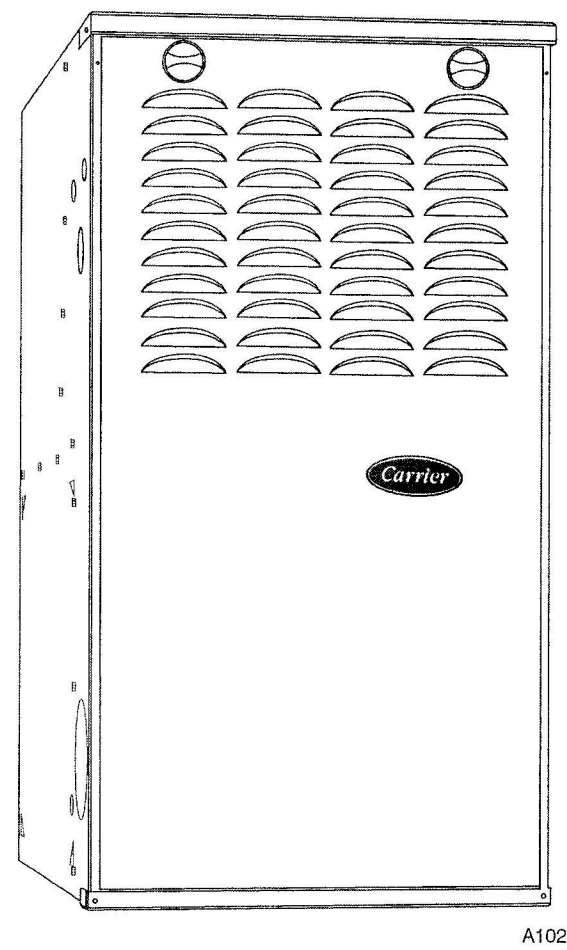
Zone / Room	NEW APT.	Area	525 SF	Volume	5250 CF
WALL	65 x 10 =	650			
GLASS	= 63 x 0.32 x 36 =	726			
NET WALL	= 587 x 0.065 x 36 =	1376			
ROOF	= 525				
SKYLIGHT	= 11 x 0.32 x 36 =	127			
NET ROOF	= 514 x 0.034 x 36 =	648			
FOUNDATION WALL	= 65 x 0.81 x 36 =	1895			
INFILTRATION	0.9 x 5250 =	3086			
FLOOR SUB-TOTAL:					7858 BTU/HR
WARM-UP (30%):					2357 BTU/HR
TOTAL HEATING LOAD (OUTPUT):					10,215 BTU/HR

NEW GAS FURNACE SHALL BE CARRIER 4-WAY MULTIPOISE INDUCED COMBUSTION GAS FURNACE, MODEL 58STX HORIZONTAL UNIT, SIZE 045-08, WITH 42,000 BTU/HR INPUT & 34,000 BTU/HR OUTPUT CAPACITIES, 80 AFUE, 920 CFM @ 0.10" E.S.P., 1/2 HP DIRECT DRIVE MOTOR, 120V/1Ø/60 Hz/2.9 FLA, 1075-3 RPM, MAX. UNIT AMP: 5.4A, 2-BURNER, 1/2" GAS CONNECTION, 4" Ø FLUE, UNIT DIMENSIONS: 14.25" WIDE x 29" DEEP x 33.25" HIGH, SHIPPING WEIGHT: 104 LBS.

58STA/STX 4-WAY MULTIPOISE INDUCED-COMBUSTION GAS FURNACE Input Capacities: 45,000 thru 155,000 Btu/h Series 140



Product Data



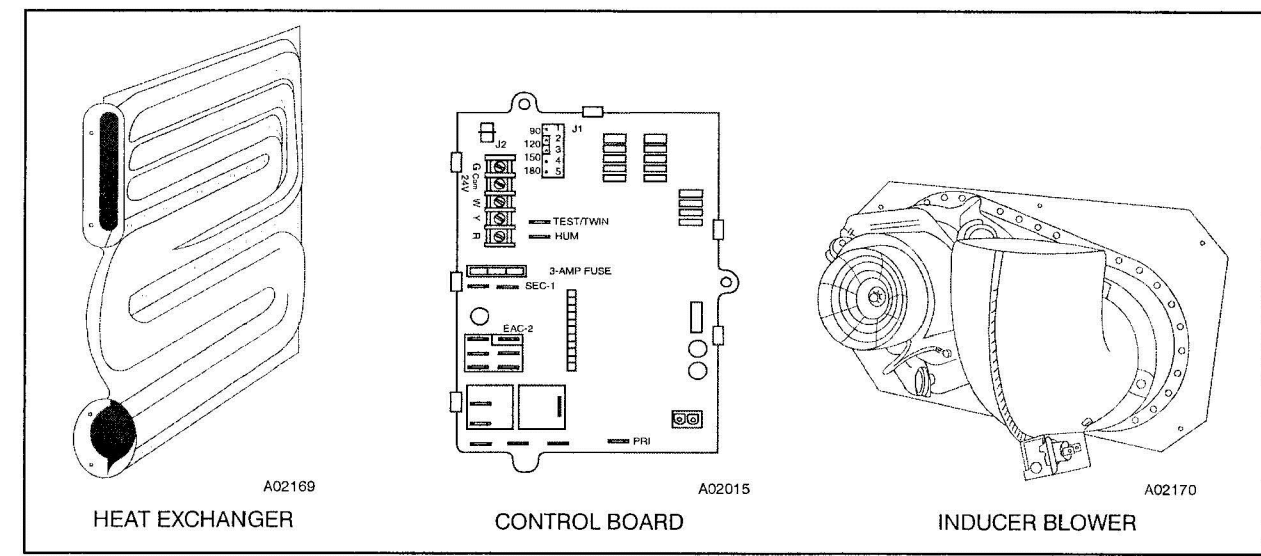
A10247

THE CARRIER 58STA/STX GAS FURNACE

The 58STA/STX 4-way Multipoise Gas Furnaces feature Carrier's QuietTech™ noise reduction system for incredibly quiet induced draft operation. Applications are easy with 4-way multipoise design, through-the-furnace downdraft venting, 13 different venting options, and designed for easy service access. An inner blower door is provided for tighter sealing in sensitive applications. The 58STA/STX furnaces are approved for use with natural or propane gas, and the 58STX is approved for use in Low NOx Air Management Districts.

STANDARD FEATURES

- QuietTech™ noise reduction system
- Microprocessor based control center
- Enhanced diagnostics with LED and reflective sight glass.
- Stores fault codes during power outages.
- Adjustable heating air temperature rise
- Adjustable cooling airflow
- 4-way Multipoise furnace, 13 vent applications
- Compact design - only 33-1/3 in. (847 mm) tall
- Power Heat™ Igniter
- Draft safeguard switch to ensure proper furnace venting
- Inner door for tighter sealing
- Certified to leak 2 percent or less of its nominal air conditioning CFM delivered when pressurized to 1-In. Water Gauge with all present air inlets, air outlets, and condensate drain port(s) sealed.
- HYBRID HEAT® Dual Fuel System compatible
- All models are chimney friendly when used with accessory vent kit
- Twinning in Upflow, Downdraft and Horizontal
- Residential installations eligible for consumer financing through the Retail Credit Program



MODEL NUMBER NOMENCLATURE

58STA	045	100	08
58STA 4-Way Multipoise			
58STX Low NOx version			
Input Capacity	045-44,000 Btu/h 070-86,000 Btu/h 090-86,000 Btu/h	110-110,000 Btu/h 135-132,000 Btu/h 155-154,000 Btu/h	Nominal Cooling Size (Airflow at 5.5 s.p.) (400 CFM per 12,000 Btu/h) 08-800 CFM 12-1200 CFM 14-1400 CFM 16-1600 CFM 20-2000 CFM 22-2200 CFM
			Series Number

2

PHYSICAL DATA

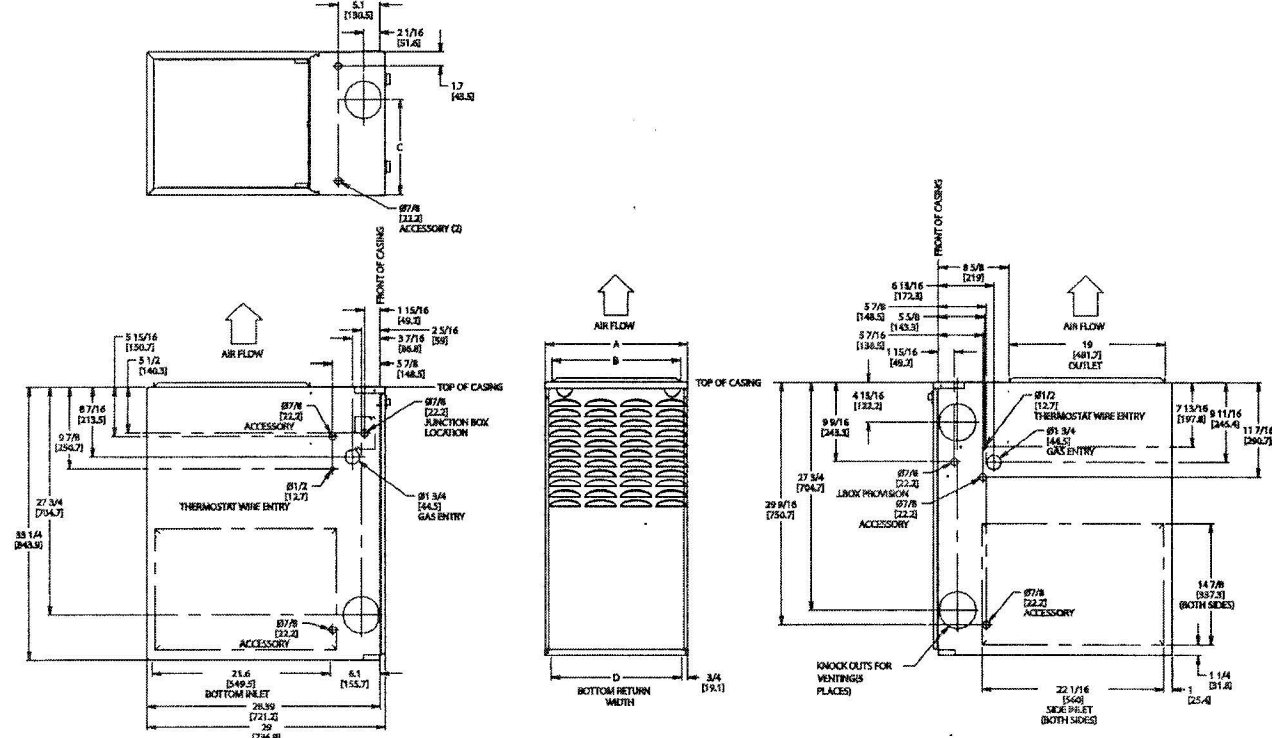
UNIT SIZE	045	12	08	12	16	14	16
OUTPUT CAPACITY BTU/H* (Nonweatherized ICS)†	35,000 34,000	36,000 34,000	53,000 51,000	54,000 51,000	63,000 60,000	71,000 68,000	71,000 68,000
INPUT BTU/H* (Nonweatherized ICS)	44,000 42,000	44,000 42,000	66,000 63,000	66,000 63,000	86,000 84,000	88,000 84,000	88,000 84,000
AFUE%* (Nonweatherized ICS)	80.5 80.5	80.5 80.5	80.5 80.5	80.5 80.5	80.5 80.5	80.5 80.5	80.5 80.5
SHIPPING WEIGHT - LB (KG)	107 (49) 107 (49)	111 (50) 111 (50)	115 (52) 115 (52)	126 (57) 126 (57)	142 (65) 142 (65)	142 (65) 142 (65)	142 (65) 142 (65)
CERTIFIED TEMP RISE RANGE ° F (° C)	30-80 (17-33)	20-50 (11-29)	40-70 (22-39)	30-60 (17-33)	25-55 (14-30)	40-70 (22-39)	30-60 (17-33)
CERTIFIED EXT STATIC PRESSURE	Heating 0.10 (17-33)	0.10 0.50	0.10 0.50	0.12 0.50	0.12 0.50	0.15 0.50	0.15 0.50
AIRFLOW CFM†	Heating 920 Cooling 1160	1290 1520	720 900	1195 1200	1460 1530	1375 1385	1505 1720
UNIT CONTROL	SPST						
HEATING BLOWER CONTROL	Solid State Time Operation						
BURNERS (Monoport)	2	2	3	3	3	4	4
GAS CONNECTION SIZE	1/2-in. NPT						
GAS VALVE (Redundant) Manufacturer	White Rodgers						
Minimum Inlet Pressure (in. W.C.)	4.5 (Natural Gas)						
Maximum Inlet Pressure (in. W.C.)	13.6 (Natural Gas)						
IGNITION DEVICE	Hot Surface						

* Gas input ratings are certified for elevations to 2000 ft. (610 M). In U.S., for elevations above 2000 ft. (610 M), reduce ratings 4 percent for each 1000 ft. (305 M) above sea level. Refer to National Fuel Gas Code NFPA 54 (ANSI Z223.1-2009 F4 or furnace installation instructions).
† Capacity in accordance with U.S. Government DOE test procedure.
‡ Airflow shown is for bottom only return-air supply. For air delivery above 1800 CFM, see Air Delivery Table for other options. A filter is required for each return-air supply.
ICS - Isolated Combustion System

BLOWER PERFORMANCE DATA

UNIT SIZE	045	12	08	12	16	14	16
DIRECT-DRIVE MOTOR HP (PSC)	1/5	1/3	1/5	1/3	1/2	1/3	1/2
MOTOR FULL LOAD AMPS	2.9	5.2	2.9	5.2	7.9	5.2	7.9
RPM (Nominal)	1075-3	1075-3	1075-3	1075-3	1075-3	1075-3	1075-3
BLOWER WHEEL DIAMETER X WIDTHS - IN. (mm)	10 x 6 (254 x 152)	10 x 6 (254 x 152)	10 x 6 (254 x 152)	10 x 6 (254 x 152)	11 x 8 (279 x 203)	10 x 8 (254 x 203)	10 x 10 (254 x 254)

DIMENSIONS



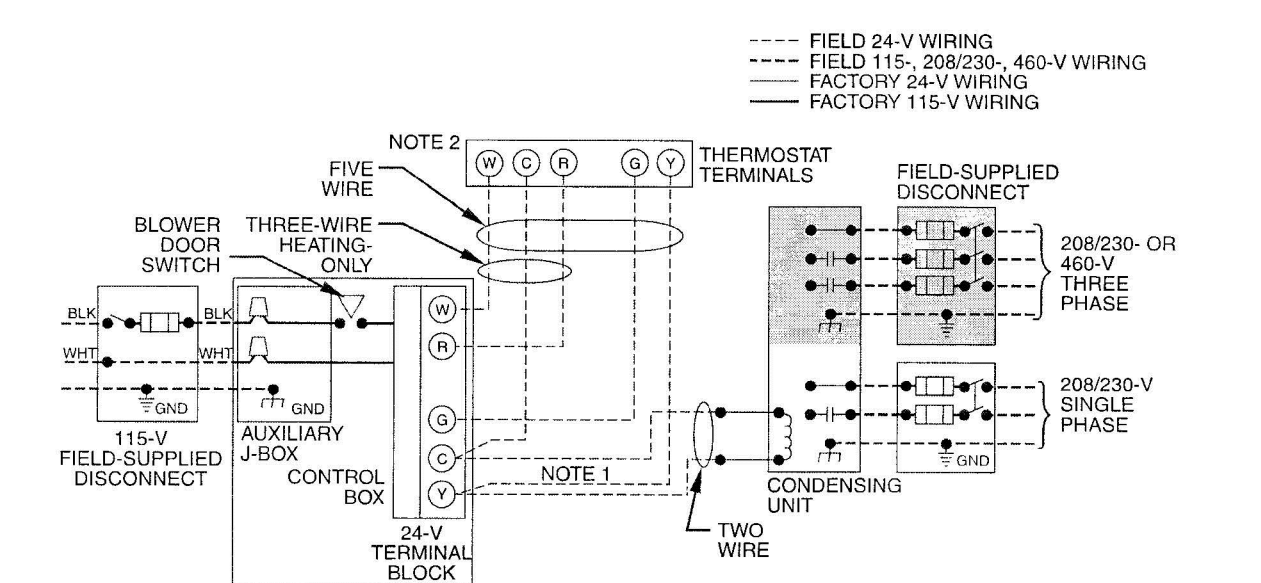
A10270

- NOTES:
- Two additional 7/8-in. (22 mm) diameter holes are located in the top plate.
 - Minimum return-air openings at furnace, based on metal duct. If flex duct is used, see flex duct manufacturer's recommendations for equivalent diameters.
 - For 800 CFM - 16-in. (406 mm) round or 14 1/2 x 12-in. (368 x 305 mm) rectangle.
 - For 1200 CFM - 20-in. (508 mm) round or 14 1/2 x 19 1/2-in. (368 x 495 mm) rectangle.
 - For 1600 CFM - 22-in. (559 mm) round or 14 1/2 x 22 1/4-in. (368 x 569 mm) rectangle.
 - For airflow requirements above 1800 CFM, see Air Delivery table in Product Data literature for specific use of single side inlets. The use of both side inlets, a combination of 1 side and the bottom, or the bottom only will ensure adequate return air openings for airflow requirements above 1800 CFM.

FURNACE SIZE	A CABINET WIDTH IN (mm)	B OUTLET WIDTH IN (mm)	C TOP AND BOTTOM FLUE COLLAR	D BOTTOM INLET WIDTH	VENT CONNECTION SIZE	SHIP WEIGHT LB (KG)
045-08	14-3/16 (360)	12-9/16 (319)	9-5/16 (237)	12-11/16 (322)	4 (102)	104 (47)
045-12	14-3/16 (360)	12-9/16 (319)	9-5/16 (237)	12-11/16 (322)	4 (102)	107 (49)
070-08	14-3/16 (360)	12-9/16 (319)	9-5/16 (237)	12-11/16 (322)	4 (102)	111 (50)
070-12	14-3/16 (360)	12-9/16 (319)	9-5/16 (237)	12-11/16 (322)	4 (102)	115 (52)
070-16	17-1/2 (445)	15-7/8 (403)	11-9/16 (294)	16-1/8 (410)	4 (102)	129 (57)
090-14	17-1/2 (445)	15-7/8 (403)	11-9/16 (294)	16-1/8 (410)	4 (102)	127 (56)
090-16	21 (533)	19-3/8 (492)	13-5/16 (336)	19-1/2 (495)	4 (102)	140 (64)
090-20	21 (533)	19-3/8 (492)	13-5/16 (336)	19-1/2 (495)	4 (102)	146 (66)
110-12	17-1/2 (445)	15-7/8 (403)	11-9/16 (294)	16-1/8 (410)	4 (102)	135 (61)
110-16	21 (533)	19-3/8 (492)	13-5/16 (336)	19-1/2 (495)	4 (102)	146 (66)
110-22	21 (533)	19-3/8 (492)	13-5/16 (336)	19-1/2 (495)	4 (102)	152 (69)
135-16	21 (533)	19-3/8 (492)	13-5/16 (336)	19-1/2 (495)	4 (102)*	149 (68)
135-22	24-1/2 (622)	22-7/8 (581)	15-1/16 (383)	23 (584)	4 (102)*	163 (74)
155-20	24-1/2 (622)	22-7/8 (581)	15-1/16 (383)	23 (584)	4 (102)*	170 (77)

*135 and 155 size furnaces require a 5 or 6-in. (127 or 152 mm) vent. Use a vent adapter between furnace and vent stack. See installation instructions for complete installation requirements.

TYPICAL WIRING SCHEMATIC



NOTES:

- Connect Y terminal as shown for proper operation.
- Some thermostats require a "C" terminal connection as shown.
- If any of the original wire, as supplied, must be replaced, use same type or equivalent wire.

A20186

ELECTRICAL DATA

58STA/STX UNIT SIZE	VOLTS HERTZ PHASE	OPERATING VOLTAGE RANGE		MAXIMUM UNIT AMPS	MAXIMUM WIRE LENGTH FT. (M)	MAXIMUM FUSE OR CKT BKR AMPSE	MINIMUM WIRE GAGE
		Maximum*	Minimum*				
045-08	115-60-1	127	104	5.4	49 (14.9)	15	14
045-12	115-60-1	127	104	7.0	39 (11.8)	15	14
070-08	115-60-1	127	104	5.0	52 (15.8)	15	14
070-12	115-60-1	127	104	6.8	40 (12.1)	15	14
070-16	115-60-1	127	104	9.5	29 (8.8)	15	14
090-14	115-60-1	127	104	8.2	34 (10.3)	15	14
090-16	115-60-1	127	104	10.0	28 (8.5)	15	14
090-20	115-60-1	127	104	13.6	32 (9.7)	20	12
110-12	115-60-1	127	104	8.2	34 (10.3)	15	14
110-16	115-60-1	127	104	10.1	28 (8.5)	15	14
110-22	115-60-1	127	104	14.8	30 (9.1)	20	12
135-16	115-60-1	127	104	10.2	27 (8.2)	15	14
135-22	115-60-1	127	104	14.0	30 (9.1)	20	12
155-20	115-60-1	127	104	15.0	29 (8.8)	20	12

* Permissible limits of the voltage range at which unit operates satisfactorily.

† Time - delay type is recommended.

‡ Length shown is as measured 1 way along wire path between unit and service panel for maximum 2 percent voltage drop.

SHATARA ARCHITECTURE INC.

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataraarch.com

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PROJECT TENANT IMPROVEMENT

ADDRESS
75 PUEBLO ST
SAN FRANCISCO, CA

PARCEL ID: 005063130

PROJECT DIRECTORY ARCHITECT

890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566

CONTACT: SUHEL SHATARA

BUILDING 11.02.2016

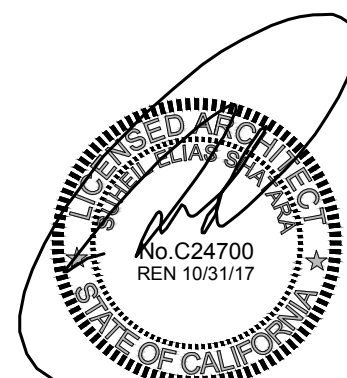
BUILDING 12.02.2016

BUILDING 01.22.2016

1 REV 02.15.2017

2 REV 05.23.2017

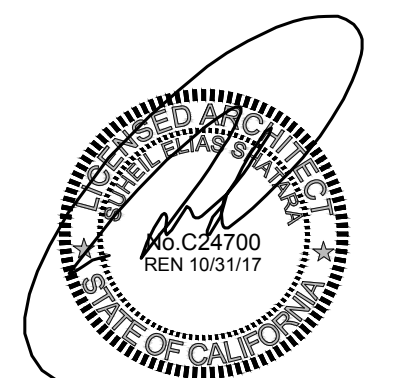
3 REV 08.25.2017



SHEET DESCRIPTION

MECHANICAL CALCULATIONS

M-2



ELECTRICAL & MECHANICAL

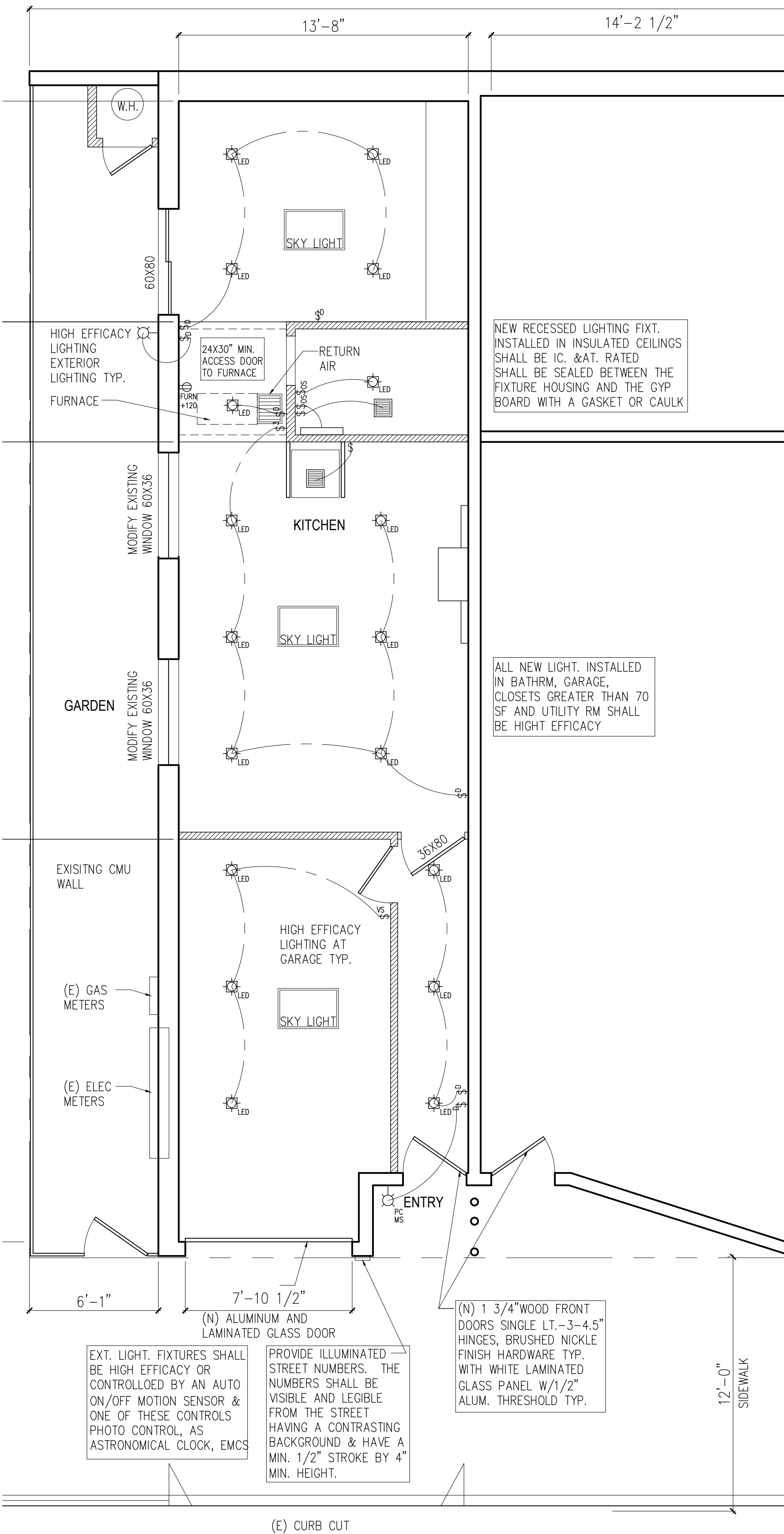
LEGEND

- HEATING DUCT REGISTER,
FLOOR OR WALL
MOUNTED
- DOWNLIGHT FIXTURE -
RECESSED
- FIXTURE -
F = FLUORESCENT
LED = LED LIGHT
- LIGHT FIXTURE - WALL
MOUNTED
PC PHOTO-CELLS
MS MOTION SENSOR
4' FLUORESCENT
KITCHEN: 50% HIGH EFFICACY
3' T5 FLUORESCENT
SIDE-MOUNTED TO SOFFIT
BATH/ TOILET: 100% HIGH EFFICACY
- EXHAUST FAN
- EXHAUST FAN / FLUOR.
LIGHT FIXTURE COMBO
- GAS SUPPLY (IN ADDITION
TO GAS APPLIANCES NOTED
ON PLANS)
- LIGHT FIXTURE - CEILING
MOUNTED
- LIGHT FIXTURE - FL OR
LED STRIP LIGHTING
- SWITCH, 48" A.F.F.
= 3 OR 4 WAY
D = DIMMER
VS = VACANCY SENSOR
SWITCH
DATA PORT - COAXIAL
CAT-6 DOUBLE WIRED
- DUPLEX ELECT. OUTLET @
+18", U.O.N., GFI,
W.P.: WATER PROTECTED
AMP: AMPERE
V : VOLTAGE
- SMOKE/CARBON MONOXIDE
ALARM DETECTOR
- SMOKE ALARM DETECTOR
- EXHAUST DUCT (TOILET FAN/
FURNACE, WATER HEATER
- HOT AIR SUPPLY
- INTERNAL AIR
EXTRACTION
- WATER SPRINKLER
- FAN
- SUPPLY AIR
- RETURN AIR
- 24X24 LIGHT FIXTURE
- JAM JAR FIXTURE
24" FIXTURE
48" FIXTURE
- SURFACE MOUNTED FIXTURE
- 48" LIGHT FIXTURE

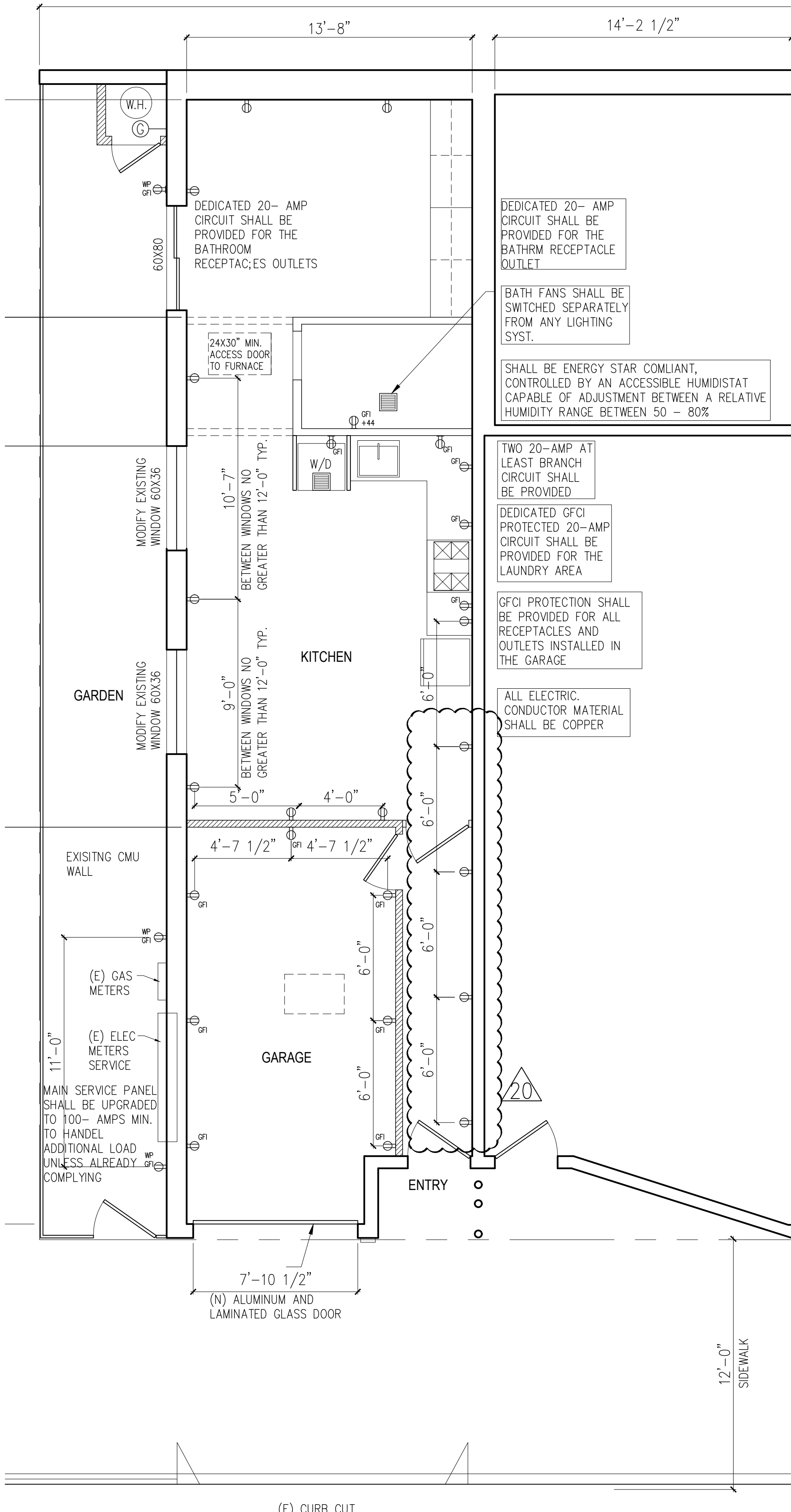
MECHANICAL & ELECTRICAL KEYNOTES

ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, THE ITEMS LISTED BELOW:

- (A) BATHROOM:**
OUTLETS: PROVIDE BATH WITH GFCI OUTLETS. **LIGHTING:** ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (B) LAUNDRY:**
ELECTRICAL: LAUNDRY ROOM, WASHER AND DRYER SHALL HAVE A SEPARATE 20 AMP CIRCUIT. **DRYER VENT:** RIGID PIPE (NO FLEX DUCT ALLOWED) SHALL TERMINATE OUTSIDE. 4" DIAM PIPE 14' MAX LENGTH WITH MAX 2 - 90 DEGREE TURNS, MINUS 2' FOR EACH ADDITIONAL 90 DEGREE TURN OR PROVIDE BOOSTER FAN. **MAKE-UP AIR:** VENT FOR GAS OR ELECTRIC DRIERS: 100 SQ. IN. MIN. INTAKE OPENING. **LIGHTING:** ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (C) OUTLETS (ELECTRICAL RECEPTACLES):** AT LEAST ONE OUTLET IN HALLWAY. PLACE OUTLETS SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6' HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 24" WIDE SHALL HAVE AN OUTLET. ALL OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- (D) SWITCHES AND CONTROLS** SHALL BE PLACED MIN. 36" - MAX 48" ABOVE FINISH FLOOR.
- (E) THERMOSTATS** SHALL BE PLACED 60" ABOVE FINISH FLOOR.
- (F) KITCHEN:**
ELECTRICAL: A MINIMUM OF (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND FAMILY ROOM AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS. **OUTLETS:** MIN. 1 PER EACH COUNTER SECTION WIDER THAN 12". 4' MAX. DISTANCE BETWEEN OUTLETS. PROVIDE GFCI OUTLETS. **LIGHTING:** AT LEAST 50% OF INSTALLED LUMINAIRE MUST BE OF HIGH EFFICACY (H.E.) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-HE LIGHTING.
- (G) LIGHTING (OTHER ROOMS):** BEDROOM, HALLWAY, STAIRS, DINING & CLOSETS BIGGER THAN 70 SF: ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY A DIMMER SWITCH OR CERTIFIED VACANCY SENSOR(S) (TITLE 24).
- (H) EXHAUST FANS:** PROVIDE BATH & LAUNDRY W/ MECHANICAL EXHAUST FANS WITH BACKDRAFT DAMPER. EXHAUST DIRECT TO EXTERIOR. NO VENT TERMINATION IN EXTERIOR WALL WITHIN 3 FT. OF PROPERTY LINE OR WINDOW OR OPENING USED FOR VENTILATION.
- (J) HEATING SYSTEM:** AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ITS ADEQUACY. WHERE FURNACE DUCTS PIERCE 1-HR GARAGE WALLS, DUCTS SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
- (K) COMBUSTION AIR INLET:** OPENING NOT ALLOWED WITHIN 3' OF PROP. LINE. 12" DOWN FROM TOP, 12" UP FROM BOTTOM.
- (L) WATER HEATER:** SEE WATER HEATER DETAIL FOR SEISMIC STRAP AND 18" PLATFORM
- (M) GARAGE:**
LIGHTING: ALL HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY CERTIFIED VACANCY SENSOR(S) (TITLE 24). **BOLLARDS:** PROVIDE TO PROTECT GAS EQUIPMENT FROM IMPACT. (CMC308.1) **VENTILATION:** 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- (N) CIRCUITS INTERRUPTER (BREAKERS):** ALL 120 VOLT SINGLE PHASE, 15 AND 20 AMP CIRCUITS SUPPLYING OUTLETS IN A DWELLING UNIT'S BEDROOMS, LIVING, DINING, HALLWAYS, CLOSETS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.



1 LIGHTING PLAN
SCALE : 1/4"=1'-0"



2 RECEPTACLE PLAN
SCALE : 1/4"=1'-0"

SHATARA
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PROJECT
TENANT IMPROVEMENT

ADDRESS
75 PUEBLO ST
SAN FRANCISCO, CA

PARCEL ID: 005063130

PROJECT DIRECTORY

ARCHITECT

890 7TH STREET
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TEL: 415-512-7566

CONTACT: SUHEL SHATARA

BUILDING 11.02.2016

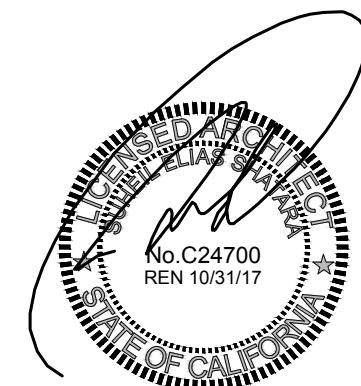
BUILDING 12.02.2016

BUILDING 01.22.2016

1 REV 02.15.2017

2 REV 05.23.2017

3 REV 08.25.2017



SHEET DESCRIPTION

PROPOSED
PLANS

T-1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: SAMI RESIDENCE

Calculation Description: Title 24 Analysis

Calculation Date/Time: 14:14, Thu, Dec 01, 2016

Input File Name: 128442 shATara aRCh.ridx

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GENERAL INFORMATION				
01	Project Name	SAMI RESIDENCE		
02	Calculation Description	Title 24 Analysis		
03	Project Location	75 PUEBLO STREET		
04	City	SAN FRANCISCO	05	Standards Version
06	Zip Code	94014	07	Compliance Manager Version
08	Climate Zone	CZ3	09	Software Version
10	Building Type	Single Family	11	Front Orientation (deg/Cardinal)
12	Project Scope	Newly Constructed	13	Number of Dwelling Units
14	Total Cond. Floor Area (ft²)	525	15	Number of Zones
16	Slab Area (ft²)	525	17	Number of Stories
18	Addition Cond. Floor Area	N/A	19	Natural Gas Available
20	Addition Slab Area (ft²)	N/A	21	Glazing Percentage (%)

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS Rater under the supervision of a CEC-approved HERS provider.

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (kTODV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	10.48	11.95	-1.47	-14.0%
Space Cooling	0.52	2.63	-2.11	-405.8%
IAQ Ventilation	1.80	1.80	0.00	0.0%
Water Heating	39.34	35.58	3.76	9.6%
Photovoltaic Offset	---	0.00	0.00	---
Compliance Energy Total	52.14	51.96	0.18	0.3%

Registration Number: 216-N044463A-000000000-0000

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REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis:
NO SPECIAL FEATURES REQUIRED

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.
Building-level Verifications: • IAQ mechanical ventilation Cooling System Verifications: • -- None -- HVAC Distribution System Verifications: • Duct Sealing Domestic Hot Water System Verifications: • -- None --

ENERGY DESIGN RATING				
This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.				
	Reference Energy Use	Energy Design Rating	Margin	Percent Improvement
Total Energy (kTODV/ft²-yr)*	153.30	153.12	0.18	0.1%

* Includes calculated Appliances and Miscellaneous Energy Use (AMEU)

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
SAMI RESIDENCE	525	1	1	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
New Residence	Conditioned	Res HVAC1	525	8	DHW Sys 1	

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OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	Tilt (deg)
North Wall	New Residence	8 Concrete Wall w/R-13	0	Left	288	63.3	90
East Wall	New Residence	8 Concrete Wall w/R-13	90	Back	120		90
West Wall	New Residence	R-15 Wall	270	Front	34	20	90
Interior Surface 2	New Residence>>_Garage_	R-13 Wall			236		
Roof 2	New Residence	R-30 Roof Attic			712.2		
Gar North Wall	_Garage_	8 Concrete Wall	0	Left	152		90
Gar South Wall	_Garage_	8 Concrete Wall	180	Right	27		90
Gar West Wall	_Garage_	8 Concrete Wall	270	Front	86	55	90
Gar Roof	_Garage_	Garage Roof			185		

OPAQUE SURFACES - Cathedral Ceilings										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Type	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Pitch	Roof Tilt (deg)	Roof Reflectance	Roof Emittance
Roof	New Residence	R-30 Roof Attic	Left	10.9	10.8	0	0	0	0.1	0.85

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic _Garage_	Attic Garage Roof Cons	Ventilated	0	0.1	0.85	No	No
Attic New Residence	Attic RoofNew Residence	Ventilated	0	0.1	0.85	No	No

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WINDOWS									
01	02	03	04	05	06	07	08	09	10
Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Multiplier	Area (ft²)	U-factor	SHGC	Exterior Shading
N Window	Window	North Wall (Left-0)	----	----	1	15.0	0.32	0.63	Insect Screen (default)
N Window 2	Window	North Wall (Left-0)	----	----	1	15.0	0.32	0.63	Insect Screen (default)
N Glass Doors	Window	North Wall (Left-0)	----	----	1	33.3	0.32	0.63	Insect Screen (default)
W Glass Door	Window	West Wall (Front-270)	----	----	1	20.0	0.32	0.63	Insect Screen (default)
Skylight	Skylight	Roof (Left-0)			1	5.4	0.42	0.63	
Skylight 2	Skylight	Roof (Left-0)			1	5.4	0.42	0.63	

DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Garage Door	Gar West Wall	55.0	1.00

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PARCEL ID: 005063130

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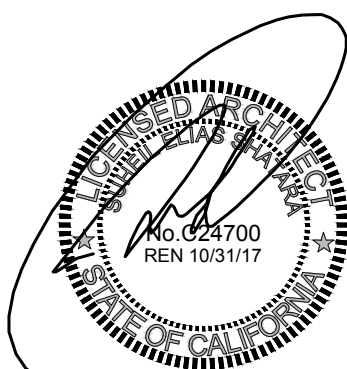
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SHEET DESCRIPTION

PROPOSED
PLANS

T-2

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
8 Concrete Wall	Exterior Walls	Concrete / ICF / Brck			0.659	• Mass Layer: 8 in. Concrete
Garage Roof	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O.C.	none	0.472	• Inside Finish: Gypsum Board • Cavity / Frame: no insul / 2x4
Attic Garage Roof Cons	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul / 2x4 Top Chrd • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
Attic RoofNew Residence	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul / 2x4 Top Chrd • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)
8 Concrete Wall w/R-13	Exterior Walls	Concrete / ICF / Brick			0.075	• Inside Finish: Gypsum Board • Insulation/Furring: R-13 / 3.5 in. wd. • Mass Layer: 8 in. Concrete • Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 15	0.095	• Inside Finish: Gypsum Board • Cavity / Frame: R-15 / 2x4 • Exterior Finish: 3 Coat Stucco
R-13 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.092	• Inside Finish: Gypsum Board • Cavity / Frame: R-13 / 2x4 • Other Side Finish: Gypsum Board
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O.C.	R 30	0.032	• Inside Finish: Gypsum Board • Cavity / Frame: R-30 / 2x4 • Over Ceiling Joists: R-20.9 insul.
R-30 Roof Attic1	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O.C.	R 30	0.046	• Inside Finish: Gypsum Board • Cavity / Frame: R-30 / 2x4 • Roof Deck: Wood Siding/sheathing/decking • Roofing: Light Roof (Asphalt Shingle)

SLAB FLOORS						
01	02	03	04	05	06	07
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value & Depth	Carpeted Fraction	Heated
Slab Floor	New Residence	525	55	None	0.8	No
Gar Slab Floor	__Garage__	185	33	None	0	No

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BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (Oil)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	---

WATER HEATING SYSTEMS					
01	02	03	04	05	06
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)
DHW Sys 1 - 1/1	DHW	Pipe Insulation, All Lines	DHW Heater 1	1	0%

WATER HEATERS							
01	02	03	04	05	06	07	08
Name	Heater Element Type	Tank Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value	Standby Loss (Fraction)
DHW Heater 1	Natural Gas	Small Storage	50	0.64	50000-Btu/hr	0	0

WATER HEATING - HERS VERIFICATION						
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Point-of Use	Recirculation Control	Central DHW Distribution
DHW Sys 1 - 1/1	---	---	---	---	---	---

SPACE CONDITIONING SYSTEMS					
01	02	03	04	05	06
SC Sys Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name
Res HVAC 1	Other Heating and Cooling System	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1

HVAC - HEATING UNIT TYPES		
01	02	03
Name	Type	Efficiency
Heating Component 1	CntrlFurnace - Fuel-fired central furnace	96 AFUE

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HVAC - COOLING UNIT TYPES						
01	02	03	04	05	06	07
Name	System Type	Efficiency EER	SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	NoCooling	---	---	---	---	---

HVAC - DISTRIBUTION SYSTEMS						
01	02	03	04	05	06	07
Name	Type	Duct Leakage	Insulation R-value	Duct Location	Bypass Duct	HERS Verification
Air Distribution System 1	DuctsAttic	Sealed and tested	6	Attic	None	Air Distribution System 1-hers-dist

HVAC DISTRIBUTION - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler
Air Distribution System 1-hers-dist	Required	6.0	Not Required	Not Required	Not Required	Not Required	---

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	HERS Verification
HVAC Fan 1	Single Speed PSC Furnace Fan	0.58	---

IAQ (Indoor Air Quality) FANS					
01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
SFam IAQVentRpt	20.25	0.25	Default	0	Required

PROJECT NOTES
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e-mail: title24@frazmtn.com
"One Day Service" since 1978

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Jonathan Wigg	Documentation Author Signature:
Company: Title 24 Data Corp	Signature Date: 2016-12-01 14:59:36
Address: 633 Monterey Trail	CEA/HERS Certification Identification (if applicable): R13-16-10159
City/State/Zip: Frazier Park, CA 93225	Phone: 661-245-6372

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Suheil Shatara	Responsible Designer Signature:
Company: Shatara Architecture	Date Signed: 2016-12-01 15:10:04
Address: 26 Lakeview Drive	License: C24700
City/State/Zip: Daly City, CA 94015	Phone: 415-512-7566

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration
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