

CITY OF DALY CITY

Regular Meeting - CITY COUNCIL

AGENDA

Monday, April 24, 2017 - 7:00 PM
City Hall Council Chambers – 2nd Floor
333 – 90th Street, Daly City, CA 94015

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

DRAFT

For those wishing to address the City Council on any Item on the Agenda or under Public Appearances/Oral Communications, please complete a Speaker Card located at the entrance to the Council Chambers and submit to a Staff Member as early in the meeting as possible.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should call the office of the City Clerk at 991-8078 as soon as possible.

CALL TO ORDER:

PLEDGE TO THE FLAG:

ROLL CALL:

PRESENTATIONS:

Commendation to Republic Services (Michael Mahoney, General Manager and Monica Devincenzi, Municipal Relationship Manager)

Proclaiming Relay for Life Day in Daly City - April 29, 2017 (San Bruno Vice Mayor Ken Ibarra and R4L Volunteer Skip Weiss)

Commendation to ABS-CBN International TFC (Nerissa M. Fernandez, Head, Global Corporate Affairs & PR)

Presentation on Childhood Obesity and Potential Ordinance Requiring Healthy Default Beverages in Kid's Meals (Blythe Young, Public Health Advocates)

APPROVAL OF MINUTES:

AVAILABILITY OF PUBLIC RECORDS:

All public record to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

Regular Meeting of April 10, 2017

APPROVAL OF AGENDA:

CONSENT AGENDA

All items listed on the Consent Agenda are considered to be routine and may be approved by one roll call vote of the City Council. There shall be no separate discussion of the matters on the Consent Agenda unless requested by a member of the City Council. If discussion is required, that item will be removed from the Consent Agenda and will be considered separately at the end of the Agenda.

Communications:

1. Table Public Hearing to Consider One-Year HUD Action Plan for Fiscal Year 2017-18

Resolutions:

2. Amending Traffic Regulations to: (1) Remove the Existing 22-ft. No Parking (red) Zone on San Jose Avenue Behind the Building at 6232 Mission Street (TSR 17/61); and (2) Install Parking T's Across from 815 Crocker Avenue and 853 Crocker Avenue (TSR 17/64)
3. Repealing Water Shortage Emergency Ordinance

END OF CONSENT AGENDA

PUBLIC HEARINGS:

4. Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, Design Review DR-4-16-12040, and Negative Declaration CEQA-4-16-12039 — Retail Conversion to Residential at 2665 Geneva Avenue
 - A. Findings
 - B. Environmental Review (Neg. Dec.)
 - C ZC-4-16-12036. SUB-4-16-12037, UP-4-16-12038, CEQA-4-16-12039

Staff:

Van Lonkhuysen

Recommended Action:

Open/Close Hearing

Motion for City Attorney to Read by Title Only

Councilmember Introduce Ordinance

Adopt Resolution

Roll Call

AWARD OF BIDS/CONTRACTS:

5. Award a Contract to Stoloski & Gonzalez, Inc. for the Beechwood Drive Emergency Storm Drain Repair Project, Appropriate Public facility Fees and Authorize the City Manager to Execute the Contract on Behalf of the City

Staff:

Rogers/Fuller

Recommended Action:

Adopt Resolution

Roll Call

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

NOTE: Speakers are limited to two minutes, unless modified by the Mayor. The Council cannot take action on any matter raised under this item

APPOINTMENTS: Board/Commission Membership Committee Appointments

REPORTS:

6. Council Committee
7. City Council
8. Staff

ADJOURNMENT:

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

The meeting was called to order by Mayor Sylvester at 7:05 P.M.

ROLL CALL: Councilmembers Present:

Glenn R. Sylvester, Mayor
Raymond A. Buenaventura
Judith A. Christensen
Michael P. Guingona

Staff Present:

Patricia E. Martel, City Manager
Rose L. Zimmerman, City Attorney
K. Annette Hipona, City Clerk

Councilmember Absent:

Juslyn C. Manalo, Vice Mayor

PRESENTATIONS:

Proclaiming April 2017 as National Donate Life Month (Phillip C'de Baca, Donate Life Ambassador)

Mayor Sylvester presented Mr. C'de Baca with the proclamation which encouraged organ donations either by signing up at www.donornetworkwest.org, or through their California-issued I.D. Mr. C'de Baca, an organ recipient, showed appreciation for people who chose to donate their organs, and thanked the Council for recognizing the importance of the Donate Life California program.

APPROVAL OF MINUTES:

Regular Meetings of March 27, 2017

It was moved by Councilmember Buenaventura, seconded by Councilmember Christensen, and carried to approve the minutes of March 27, 2017.

APPROVAL OF AGENDA:

It was moved by Councilmember Christensen, seconded by Councilmember Buenaventura and carried to approve the agenda.

CONSENT AGENDA

Mayor Sylvester requested to pull Item #1 from the Consent Agenda for further discussion. It was moved by Councilmember Buenaventura, seconded by Councilmember Guingona and carried to approve the agenda, as amended.

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

Page 2

RESOLUTIONS:

Authorizing Revision of Mechanic Job Specification (Civil Service)

Ms. Martel addressed the Mayor's question regarding the requirements for an acceptable driving record for the subject position. She explained that an acceptable driving record would mean no Department of Transportation (DOT) related incidents on a person's record; the clarification could be added to the report.

It was moved by Mayor Sylvester, seconded by Councilmember Christensen and carried by unanimous vote to adopt the following resolution:

Resolution 17-50, Adopting Revised Job Specifications for the Positions of Mechanic

Accepting and Appropriating of Title IIC1 One-Time-Only Funds from the Aging and Adult Services of San Mateo County

Resolution 17-51, Accepting a One-Time Only Grant from the San Mateo County Aging and Adult Services Department and Authorizing Appropriation of Grant Funds

Accepting Measure K Grant and Authorizing City Manager to Execute Grant Agreement and Appropriate Funds to the Civic Center North ADA Improvements Project

Resolution 17-52, Accepting and Appropriating Measure K Grant and Authorizing City Manager to Execute Funding Agreement for the Civic Center North ADA Improvements Project

Accepting and Appropriating \$2,000 from Kaiser Permanente for Equipment at Westlake Park

Resolution 17-53, Accepting and Appropriating an Unrestricted Grant from Kaiser Permanente

Accepting and Appropriating a \$195 Donation Made in Honor of Former Mayor Gonzalo "Sal" Torres for Materials at Westlake Library

Resolution 17-54, Accepting and Appropriating a \$195 Donation Made in Honor of Former Mayor Gonzalo "Sal" Torres for Materials at Westlake Library

Authorizing Adjustments to CDBG and Building Division Budgets to Reflect Current Workload and Updated Revenue Estimates

Resolution 17-55, Authorizing Adjustments to CDBG and Building Division Budgets

Approving Funding from the Urban and Community Forestry Grant Program as Provided Through the Greenhouse Gas Reduction Fund

Resolution 17-56, For Funding from the Urban and Community Forestry Grant Program as Provided Through the Greenhouse Gas Reduction Fund

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

Page 3

Setting the Time and Place of the Public Hearing for Daly City's National Pollutant Discharge Elimination System Program Regulatory Fee (Seat Hearing 5/8/17)

Resolution 17-57, Setting Time and Place of Public Hearing Re: Maintaining Adopted Regulatory Fees Necessary to Fund Local Specific Program Activities Mandated Under the Stormwater Management Plan, and Requesting San Mateo County to Collect Such Fees

Check Registers

Check Registers for the Month of March 2017

END OF CONSENT AGENDA

COMMUNICATIONS:

Continued Item: Authorizing Participation in the Public Agencies Post-Employment Benefits Section 115 Trust Program to Pre-Fund Pension and Other Post-Employment Benefits

Ms. Martel presented a comparison summary of the two known retirement plan administrators – Public Agency Retirement Services (PARS) and Public Financial Management Group (PFM) - that have received the Private Letter Ruling (PLR) from the Internal Revenue Services (IRS) which allows them to have a program to pre-fund pension and other post-employment benefits (OPEB). Staff recommended using PARS due to the following reasons: their primary business of retirement programs, their proven track record, and their projected investment returns, which PFM could not provide.

Ms. Martel provided a brief summary of what took place at the March 27, 2017 Council meeting including John Bartel's (Bartel Associates, LLC) recommendation to participate in a Section 115 Trust Program to mitigate the City's pension cost increases over time.

Mitch Barker, Executive Vice President of PARS, addressed Council's questions regarding the amount of control Council has over which companies the trust would be invested into should the City work with PARS. He discussed the two types of investment platforms – discretionary vs. directed. Discretionary allows for Council's input, but Council would give discretion to an Investment Manager to make the best investment decisions to achieve the City's risk-tolerance level.

Ms. Martel addressed Council's questions regarding Daly City's participation in the California Employers' Retiree Benefit Trust (CERBT) Fund from CalPERS. She reported that there are restrictions to this fund, and that its rates of return are significantly less than the Section 115 Trust. Mr. Chiu addressed Council's question and confirmed that the City would have no control in the investment portfolio under the CERBT Fund, and that CERBT only pre-funds the OPEB not the pension.

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

Page 4

Ms. Martel addressed Council's question and confirmed that the City would not use the trust as a bargaining tool during negotiations with City employees. She supported diversifying the City's investments, since relying solely on CalPERS did not work for the City in the past, especially during the recession.

Mr. Barker addressed Council's question and stated that Section 115 Trust offers 5 model portfolios for pensions with varying levels of risk, while CalPERS only offers 1 strategy. Most agencies choose the moderately-conservative model under PARS. Ms. Martel stated that if the Council decided, the item could be continued to a subsequent meeting. She mentioned that the sooner the City begins the process with the trust, the greater the benefit for the City.

Gabriella Makstman, resident, reported that CalPERS lost billions of dollars in the past, and supported Daly City diversifying its investments.

It was moved by Councilmember Christensen, seconded by Councilmember Guingona and carried by unanimous roll call vote to adopt the following resolution:

Resolution 17-58, Authorizing Participation in the Public Agencies Post-Employment Benefits Section 115 Trust Program to Pre-Fund Pension and Other Post-Employment Benefits

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

Sylvia Alvarez Lynch, resident, expressed concern with Councilmember Buenaventura's behavior at the March 27th meeting, specifically his treatment of City Manager Pat Martel. She also brought up his behavior on December 10, 2012 towards Judith Christensen, when he had her removed from the podium, exhibiting abuse of democracy. She reported no answer from the Mayor regarding her March 31st letter addressing Councilmember Buenaventura, and requested a response from the Mayor.

Christine Fuller, resident, expressed concern with the lack of unity within the Council. She stated her impartiality for each member of the Council and asked for respectful behavior towards one another. Ms. Fuller had requested a municipal code in regards to commission appointments if status quo was not functioning any longer.

APPOINTMENTS:

There were no appointments.

REPORTS:

Council Committee Meetings, March 27 – April 9, 2017

JESD Council Committee Meeting (Buenaventura/Christensen)
Home-for-all Outreach (Sylvester)
Council of Cities Dinner (Sylvester, Buenaventura, Christensen)
SFO Roundtable (Sylvester)

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

Page 5

City Council

Mayor Sylvester reported on attending the following events: Café Doelger's recognition of seniors for their volunteer work; Career Day presentations at Pollicita Elementary School; the St. Francis Heights Home Owners Association Meeting addressing community concerns; and, honoring Police, Sheriffs, Fire and EMT through the San Francisco Lions Club. Mayor Sylvester also reported on the following constituent issues: a cannabis sign in the Bayshore Area; the creation of a neighborhood mediation committee; the increase in gas taxes; registration fees for electric cars; and, the appropriation of roadway improvement funds based on highway users.

Ms. Martel reported that the City funds the Peninsula Conflict Resolution Center (PCRC) for the purpose of mediating neighbor-to-neighbor issues and other civil disputes. In the past, residents have voluntarily participated in using PCRC's free services via the City's referral.

Mayor Sylvester addressed an earlier concern from a constituent regarding ethics and invoking the Ethics Committee. The Mayor read the definition of ethics and reported there was no violation of ethics within the Council or given the events that transpired between the last Council meeting and four months prior. The Mayor stated there was a lack of decorum and requested Council to work on issues of decorum, even if it means having a parliamentarian preside over Council to make sure they are following Robert's Rules of Order. Furthermore, Mayor Sylvester proposed the City immediately allocate ERAF Funds towards the restoration of Engine 95. He felt the City should not gamble with public safety, and recounted an incident that recently took place in the Skyline Area. He wanted to review other budgets and funds, and to become well-versed with capital funds.

Councilmember Christensen reported that Daly City currently has 5 fire stations with 5 different companies, and pointed out that Fire Station 95 previously had 2 companies before the budget cut. She stated that ERAF funds are one-time money and should not be used to pay salaries or guarantee jobs. Councilmember Christensen reported that while all the fire stations do a great job at getting to an incident within a very short time, residents in other neighborhoods may feel a discrepancy from not having 2 companies work with their local fire station. Since ERAF gives one-time money, Councilmember Christensen questioned what the City would use next year if they were to use the funds this year. She felt the Council needs to look at every community fairly in regards to emergency care, and that the Council has a responsibility to make sure all sections of the City are provided all necessary services in an equitable manner.

Ms. Zimmerman addressed Council's questions regarding the process for having the Ethics Committee investigate a matter. The practice is that usually the Mayor would refer the matter, and that the Council has the authority to refer to the Ethics Committee. The Ethics Committee then establishes findings which would be presented to the Council for a vote. Ms. Zimmerman also addressed what happens in a case wherein the subject investigation involves someone who is a member of the Ethics Committee.

Staff

There were no reports.

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
APRIL 10, 2017

Page 6

ADJOURNMENT:

Mayor Sylvester requested a moment of silence and adjourned the meeting in memory of Greg Allen Young at 8:20 PM.

City Clerk

Approved as submitted, this 24th

day of April, 2017.

Mayor



City Council Meeting Agenda Report

Item # _____

Meeting Date: April 24, 2017

Subject: Table Public Hearing to Consider One-Year HUD Action Plan for Fiscal Year 2017-18

Recommended Action

Table the public hearing set for April 24, 2017 regarding Daly City's One-Year HUD Action Plan under the Community Development Block Grant (CDBG) and HOME programs for FY 2017-18.

Background

On March 13, 2017 the City Council set time and place to conduct a public hearing to consider the One-Year HUD Action Plan for 2017-18. As of April 12, 2017, the City has not been notified by HUD of the specific allocation of 2017-18 CDBG and HOME funds from the Federal Government to the City. Therefore, an Action Plan cannot be drafted and the public hearing is unnecessary. Staff plans to reschedule the public hearing when HUD has notified the City regarding its 2017-18 CDBG and HOME funding levels.

Summary/Conclusion

Table the public hearing set for April 24, 2017 regarding the One-Year HUD Action Plan. Staff will re-notice this item once the City has been notified by HUD about 2017-18 CDBG and HOME funding levels.

Respectfully submitted,

Betsy ZoBell
Housing and Community Development Supervisor

Tatum Mothershead
Director, Economic & Community Development



City Council Agenda Report

Item # _____

Meeting Date: April 24, 2017

Subject: Amend Traffic Regulations to: (1) Remove the existing 22-ft. No Parking (red) zone on San Jose Avenue behind the building at 6232 Mission Street (TSR 17/61); and (2) Install parking T's across from 815 Crocker Avenue and 853 Crocker Avenue (TSR 17/64).

Recommended Action

Recommend the City Council amend the City's traffic regulations as follows:

1. Remove the existing 22-ft. red zone on San Jose Avenue behind the building at 6232 Mission Street. (TSR 17/61)
2. Install parking T's across from 815 Crocker Avenue and 853 Crocker Avenue. (TSR 17/64)

Background

On March 9, 2017 and April 13, 2017, the City's Traffic Safety Committee met and reviewed various requests for traffic improvements, signage and pavement markings, and recommended that the City Manager proceed with amending the aforementioned traffic regulations.

Discussion

The amendments to the traffic regulations are recommended for the following reasons:

1. Staff contacted SamTrans regarding the number of passengers boarding at this stop. The number of passengers using the stop is very low. The red zone on San Jose Avenue behind the building at 6232 Mission Street is no longer needed to provide adequate bus service to this location. Eliminating the red curb would make the space available to the general public for parking.
2. The parking T's across from 815 and 853 Crocker Avenue will optimize vehicle parking on Crocker Avenue. The Police Department can enforce parking at these locations per Municipal Code Section 10.32.020.

Fiscal Impact

Funding is available for the proposed signs and/or markings in the Street Maintenance operating budget 01-314-330-4241 for the current Fiscal Year 2016-2017.

Summary/Conclusion

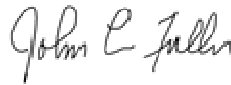
Recommend the City Council amend the aforementioned traffic regulations.

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

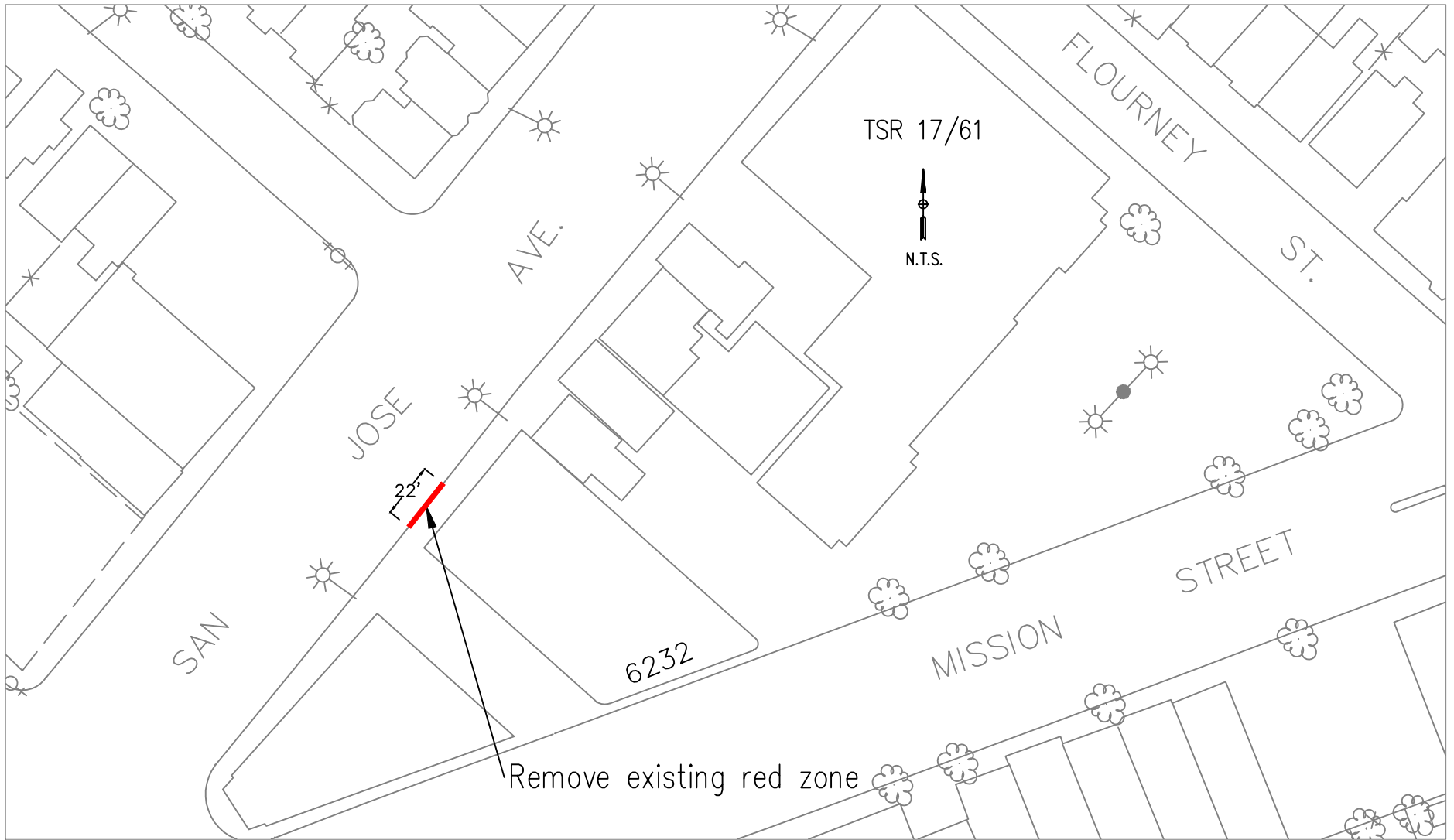


Shirley Chan
Traffic Engineer



John L. Fuller
Director of Public Works

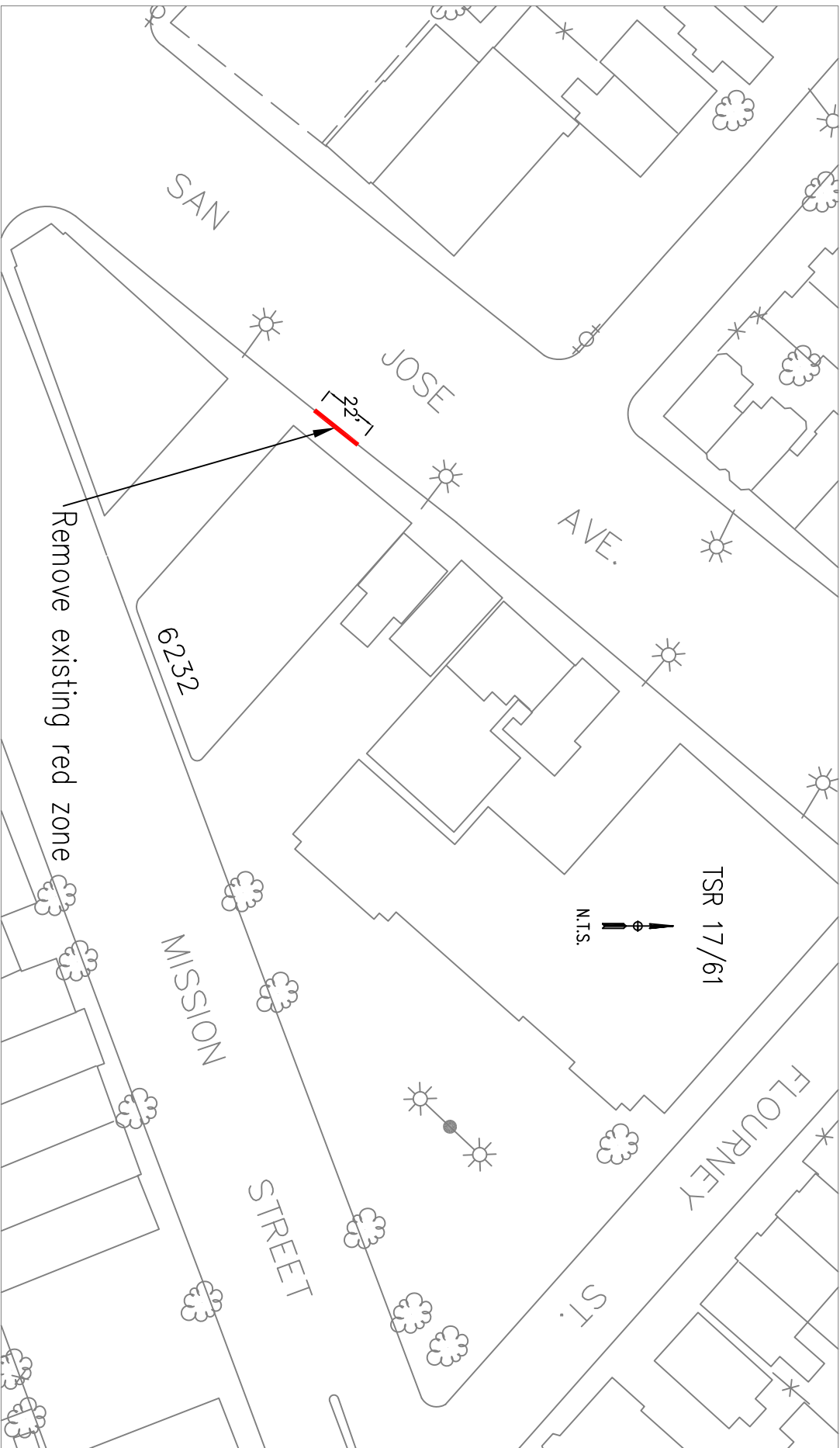
Attachment: Traffic Improvements Location Maps



THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

TRAFFIC IMPROVEMENTS
SAN JOSE AVENUE

DRAWN SCY	DATE 04/17	APPROVED _____	CITY ENGINEER
CHECKED JLF	SCALE NTS	SHEET NO. 1 OF 1	TSR 17-61
DESIGNED SCY	SURVEY NO.	DRAWING NUMBER	REV.



THE CITY OF DALY CITY
CALIFORNIA
DEPARTMENT OF PUBLIC WORKS

TRAFFIC IMPROVEMENTS
SAN JOSE AVENUE

DESIGNED BY	SCY	DATE	04/17	APPROVED	CITY ENGINEER
CHECKED BY	JLF	SCALE	N.T.S.	SHEET NO.	1 OF 1
DESIGNED BY	SCY	DATE	04/17	APPROVED	TSR 17-61
CHECKED BY	JLF	SCALE	N.T.S.	SHEET NO.	1 OF 1
DESIGNED BY	SCY	DATE	04/17	APPROVED	TSR 17-61
CHECKED BY	JLF	SCALE	N.T.S.	SHEET NO.	1 OF 1



City Council Agenda Report

Item # _____

Meeting Date: April 24, 2017

Subject: Repeal of Water Shortage Emergency Ordinance

Recommended Action

Repeal Water Shortage Emergency Ordinance No. 1409.

Background

Governor Jerry Brown's April 7, 2017 executive order formally declaring an end to California's drought emergency for most of the state.

Discussion

Daly City's local response to California's drought emergency mirrored executive actions toward achieving mandated eight percent (8%) reduction in water use followed later by a self-imposed four percent (4%) self-certified standard. Local rules and enforcement on prohibited non-essential uses of water were also enforced by the Department of Water and Wastewater Resources. Local residents were excellent in their response to mandated conservation and of 26 enforcement complaints received; all were corrected absent the necessity to impose monetary fines.

At this time, it is appropriate to formally rescind Ordinance No. 1409 now that the Drought Emergency is over. As part of Governor Brown's declaration, renewed focus on Executive Order B-37-16, "*Making Water Conservation a California Way of Life*", toward establishing a long-term framework for water conservation and drought planning is being implemented. Many of the water use prohibitions that were enacted are expected to be made permanent as part of a formal rule making process by the State Water Resources Control Board later this year.

Staff is available to provide any additional information desired by the Mayor or City Council members.

Respectfully submitted,

Patrick Sweetland
Director of Water and Wastewater Resources



City Council Meeting Agenda Report

Item # _____

Meeting Date: April 24, 2017

Subject: Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, Design Review DR-4-16-12040, and Negative Declaration CEQA-4-16-12039 — Retail Conversion to Residential at 2665 Geneva Avenue

Recommended Action

Approve Zone Change, Major Subdivision, Use Permit, and Design Review subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On March 7, 2017, the Planning Commission voted 3-0 (Commissioners Satorre and Tallerico absent) to recommend that the City Council approve Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, Design Review DR-4-16-12040, and Negative Declaration CEQA-4-16-12039.

Background

The applicant, McCall Design Group, representing MG Properties, proposes to convert a portion of the vacant 9,736 square foot retail space at the street level of the existing building at 2665 Geneva Avenue to seven residential condominiums and one 1,950 square foot retail space (see Attachment A – Site Location).

Approved in 2005, the existing building at 2665 Geneva Avenue (between Calgary Street and Rio Verde Street) consists of an L-shaped mixed-use building with ground floor commercial uses and 72 condominiums (currently rented as apartments) on the upper four levels of the building. At the time of approval, the commercial uses consisted of one 10,110 square foot space facing Geneva Avenue and a smaller 2,998 square foot space facing Rio Verde Street. Through the plan check process, the square footage of the space facing Geneva Avenue was reduced to 9,736 square feet, which has never been occupied. Since 2012, the smaller retail space has been occupied by a Subway restaurant and a Domino's Pizza.

Discussion

The project applicant proposes converting the 9,736 square foot retail space into one 1,950 square foot retail space and seven residential condominium units at the ground floor level along Geneva Avenue (see Attachment B – Project Plans). According to the applicant, previous and current building owners have diligently and continuously marketed the vacant retail space for various retail users, but the space has remained vacant because the vehicular access to the site is challenging for the majority of “traditional” commercial uses and the loading/unloading layout for the site is difficult for retail users. The applicant has asserted that, due to the above design issues, coupled with the immediate area's abundant commercial vacancies, the retail space has experienced consistent obstacles in attracting viable retail tenants (see Attachment C – Applicant Justification Statement).

In June 2016, the Bayshore Council Committee convened to explore the applicant's assertion that retail or other non-residential uses are not economically viable in the 9,736 square foot retail space. To facilitate discussion with the Council Committee, the applicant provided a retail feasibility analysis for the space (see Attachment D – Retail Feasibility Analysis). The analysis cited the following as hindrances to a viable retail space at the subject location:

1. The space is too large for a local small businesses.
2. Without the ability for a dedicated shipping/receiving area, it is difficult for a 10,000 square foot retail user to operate.
3. The immediate area does not make economic sense for a retailer to make a significant capital investment, as the main commercial corridor for Geneva Avenue is located at the Geneva Avenue/Mission Street intersection.
4. The demographics in the subject area are not as strong as one-quarter mile west.
5. The parking is problematic for retail and daily trips would deadlock the area.
6. Economic incentives provided by the building owner have not proven to be effective and therefore location is the deciding issue for retailers.

Also according to the applicant, the proposed conversion of the existing vacant commercial space to additional residential units will also serve to complement the City's affordable housing initiatives and further supports the City's intent of encouraging further Geneva street activation objectives.

At the Council Committee meeting, the Committee requested that the applicant undertake additional efforts to market the vacant retail space. In January 2017, the applicant reported to the Council Committee that these efforts were not successful. After further discussions with the applicant, the Committee moved to recommend approval of the rezoning and subdivision request.

Because the Planned Development zoning approved in 2005 is specific to the amount of retail square feet and the number of residential units allowed in the building, the proposal requires an amendment of the existing Planned Development zoning (PD-58B) applicable to the property. Tentative subdivision map, use permit, and design review approvals are also required for the condominium proposal.

Parking

The existing condominium building provides 132 parking spaces in the following locations: an at-grade parking garage (28 spaces), an exterior parking lot (28 spaces), and a below-grade parking lot (76 spaces). All parking areas are accessed from Rio Verde Street. Exiting from the spaces occurs onto Rio Verde Street and Calgary Street.

The 132 spaces represent the number of spaces approved for the entire building at the time of the Planned Development zoning approval for the building in 2005. In approving the project's Planned Development zoning, the City Council granted the building a 19-space parking waiver, which represented reduction of 12.5 percent for the 151 spaces which would have been required without the reduction.

Factoring the 12.5 percent reduction granted through Planned Development zoning, the proposed seven condominiums would require 16 fewer parking spaces than the 9,736 square feet of retail that the condominiums would replace. This calculation is based on a factor of two parking spaces per condominium unit and one parking space per 300 square feet of the retail floor area. The seven condominiums would require 13 spaces after factoring the 12.5 percent reduction and the existing 9,736 square foot retail space would require 29 spaces after factoring the same reduction. The proposal would therefore be less parking intensive than the approved retail use.

Use Permit

The applicant is required obtain a use permit pursuant to Chapter 17.37 – Condominiums and Condominium Conversions, which requires the permit for any condominium project. Prior to the approval of the permit, the Zoning Ordinance requires the Planning Commission to make the following findings:

1. The seven additional condominiums will not have a detrimental effect on sound community planning, the economic, ecological, cultural and aesthetic qualities of the community, and on public health, safety and general welfare;
2. The overall impact on schools, parks, utilities, neighborhood streets, traffic, parking and other community facilities and resources will not be detrimental;
3. That tenants over the twelve months preceding the filing of any application required for a conversion shall not have been encouraged to vacate in order to bring about the conversion.

For reasons discussed in this staff report, staff is recommending that the Commission adopt the first two findings. The applicant has not applied to convert any existing apartment to a condominium and therefore the third finding does not apply.

Design Review

As proposed, exterior modifications to the building's exterior elevations would be minimal and in keeping with the design concept initially approved for the building. All of the seven proposed condominiums would be accessible from within the residential portions of the building or from the building exterior. No primary access shall be provided from the remaining retail space. Although new windows are proposed, the new elevation appears very similar to the existing building design. Overall the exterior design is acceptable. However, staff is recommending exterior entrances to the

units be recessed 24 inches at the west elevation and adequate security lighting shall be installed in the ceiling of these alcoves.

Zoning Ordinance and General Plan Consistency

The site is zoned Planned Development PD58B with a General Plan Land Use designation of Commercial – Mixed Use (C-MU). The PD zoning and C-MU land use designation allow residential condominiums, subject to tentative subdivision map, use permit, and design review approval. The proposed revisions to the PD zoning would change the number of permissible condominiums in the building from 72 to 79 and the maximum permissible retail on the site from 13,108 to 4,948 square feet (see Attachment E – Draft PD58C Development Standards). The C-MU General Plan designation does not provide minimum and maximum densities, and the proposal is therefore consistent with the plan.

The General Plan Housing Element supports construction of additional housing in existing neighborhoods in underutilized sites and spaces, where residential development represents the highest and best use, and where public infrastructure exists to support the intensity of the proposed development. The proposed condominiums are situated in an existing condominium building already served by infrastructure adequate to serve the future residential units. Residential development is the highest and best use for space in which the units are proposed.

Project Affordability

The applicant has submitted an affordable housing plan in accordance with the City's Affordable Housing Ordinance, which requires 20 percent of all units to be affordable (see Attachment F – Affordable Housing Plan). The Ordinance also allows the payment of a fee for fractional units. Based on the 20 percent requirement, a total of 1.4 affordable units would be required. In accordance with approved Affordable Housing Plan, the applicant will provide one of the seven units as an affordable unit and pay a fee totaling \$41,666 for the remaining fractional 0.4 unit. The final affordable housing fee due to the City will be based on the actual square footage of floor area determined and paid at the time building permits are issued.

Subdivision Requirements

Pursuant to Section 66474 of the Subdivision Map Act, a legislative body of a city or county may approve a subdivision map if it makes the following findings:

1. The proposed subdivision and/or design or improvement must be consistent with applicable general and specific plans.
 - The General Plan designates the subject site Commercial – Mixed Use (C-MU). The PD zoning and C-MU land use designation allow residential condominiums, subject to tentative subdivision map, use permit, and design review approval. The proposed revisions to the PD zoning would change the number of permissible condominiums in

- the building from 72 to 79. The C-MU General Plan designation does not provide minimum and maximum densities, and the proposal is therefore consistent with the plan.
2. The site must be physically suitable for the type and density of the proposed subdivision.
 - The proposed condominiums would be constructed within the shell of an existing building situated in an urbanized area of Daly City, on Geneva Avenue, between Rio Verde Street and Calgary Street. The area is characterized by a mixture of single-family residential homes, retail, and service commercial uses. The Cow Palace is situated directly across the street to the south. Given the existing use of the property for a condominium building, the proposal to increase the number of condominium units from 72 to 79 is the highest and best use of the subject property.
 3. The design of the proposed subdivision or improvements must not cause substantial environmental damage or injure fish or wildlife or their habitat.
 - The Planning Commission has determined that the proposed condominiums, which will be situated entirely within an existing building, will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area on a previously disturbed site that contains no protected or unprotected habitat. Based on the Initial Study prepared, it has been determined that there is no substantial evidence, in light of the whole record that the project may have a significant effect on the environment and therefore a Negative Declaration has been prepared in accordance with the California Environmental Quality Act.
 4. The design of the proposed subdivision must not cause serious public health problems.
 - The proposed project consists of converting a portion of a vacant 9,736 square foot retail space at the street level of an existing building to seven condominiums, which will be subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk.
 5. The design of the proposed subdivision or improvements must not conflict with any easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.
 - There are no known easements existing on the property.

Utility Providers

The subject property is located within a fully urbanized area with all public services capable of serving the new condominiums. The City of Daly City and Bayshore Sanitary District have agreed to service the subject development. Any upgrades in the system deemed necessary will be the applicant's responsibility. Conditions of approval have been added to address this issue. Utilities to serve the

project are in place or will be in place prior to construction, and will have the capacity to accommodate additional condominium units. These include electrical, water, and sewer services.

<i>Utility</i>	<i>Provider</i>
Water and Storm Drains	City of Daly City
Sanitary Sewers	Bayshore Sanitary District
Gas & Electric	PG&E
Telephone	Pacific Bell
Cable Television	Astound! Cable Services
Fire/Police Protection	North County Fire Authority

Environmental Assessment

The Planning Commission has determined that, pursuant to the requirements of the California Environmental Quality Act (CEQA), a Negative Declaration is the appropriate level of environmental review (see Attachment G – Initial Study/Negative Declaration). As indicated in the Initial Study, the project would have no significant impacts upon the environment.

Fiscal Analysis

The construction of seven condominium units will add an incremental demand for City services. Prior to project completion, the project applicant will be required to pay park in-lieu fees as required by Parkland Dedications Ordinance, building permit, plan check, affordable housing, and AB 1600 fees to the City. Upon sale of the residential properties, the future owners will pay property tax to the County, a portion of which will be distributed to the City.

Findings

The Planning Commission finds that, as conditioned, Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, Design Review DR-4-16-12040 are in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the proposed use permit and design review, as conditioned herein, are in the best interest of the public health, safety, and general welfare of the community, and that the general site, architecture, and landscape considerations have been incorporated to ensure compatibility with adjacent buildings and to provide an attractive environment. These findings are based on the following facts:

1. In accordance with Title 17 (Zoning) of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council will conduct a public hearing on the request on April 24, 2017. Notice of said hearing was given by posting in the area and first class mailing to property owners within 300 feet of the site;

2. The seven additional condominiums will not have a detrimental effect on sound community planning, the economic, ecological, cultural and aesthetic qualities of the community, and on public health, safety and general welfare;
3. The overall impact on schools, parks, utilities, neighborhood streets, traffic, parking and other community facilities and resources will not be detrimental;
4. The General Plan designates the subject site Commercial – Mixed Use (C-MU). The PD zoning and C-MU land use designation allow residential condominiums, subject to tentative subdivision map, use permit, and design review approval. The proposed revisions to the PD zoning would change the number of permissible condominiums in the building from 72 to 79. The C-MU General Plan designation does not provide minimum and maximum densities, and the proposal is therefore consistent with the plan;
5. The proposed condominiums would be constructed within the shell of an existing building situated in an urbanized area of Daly City, on Geneva Avenue, between Rio Verde Street and Calgary Street. The area is characterized by a mixture of single-family residential homes, retail, and service commercial uses. The Cow Palace is situated directly across the street to the south. Given the existing use of the property for a condominium building, the proposal to increase the number of condominium units from 72 to 79 is the highest and best use of the subject property;
6. The Planning Commission has determined that the proposed condominiums, which will be situated entirely within an existing building, will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area on a previously disturbed site that contains no protected or unprotected habitat. Based on the Initial Study prepared, it has been determined that there is no substantial evidence, in light of the whole record that the project may have a significant effect on the environment and therefore a Negative Declaration has been prepared in accordance with the California Environmental Quality Act;
7. The proposed project consists of converting a portion of a vacant 9,736 square foot retail space at the street level of an existing building to seven condominiums, which will be subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk;
8. There are no known easements existing on the property;
9. The project complies with applicable provisions of Design Review Section 17.45 of the Zoning Ordinance; and
10. General architectural considerations have been incorporated in order to ensure the compatibility of this development with its design concept and the character of other adjacent buildings. These considerations include, but are not limited to, the character, scale and quality

of the design, the architectural relationship with the site and other buildings, building materials, and colors.

Conditions of Approval

The Planning Commission recommends the City Council approve Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, and Design Review DR-4-16-12040, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The project shall be valid only in conjunction with detailed plans submitted with this project. Any modifications required, due to the Conditions of Approval, and minor changes to the plan, must be reviewed and approved by the Planning and Engineering Divisions prior to the change. Major changes to the Tentative Map shall be subject to review by the Planning Commission and City Council.
2. The tentative subdivision map approval granted herein shall be valid for a period of two years. If a final map has not been approved within this timeframe, the applicant shall apply for a time extension.
3. The applicant shall be aware that the proposal may require an amendment to the Development Agreement applicable to the subject property.
4. The project shall conform to all applicable City of Daly City General Conditions of Approval.
5. The applicant will be required to pay park-in-lieu fees, in compliance with DCMC Chapter 16.30 Parkland Dedications. Per DCMC Section 16.30.040.A, the required dedication in this specific case is 0.238 acres. Per DCMC Section 16.30.060, the in-lieu fee shall be based upon said dedication requirement. Per DCMC Section 16.30.090, in-lieu fees are required to be paid to the City of Daly City, prior to approval of the Final Map. The project is subject to full compliance with DCMC Chapter 16.30 Parkland Dedications.
6. Prior to the issuance of a building permit, the applicant shall enter into an Affordable Housing Agreement with the City, identifying the dedication of units or payment of fees consistent with the approved Affordable Housing Plan. The Agreement shall be recorded against the property prior to building permit issuance. The Agreement shall be in effect in perpetuity and the Agreement shall so stipulate. Failure to abide to the Agreement may result in code enforcement action by the City or revocation of the use permit.

Building Design

7. The exterior entrances to units shall be recessed 24 inches at the west elevation and adequate security lighting shall be installed in the ceiling of these alcoves.

Construction Hours

8. Construction hours will be limited to 8:00 a.m. to 5:00 p.m. Mondays through Fridays and construction on weekends and holidays will be prohibited.

B. BUILDING DIVISION

9. Due to additional dwelling unit, it is required to provide an additional accessible and adoptable dwelling unit.

C. BAYSHORE SANITARY DISTRICT

10. The applicant shall submit a Class Four application to the Bayshore Sanitary District for further review of the project. The applicant shall pay connections fees to the District based on the current adopted Bayshore Sanitary District rate schedule.

Recommendations

The Planning Commission recommends that the City Council:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment, adopting Negative Declaration CEQA-4-16-12039; and
3. Approve Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037, Use Permit UP-4-16-12038, and Design Review DR-4-16-12040.

Staff is available to provide any additional information desired by the Council members.

Respectfully submitted,



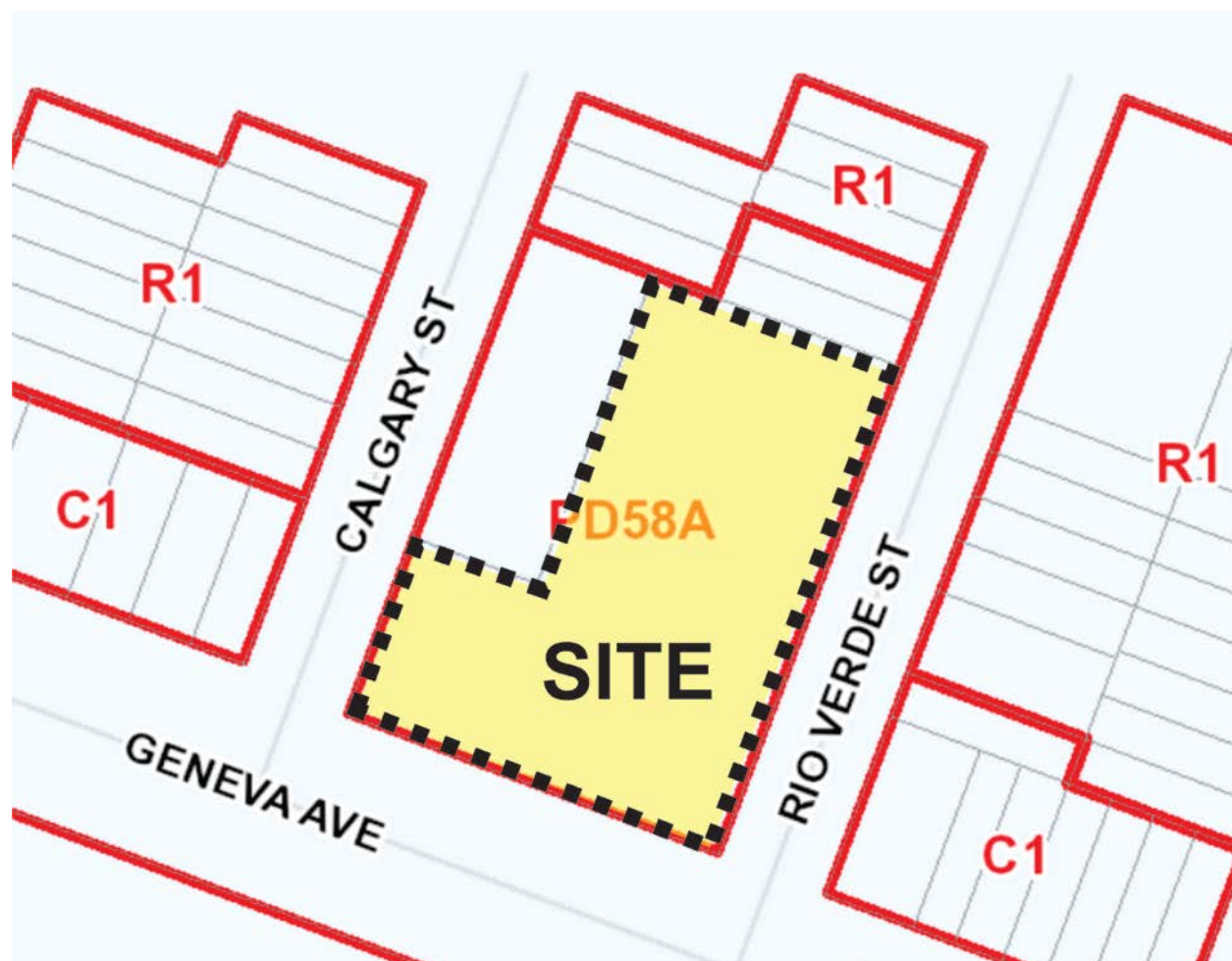
Michael Van Lonkhuyzen
Planning Manager



Tatum Mothershead
Director of Economic and Community
Development

Attachments

Attachment A – Site Location
Attachment B – Project Plans
Attachment C – Applicant Justification Statement
Attachment D – Retail Feasibility Analysis
Attachment E – Draft PD58C Development Standards
Attachment F – Affordable Housing Plan
Attachment G – Initial Study/Negative Declaration



PLANNING SUBMITTAL -
Supporting Documents

MG Properties Group
Pacific Place
2665 Geneva Avenue
Daly City, CA 94014

City of Daly City
Planning Commission

CLIENT

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FAX: 858-526-0800

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CONTACT: Phong Le / Gary Pham
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FAX: 408-522-5260

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FAX: 925-845-8796

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FAX: 415-288-8181

CONTENTS

- 1. Project Description
- 2. Zoning Issues
- 3. Analysis and Required Findings
- 4. Conclusion

1. Project Description

Existing Building and Conditions

Pacific Place Apartment Homes is located at the base of the San Bruno Mountains and in the quiet Bayshore community. It is located at the corner of Geneva Avenue and Calgary Street, where there are currently 72 fully occupied luxury apartments, 2 retail tenants and 1 unoccupied 9,736 square foot retail space. On-site parking facilities are located within an underground parking garage and on-street.

- Location:** 2665 Geneva Avenue, Daly City, CA 94014
- Land Use Designation:** Mixed Use (per Ordinance No.1315, Zone Change ZC04-4 for Planned Development PD-58A and Design Review DR05-3)
- Land Acreage:** 1.05
- Building Square Footage:** 72,960
- Project Height:** floor to deck height is approximately 19 feet
- Existing Parking:**
 - Subterranean: 66 standard, 2 accessible, and 2 motorcycle parking spots
 - Upper Garage: 27 standard, 1 accessible
 - Outside: 29 standard, 1 accessible
- Building construction type:** IIA
- Occupancy:** R-2
- APN:** 005-064-250

Proposed Project Description

The project proposal is to re-zone and subdivide the existing 9,736 square foot retail space into 1 retail space and 7 condominiums at the ground level along Geneva Ave.

Despite being actively and continuously marketed, the ground level has been vacant for at least 6 years, as the extensive square footage and vehicular access to the site has been problematic. Loading and unloading is very difficult in the area, making it difficult in obtaining a viable retail tenant. Due to this, this proposal seeks to break up the project area, creating residential units and one retail space.

2. Zoning Issues

Affordability

The project will contribute to affordable housing in the area, providing 1 unit consistent with the building's

current AMI standing. Currently, 15% of the units operate at 65% of AMI.

Color Scheme

The project does not propose any changes to the existing exterior color scheme.

Landscaping

Previous efforts towards improving street frontage will be maintained. The trees on Calgary Street and Geneva Avenue will be preserved.

3. Analysis and Required Findings

Fire Protection

The existing building already has an approved automatic sprinkler system, along with an approved emergency voice/alarm communication system.

Exiting

A new two-hour rated stairwell will be built in the west end of the building serving as egress for occupants of the new condominiums and retail space. The new exit stair will only serve the project area, to ensure that the project does not increase the load on any existing emergency exit.

Parking

In accordance with city code, each of the 7 condominiums will need 1 parking space. For the proposed retail, 1 space for each three hundred square feet of gross floor area will be needed, totaling 7 spaces. As the area was previously zoned for retail, there will be adequate parking to meet the requirements.

Work/Live Requirements

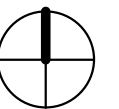
The condominiums will be classified as Group R-2 occupancy. Accessibility will be designed in accordance to Chapters 11A and 11B, when applicable. Ventilation will be governed by the California Mechanical Code. The mezzanines within the condos shall not exceed one-third of the floor area of the room, to comply with code. Each mezzanine will be provided with two independent means of egress.

4. Conclusion

Overall, the re-zoning and subdivision of the project space at Pacific Place will benefit the community by providing housing and jobs to the surrounding community. The retail space will serve residents of both Pacific Place and the neighboring residents. This project will cater to small businesses and individual proprietors, a vital group in maintaining diversity within the Bay Area. For these reasons, the project team looks forward to comments and collaboration with the City of Daly City in bringing this project to life.



Project Area



LEGEND

-  FIRE HYDRANT

 EDGE PAVEMENT

 WATER VALVE

 METER, PULL BOX

 SIGN

 CONCRETE

 BLOCK WALL

 LIGHT STANDARD

 TRAFFIC SIGNAL

 STREET LIGHT

 HANDICAP STALL

 WROUGHT IRON FENCE

 WOOD FENCE

 CHAINLINK FENCE

 PARKING COUNT
- AC — ASPHALT PAVEMENT

GI — GRATE INLET

GP — GUARD POST

L — LOT LINE

MH — MAN HOLE

PA — PLANTER AREA

PL — PROPERTY LINE

R/W — RIGHT OF WAY

SCO — SEWER CLEAN OUT

SMH — SEWER MANHOLE

ZONING INFORMATION

ZONE: PD 58A

PLANNED DEVELOPMENT

SETBACKS:

FRONT:
SIDE:
STREET:
REAR:

BULK:
HEIGHT:
PARKING RESTRICTIONS:

AS APPROVED
BY PLANNING
COMMISSIONS

THIS INFORMATION WAS OBTAINED FROM THE CITY OF DALY CITY, 333 90TH ST.
64015-1895, PH: 650-991-8033 ATTN: PUBLIC COUNTER

FLOOD ZONE INFORMATION

ZONE: UNMAPPED

NO ZONE DEFINED

PANEL NO. 060311-0025B

DATED: JULY 5, 1984

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE NORTH LINE OF GENEVA AVENUE USING A BEARING OF NORTH 70°34'00" WEST AS SHOWN ON PARCEL MAP LANDS PASIAN AND BANDINI OF BOOK 75 PAGE 91 RECORDS OF SAID COUNTY.

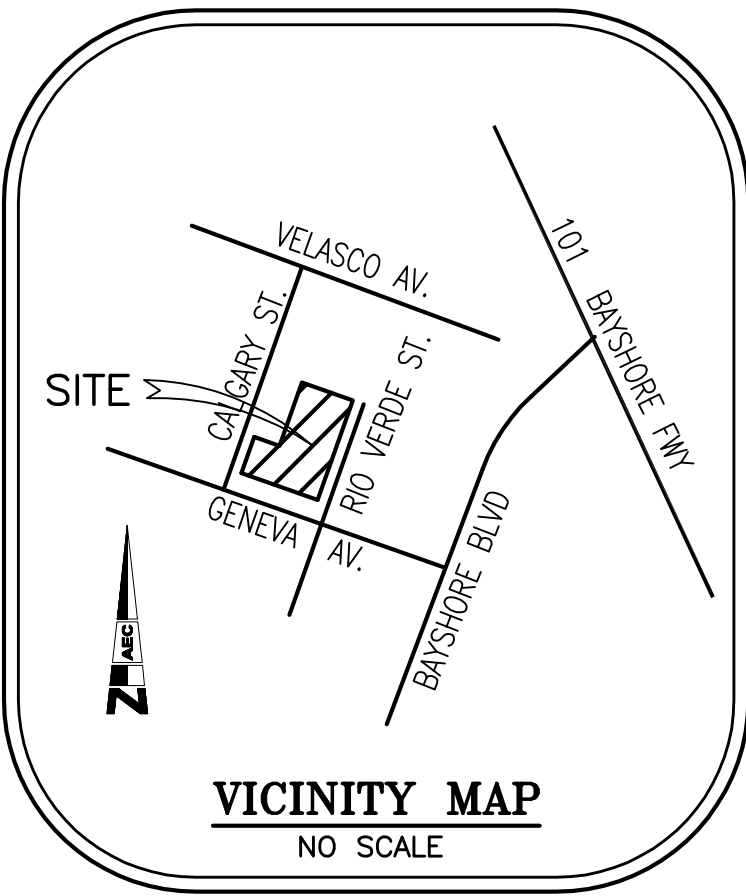
LEGAL DESCRIPTION

THE LAND REFERRED TO ON THIS SURVEY IS SITUATED IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL OF THE LANDS LYING WITHIN THE EXTERIOR BOUNDARIES OF LOT 1, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE GENEVA A SUBDIVISION FOR RESIDENTIAL AND RETAIL CONDOMINIUM PURPOSES 2665 GENEVA, LLC, CITY OF DALY CITY, SAM MATEO COUNTY, CALIFORNIA", FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON AUGUST 19, 2009 IN BOOK 137 OF MAPS PAGES 11, 12 AND 13.

JOINT PLANT NO'S 223-21-000-01; 223-22-000-01; THRU 03; 223-23-000-01 THRU 35; 223-24-000-01 THRU 37

APN: 005-064-250



LAND AREA

45,636 SQUARE FEET
1.047 ACRES

PARKING COUNT

OUTSIDE PARKING

REGULAR STALLS - 27
ADA STALLS - 1

BASEMENT STALLS

REGULAR STALLS - 68
ADA STALLS - 2

STREET LEVEL IN BUILDING

REGULAR - 58
ADA STALLS - 2

TOTAL STALLS - 158

EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. 10-40702771-A-JJ DATED MARCH 28, 2012 BY CHICAGO TITLE COMPANY;

- 5 AN EASEMENT FOR BROADBAND COMMUNICATIONS SYSTEM PURPOSES TO COMCAST OF CALIFORNIA IX, INC. RECORDED JANUARY 2, 2008 AS INSTRUMENT NO. 2008-000213, OFFICIAL RECORDS. EASEMENT AFFECTS SUBJECT PROPERTY AND IS UNPLOTTABLE OF RECORD DESCRIPTION.
- 11 AN ENCROACHMENT OF THE BUILDING, SITUATED ON SAID LAND INTO OR ONTO RIO VERDE STREET, RECORDED OCTOBER 19, 2009 AS INSTRUMENT NO. 2009-137378, OFFICIAL RECORDS. AS DESIGNATED ON THE PLAT SHOWN ON PAGE 17 OF 69 OF SAID PLAN AS ('BLDG. COR. 0.15' OVER'). ENCROACHMENT IDENTIFIES A THIRD FLOOR ENCROACHMENT INTO RIO VERDE STREET SUBJECT SURVEY DOES NOT DETERMINE UPPER LEVEL BUILDING LOCATIONS AFFECTS ON SUBJECT PROPERTY.

SURVEYORS CERTIFICATE

TO CWCAPITAL LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY, FREDDIE MAC, THEIR SUCCESSORS AND ASSIGNS, M.G PACIFIC PLACE APARTMENTS L.P., A CALIFORNIA LIMITED PARTNERSHIP, AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a) AND (b), 7(a), 8, 9, 10, 11(a) AND (B), 13, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 14, 2012.

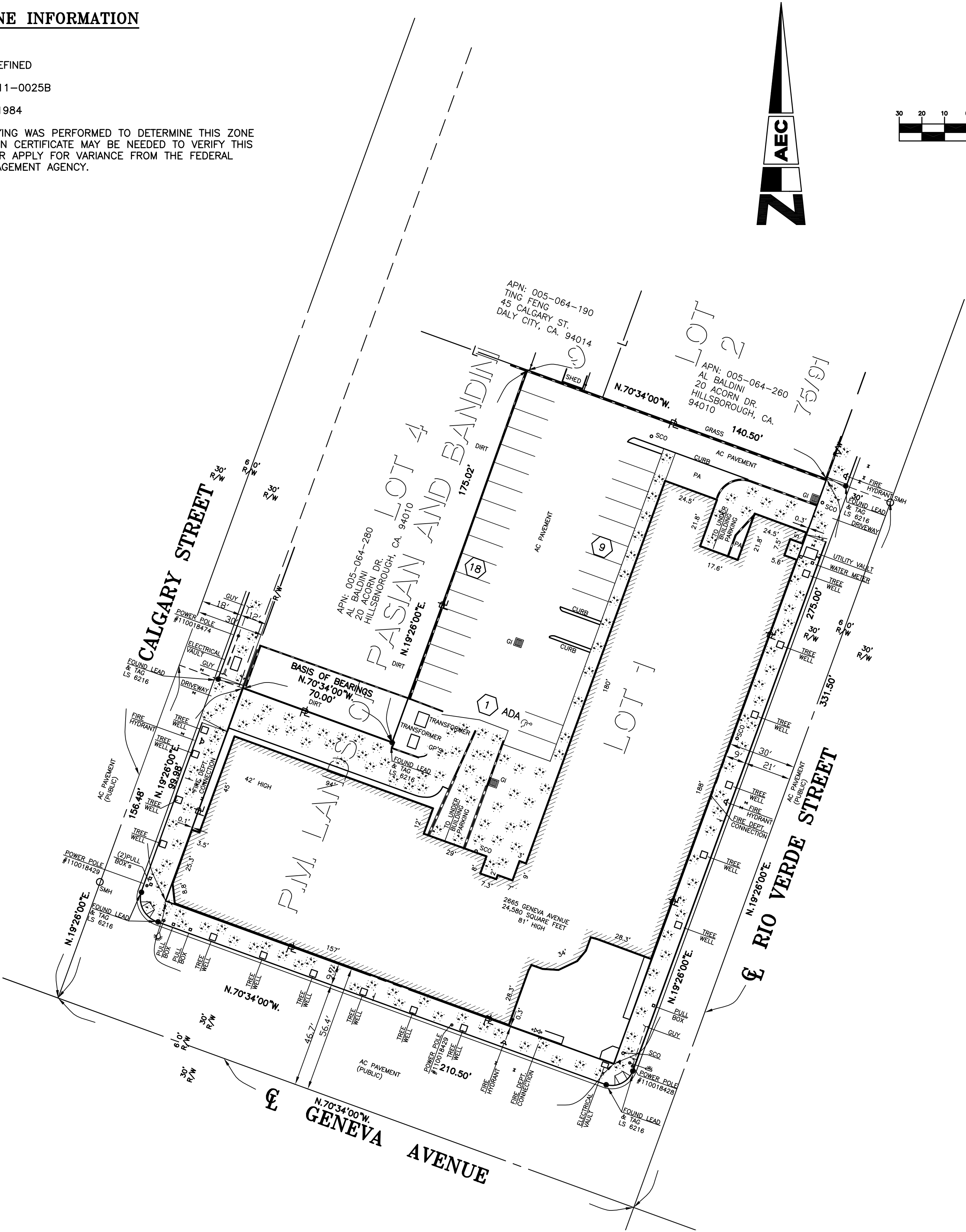
DATE OF PLAT OR MAP: 6/5/12

C. J. QUEYREL, LS 2988 DATE

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL NOTES

1. SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE CURRENT TITLE REPORT BY CHICAGO TITLE COMPANY REPORT NO. 10-40702771-A-JJ DATED MARCH 28, 2012 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY.
2. BUILDING SETBACK LINES SHOWN HEREON REFLECT THE INFORMATION AS EXPLAINED BY THE CITY REPRESENTATIVE INDICATED HEREON.
3. THE PHRASE 'FLOOD HAZARD' WITHIN THE CERTIFICATION HEREON REFERS TO 'SPECIAL FLOOD HAZARD AREA' AS DEFINED BY FEMA AND THE NFIP AND ONLY REFERS TO THOSE AREAS ON FLOOD INSURANCE RATE MAPS AS BEING WITHIN ZONES A OR V OF SAID MAPS.
4. BY OBSERVATION NO CEMETERIES ARE KNOWN OR FOUND ON SUBJECT PROPERTY.
5. NO MONUMENTATION WAS FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE.
6. ASSESSORS PARCEL NUMBER FOR THIS PROPERTY IS 005-064-250.
7. BEARINGS AND DISTANCES ARE RECORD AND MEASURED PER PARCEL MAP LANDS PASIAN AND BANDINI OF BOOK 75 PAGE 91 RECORDS OF SAID COUNTY. RECORDS OF SAID COUNTY, UNLESS NOTED OTHERWISE.
8. SURVEYOR TAKES NO RESPONSIBILITY OF ITEMS OMITTED DUE TO A RESULT OF VISUAL OBSTRUCTIONS, SUCH AS AUTOMOBILES, EQUIPMENT & THICK SHRUBBERY.
9. THE BUILDING SQUARE FOOTAGE INDICATED ON THIS PLAN IS BASED ON EXTERIOR DIMENSIONS AT GROUND LEVEL ONLY.
10. THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INDICATED HEREON INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSES OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES. UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN.
11. NO WETLANDS REPORT WAS PROVIDED AT THE TIME OF THIS SURVEY AND NO WETLANDS WERE INDICATED BY VISUAL INSPECTION.
12. THERE IS NO EVIDENCE OF EARTH MOVING WORK, EXTERIOR BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED THAT HAVE BEEN DONE WITHIN RECENT MONTHS.
13. THERE IS NO EVIDENCE OF SOLID WASTE DUMP, SUMP OR SANITARY LAND FILL USE.
14. THROUGH RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS THERE ARE NO CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
15. THIS PLAN DOES NOT CONTAIN SUFFICIENT DATA FOR DESIGN PURPOSES AND IS NOT FOR CONSTRUCTION PURPOSES.
16. BASED ON VISUAL OBSERVATION, THE SUBJECT SITE IS SERVICED BY ALL THE NECESSARY UTILITIES REQUIRED TO MAINTAIN NORMAL OPERATION.
17. IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY.
18. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE NOTED.
19. SITE IS HAS DIRECT ACCESS FROM RIO VERDE STREET AND CALGARY STREET BOTH PUBLIC RIGHT OF WAYS.
20. SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS.
21. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENT, SERVITUDES, AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
22. ALL RECIPROCAL EASEMENT (IF ANY) THAT THE SURVEYOR HAS BEEN MADE AWARE OF HAVE BEEN DENOTED ON THIS SURVEY. THE LIMITS OF ANY OFFSITE EASEMENTS THAT THE SURVEYOR HAS BEEN MADE AWARE OF ARE ALSO SHOWN (IF ANY).
23. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.
24. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE 'MINIMUM ANGLE DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.



REVISIONS

NO.	DESCRIPTION	DATE	APP'D

PROJECT ENGINEER

DATE 6/5/12
SCALE 1" = 30'
DRAWN G. A. G.
CHECKED C. J. Q.

DATE 6/5/12
SCALE 1" = 30'
DRAWN G. A. G.
CHECKED C. J. Q.

SHEET TITLE

PROJECT

SHEET NO.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

PACIFIC PLACE APARTMENTS

2665 GENEVA AVENUE

DALY CITY, CALIFORNIA

JOB NO. 12-056A

1

1

ANACAL ENGINEERING CO.

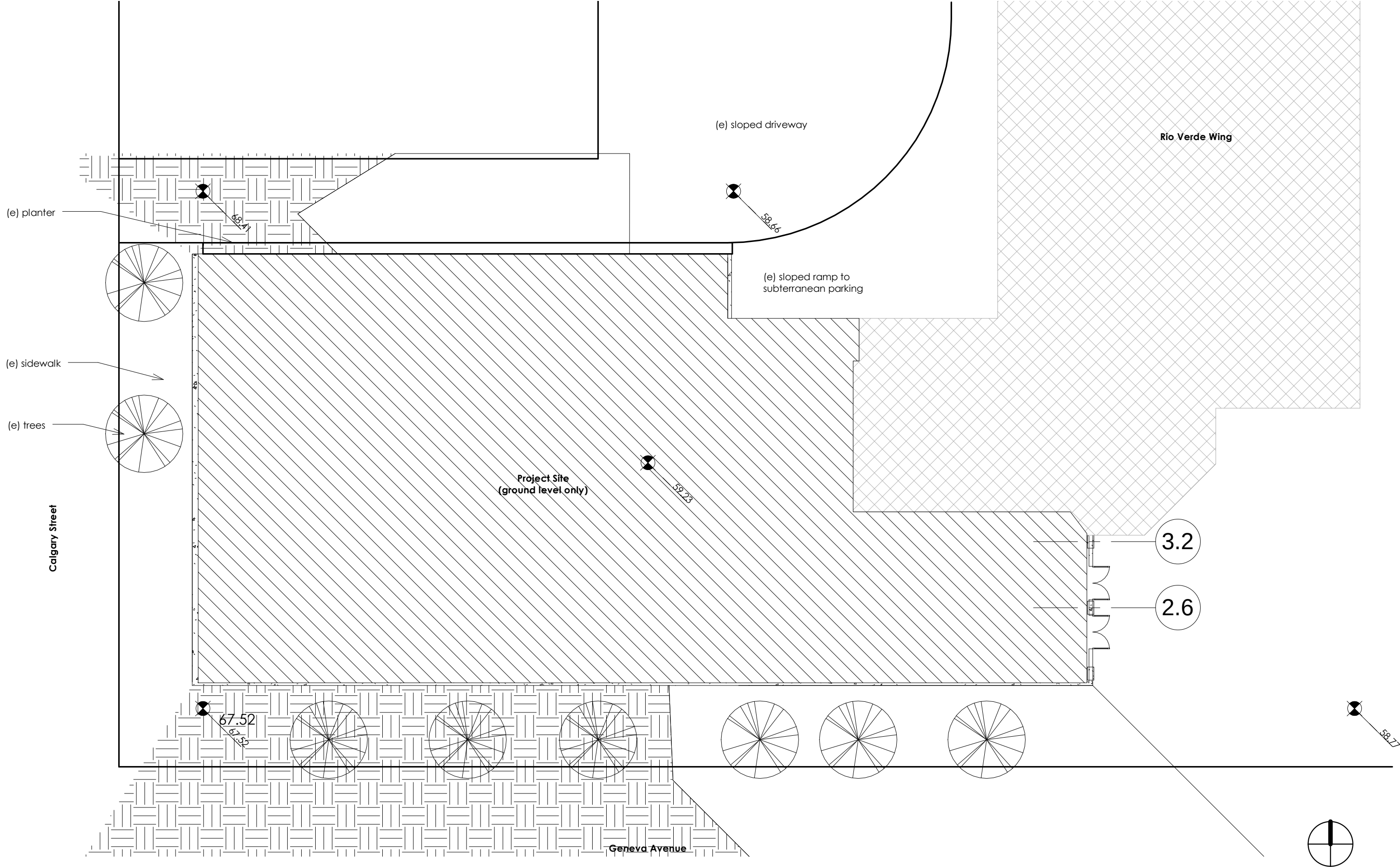
CIVIL ENGINEERING & LAND SURVEYING

1900 EAST LA PALMA AVENUE ~ SUITE 202 ~

ANAHEIM, CALIFORNIA 92805

PHONE: (714) 774-1763 FAX: (714) 774-4690

E-MAIL ADDRESS: ANACAL@ANACALENGINEERING.COM





A. Exterior Elevation - East



B. Interior Elevation - South



C. Interior Elevation - North



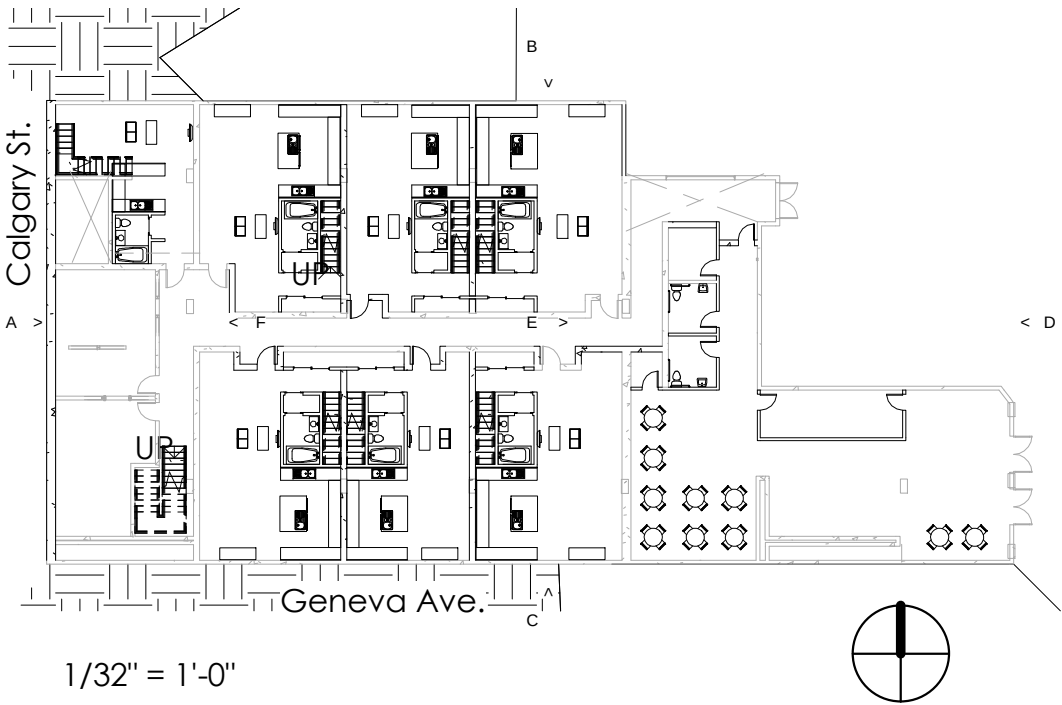
D. Interior Elevation - West

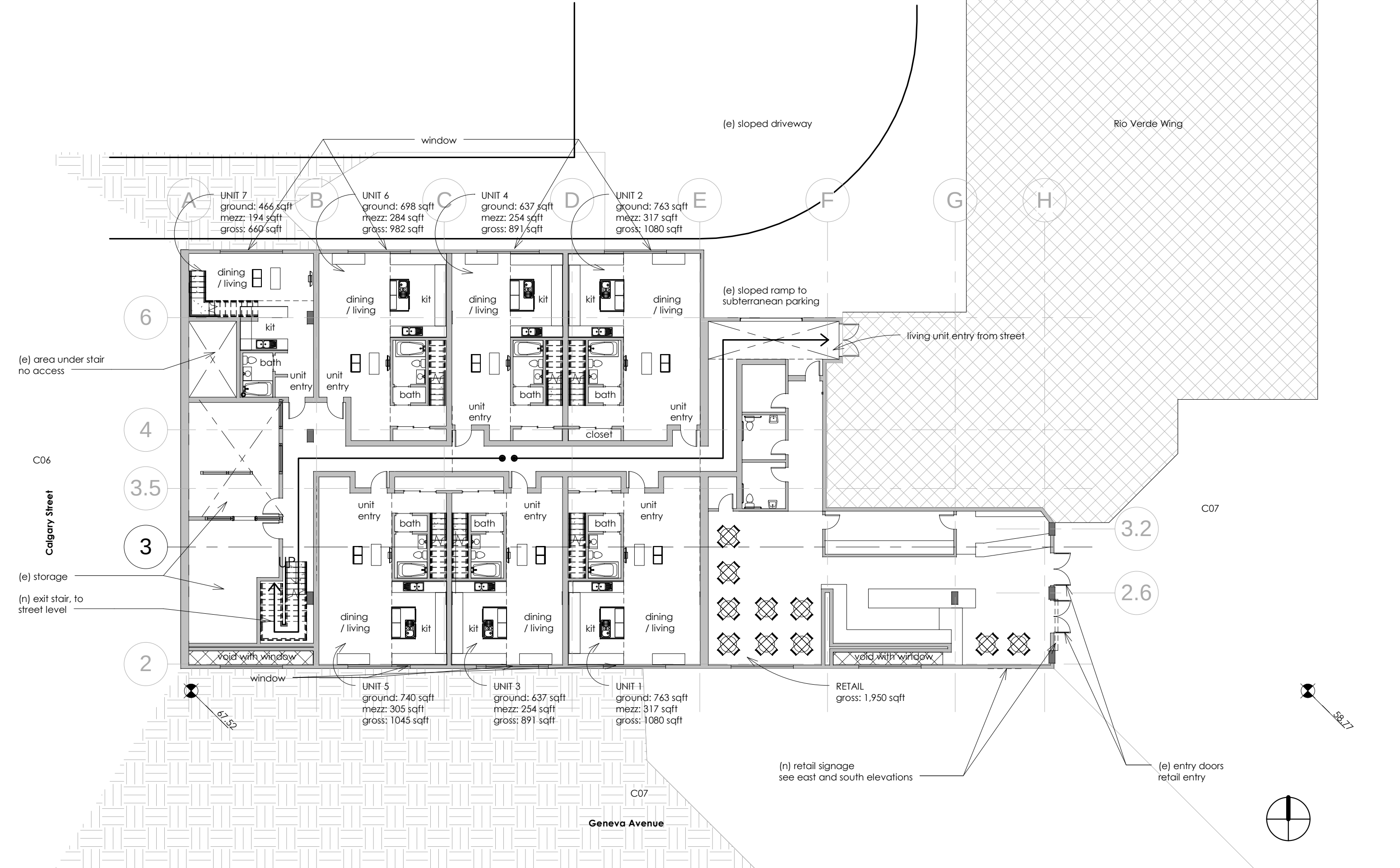


E. Interior Elevation - East



F. Interior Elevation - West





Calgary Street

(e) sloped driveway

Rio Verde Wing

(e) sloped ramp to
subterranean parking

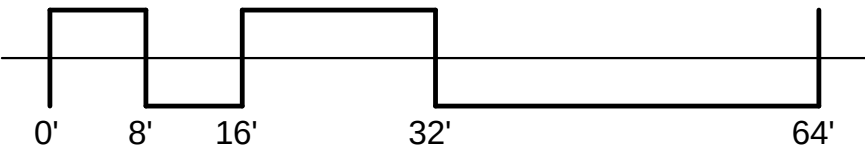
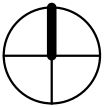
void

void

open to retail below

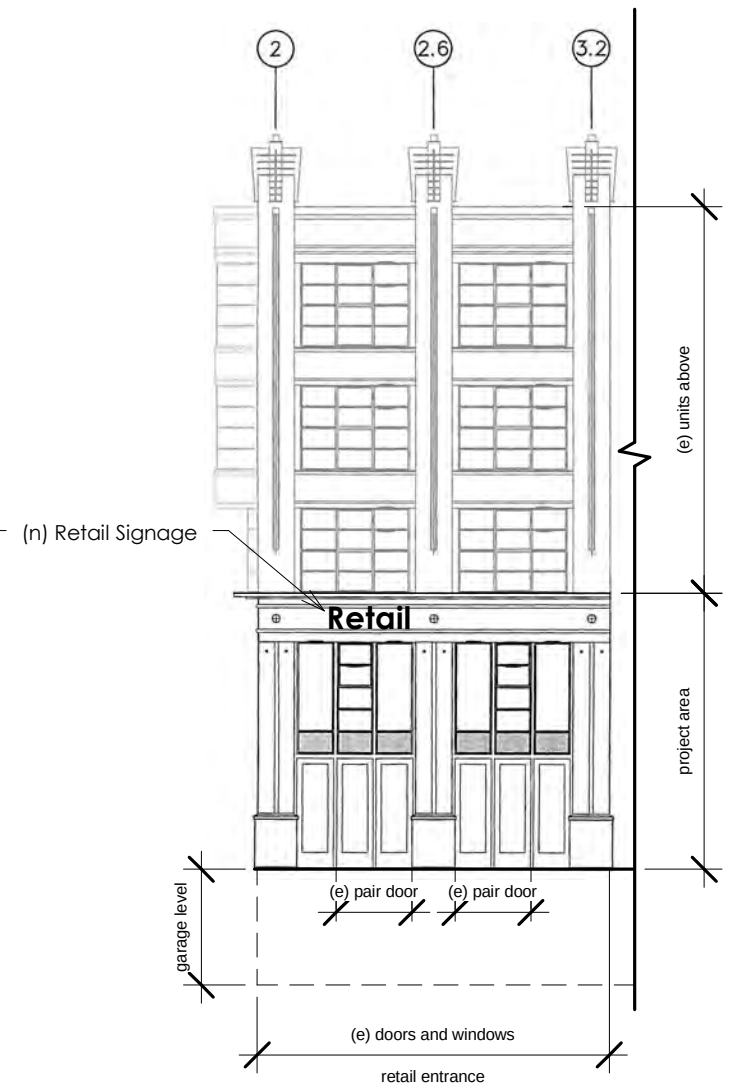
void with window

Geneva Avenue





3 Geneva Avenue - south elevation
scale: NTS



2 Rio Verde Street - east elevation
scale: NTS



1 **Parking Lot - north elevation**
scale: NTS



4 **Calgary Street - west elevation**
scale: NTS

Plot Date: Mar 18, 2016 - 1:45pm Plotted by: Jayson Filename: 15138_S0.1.dwg

DESIGN

Design conforms to the California Building Code, 2013 Edition.
Design live loads:

1st Floor	100 psf	Stair	100 psf
Mezzanine Floor	100 psf	Soil Profile	Ds
Seismic Design Category (SDC)	D	S ₁	1.939
R (Wood Stud Shear Walls)	5.5	S ₂	0.62
Wind Exposure	B, 110 mph	F _e1.0	F _w1.5

Dimensions refer to rough concrete surfaces, face of studs, face of concrete block, top of sheathing, or top of slab, unless otherwise indicated.

Typical Details and notes on these sheets shall apply unless specifically shown or noted otherwise. Construction details not fully shown or noted shall be similar to details for similar conditions. All work and construction shall comply with all applicable building codes, regulations, and safety requirements.

Discrepancies: The Contractor shall inform the Architect in writing, during the bidding period, of any discrepancies or omissions noted on the drawings or in the specifications, or of any variations needed in order to conform to codes, rules, and regulations. Upon receipt of such information, the Architect will send written instructions to all concerned. Any such discrepancy, omission, or variation not reported shall be the responsibility of the Contractor, and work shall be performed in a manner as directed by the Architect.

Shoring: It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, and formwork, etc., as required for the protection of life and property during the construction of this building.

Other Trades: See architectural, electrical, and mechanical drawings for size and location of pipe, vent, duct, and other openings, and details not shown on these structural drawings. All dimensions are to be checked and verified with the architectural drawings.

Bracing: Do all temporary bracing as required to hold the various elements in place until final support is securely anchored.

Welding shall be performed by welders certified for the welds to be made. See specifications for welding process to be used.

Shop Drawings shall be submitted to Architect for review, where noted. Engineer will review 1 reproducible copy and 2 prints.

Waterproofing: Specifications and detailing of all waterproofing and drainage items, although sometimes indicated on the structural drawings for general information purposes only, are solely the design responsibility of others.

FOUNDATIONS

Foundations conform to recommendations of Geotechnical Report prepared by Krazan & Associates, Inc. entitled "Geotechnical Engineering Investigation, Proposed La Quinta Inn & Suites, 4221 Evora Road, Bay Point, California" dated April 3, 2007.

Refer to Geotechnical Report for additional recommendations not listed below. All site grading, fills, and soil preparation shall conform to the Geotechnical Report and all work shall be done under the supervision of the Geotechnical Engineer.

Maximum soil pressure	= 1875 psf DL
	= 2500 psf DL + LL
	= 3325 psf DL + LL + EQ/WIND

Material for rock base under concrete slabs on grade shall consist of 2" thick layer of damp clean sand over a visqueen moisture barrier over 3" minimum of compacted clean 3/4" Gravel. Gravel shall be rolled to a smooth surface. All footings shall be founded at a depth at least 24" below lowest adjacent grade. Footing depths shown on drawings are minimum depths. Footings may be poured in neat excavated trenches. Footings and slab-on-grade shall bear upon non-expansive soil or lime treated Engineered fill compacted at least 90% minimum relative compaction as determine by ASTM D1557. See soils report.

STRUCTURAL STEEL AND MISCELLANEOUS IRON

Structural Steel and Miscellaneous Iron shall be fabricated and erected according to the American Institute of Steel Construction's "Specifications for Structural Steel Buildings," latest edition and the "Code for Standard Practice for Steel Buildings and Bridges," latest edition.

Unless otherwise noted, steel shall conform to ASTM Specification A992. Steel pipe column shall conform to ASTM A53 Grade B (Fy = 35 ksi) or ASTM A501 (Fy = 36 ksi). Structural Tubing shall conform to ASTM A500 Grade B. Use bars in lieu of plates wherever practical or called for on plans.

All steel to steel bolted connections shall be bolted with high strength bolts according to ASTM A325 and ASTM A490, as approved by the Research Council of Riveted and Bolted Structural Joints. Other bolted connections, including anchor bolts, shall be bolted with unfinished bolts according to ASTM A307.

All welded connections shall be welded according to the American Welding Society's AWS D1.1 "Structural Welding Code - Steel," latest edition. All welds shall be made with low-hydrogen electrodes using matching filler metals. Submit a written Welding Procedure Specifications (WPS) for all welds directly to the Structural Engineer and Testing Agency for review per AWS D1.1

Galvanize according to ASTM A123, hot dip process, where galvanizing is called for on plans.

Shop drawings shall be submitted to the Architect for approval prior to fabrication.

The testing agency shall send copies of all structural testing and inspection reports directly to the Structural Engineer.

Structural steel members shall be fire proofed in accordance with Section 704 and Table 7A of the CBC.

POWDER DRIVEN PINS

Except at shear walls, bearing walls and exterior walls, sills may be fastened to the concrete slabs using powder driven pins following the manu- facturer's installation recommendations, unless otherwise noted. The fastening system used shall have the approval of the International Conference of Building Officials. Pins shall have a minimum shank diameter of 0.145", a minimum length of 1", and shall be spaced at 12"o.c. maximum. See P/T note #11.

CARPENTRY

Framing lumber shall meet the following minimum standard except where otherwise noted:

USE	SPECIES	GRADE	AUTHORITY
Mudsills	2 x	D.F.	No. 2 or Better Pressure Treated
			UBC Sec. 2317.4

Plywood (or equivalent A.P.A. marked O.S.B. panels)	A.P.A. Grade Marked	Exposure 1 or CD Int. w/ Exterior Glue	UBC Standards 23-2 or 23-3
--	------------------------	---	-------------------------------

Horizontal framing lumber:

4 x 4 and smaller	D.F.	No. 2	WCL1B & WWPA
2 x roof joists and rafters	D.F.	No. 2	WCL1B & WWPA
* 2 x or 3X floor joists	D.F.	No. 2	WCL1B & WWPA
4 x headers and beams	D.F.	No. 2	WCL1B & WWPA
6 x 6 and larger	D.F.	No. 1	WCL1B & WWPA

Vertical framing lumber:

2 x 4 & 3 x 4 studs	D.F.	Stud	WCL1B & WWPA
2 x 6 & 2 x 8 studs	D.F.	No. 2	WCL1B & WWPA
4 x 4 & 4 x 6 posts	D.F.	No. 2	WCL1B & WWPA
6 x 6 & larger posts	D.F.	No. 1	WCL1B & WWPA

All other framing lumber, u.n.o.	D.F.	Standard & Better	WCL1B & WWPA
-------------------------------------	------	-------------------	--------------

Floor joists shall be grade stamped "S-DRY" which indicates a moisture content not exceeding 19 percent.

Stud walls shown on plans are below framing level.

All stud walls shall be as follows:

1st Floor :	2x4 studs at 16"o.c. at non-bearing partitions
(Below PT Slab)	2x6 studs at 16" o.c. at exterior walls.

1st Floor :	2x4 studs at 16"o.c. at non-bearing partitions
	3x4 studs at 16"o.c. as required by shear wall schedule
	3x4 studs at 16"o.c. at bearing walls.
	2x4 min studs at 8"o.c. staggered on 2x6 plate at party walls.
	2x6 studs at 16" o.c. at exterior walls.

Joist hangers and other metal framing accessories are referred to on plans by particular type as manufactured by Simpson Company, San Leandro, California. USP lumber connectors are an acceptable alternative.

The Tiedown System shall be the Anchor Tiedown System provided by Simpson Strongtie, Inc. per ICBO No. 5090 Engineering calculations, shop drawings, and layouts, as required, prepared by Simpson, shall be provided for review and approval of the Project Design Professional.

Schedule of Minimum Permissible Nailing

Studs to bearings 2x, 3x Studs 2-16d nails (tilt-up) or 2-8d toenails each side

Dbl. 2" top plates	Lower plate to stud Upper to lower staggered Lap at splices Lap at intersections	2-16d 16d at 12"o.c. except at lap 12-16d 2-16d
Joist, Rafter	To bearing To parallel members	2-8d toenails each side 16d at 12"o.c.
Upper sole plate	To joist or blocking	16d at 8"o.c.
Blocking	To joist or rafter	2-16d toenails each end
Horizontal blocking	To studs	2-16d toenails each end
Multiple members	To adjacent member	16d at 12"o.c.
Plywood	To blocking	Edge nailing with 8d or 10d at 6"o.c. See typical plywood nailing

Plywood nails shown on plans, but not noted for size or spacing	To supporting member	Plywood edge nailing
---	----------------------	----------------------

Nails shown on plans, but not noted for size or spacing	To adjacent member	16d at 12"o.c.
---	--------------------	----------------

Truss Bottom Chord	Each Bearing	2-16d toenails each side
--------------------	--------------	--------------------------

Provide the following Blocking as a minimum, unless shown otherwise:
2" x full depth solid blocking between joists over support.
2" x full depth solid blocking between joists over and below partition walls.

Pre-drill nail holes to 70% of nail shank diameter where nailing tends to split wood.

Fire stopping, backing for interior finishes, nonbearing walls, and other non-structural framing are not necessarily shown on structural drawings.

Common nails are required at the following locations:

- At all Simpson hardware including straps, clips, angles, and joist hangers.
- At floor and roof plywood edge and field nailing.
- At plywood shear wall edge and field nailing.
- At shear wall sole plate to blocking or joist nailing.
- At double top plate splices.
- At ledgers or plywood edge blocking to framing
- At doubled joists.

Plywood Sheathing - Plywood floor sheathing shall be 3/4" T&G Ident Index 40/20 Plywood wall sheathing shall be 15/32" Structural I, see Schedule

Note that where plans, notes and details call for plywood, only A.P.A. rated sheathing (plywood or oriented strand board) may be used.

Plywood Installation - Plywood roof and floor sheathing shall be laid with the grain of the outer plies perpendicular to the framing members and end joints shall be staggered. Wall sheathing shall be applied vertically.

Unless otherwise noted, plywood nails shall be common. Equivalent pneumatic driven nails or staples may be used if fastener manufacturer has received ICBO approval according to NER #272. Fasteners to be substituted shall be equivalent in lateral and withdrawal strength to the size of common nail specified.

Floor Sheathing - Edge blocking of unsupported edges of plywood sheathing may be omitted if tongue and groove plywood is used unless specifically called for on plans. All of 2nd floor shall be blocked as indicated on plans. Refer to section entitled "Glued Floor System" for additional criteria.

Typical nailing shall be 10d at 6"o.c. at all supported edges and over shear walls, and 10d at 12"o.c. at all intermediate supports, unless otherwise noted, see plans.

EPOXY

Epoxy shall be manufactured by Hilti, Inc. Use Hilti HY-150 adhesive for concrete masonry applications (ICC Report No. 2678) and Use Hilti HIT-RE 500-SD for concrete applications (ICC Report No. 2322). Drill holes and install epoxy according to manufacturers recommendations. Holes are to be cleaned using a nylon brush and a jet of compressed air. Special inspection required. Alternate: At concrete masonry anchorage, SIMPSON EPOXY SET (ICC Report No.1772) may be used; At concrete anchorage, SIMPSON EPOXY SET-XP (ICC Report No. 2508) may be used. Use non-sag epoxy in horizontal and overhead applications.

SYMBOLS AND ABBREVIATIONS

A. B.	ANCHOR BOLT	M. B.	MACHINE BOLT
BLK.	BLOCK	MAX.	MAXIMUM
BLKG.	BLOCKING	MIN.	MINIMUM
BM.	BEAM	MISC.	MISCELLANEOUS
BOTT.	BOTTOM	(N)	NEW
BTWN.	BETWEEN	N. S.	NEAR SIDE
C. J.	CONST. JOINT	NO.	NUMBER
CLR.	CLEAR	o. c.	ON CENTER
COL.	COLUMN	O. H.	OPPOSITE HAND
CONC.	CONCRETE	OPNG.	OPENING
CONT.	CONTINUOUS	P. D. P.	POWDER DRIVEN PIN
CONST.	CONSTRUCTION	PL.	PLATE
CTRD.	CENTERED	PLYWD.	PLYWOOD
DBL.	DOUBLE	REINF.	REINFORCING
DIA.	DIAMETER	REQD.	REQUIRED
DN.	DOWN	S. A. D.	SEE ARCH. DRAWINGS
DWG.	DRAWING	S. O. G.	SLAB ON GRADE
(E)	EXISTING	SECT.	SECTION
E. F.	EACH FACE	SHGT.	SHEATHING
E. J.	EXP. JOINT	SIM.	SIMILAR
E. N.	EDGE NAIL	SP.	SPACING
E. W.	EACH WAY	SQ.	SQUARE
EA.	EACH	STRL.	STRUCTURAL
EL.	ELEVATION	SYM.	SYMMETRICAL
EMBDMT.	EMBEDMENT	T. O.	TOP OF
EQ.	EQUAL	T&B	TOP & BOTTOM
EXIST.	EXISTING	T&G	TONGUE & GROOVE
EXP.	EXPANSION	THK.	THICK(NESS)
EXT.	EXTERIOR	TYP.	TYPICAL
F. O. S.	FACE OF STUD	U. N. O.	UNLESS NOTED OTHERWISE
FIN.	FINISH	VERT.	VERTICAL
FLR.	FLOOR	w/	WITH
FTG.	FOOTING	W. W. F.	WELDED WIRE FABRIC
FOUND.	FOUNDATION	@	AT
G. L. B.	GLU-LAM BEAM	#	AND
GRD.	GRADE	#	NUMBER
HDR.	HEADER	ø	DIAMETER
HORIZ.	HORIZONTAL	d	PENNY
INT.	INTERIOR	L	ANGLE
JT.	JOINT	℄	CENTER LINE
JST.	JOIST		

SPECIAL INSPECTION

The following items shall be inspected in accordance with UBC 1701 by a certified special inspector from an established Testing Agency, when indicated as "required". All inspection shall be continuous unless otherwise noted. For material testing requirements, see specifications and/or general notes. Testing agency shall send copies of all structural testing and inspection reports directly to the Engineer, Architect, and Building Department.

Item	Remarks
Expansion bolt placement	Placement and installation torque
Epoxy embeds, hole size and cleanliness	Periodic, inspect all holes
Shear wall nailing	
Anchor bolts/hold down bolts/clips & straps	
Structural steel field welding, periodic	Fillet Welds
Structural steel shop welding, periodic	Fillet Welds
Structural steel shop welding, continuous	Partial or full penetration welds
Structural Steel Bolting	
Pre-Fab Roof Trusses	

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RMJ Job No.: 15138



PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA

FILE NUMBER:
214086

DATE	ISSUE
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SEAL/SIGNATURE

DRAWING DESCRIPTION

GENERAL NOTES

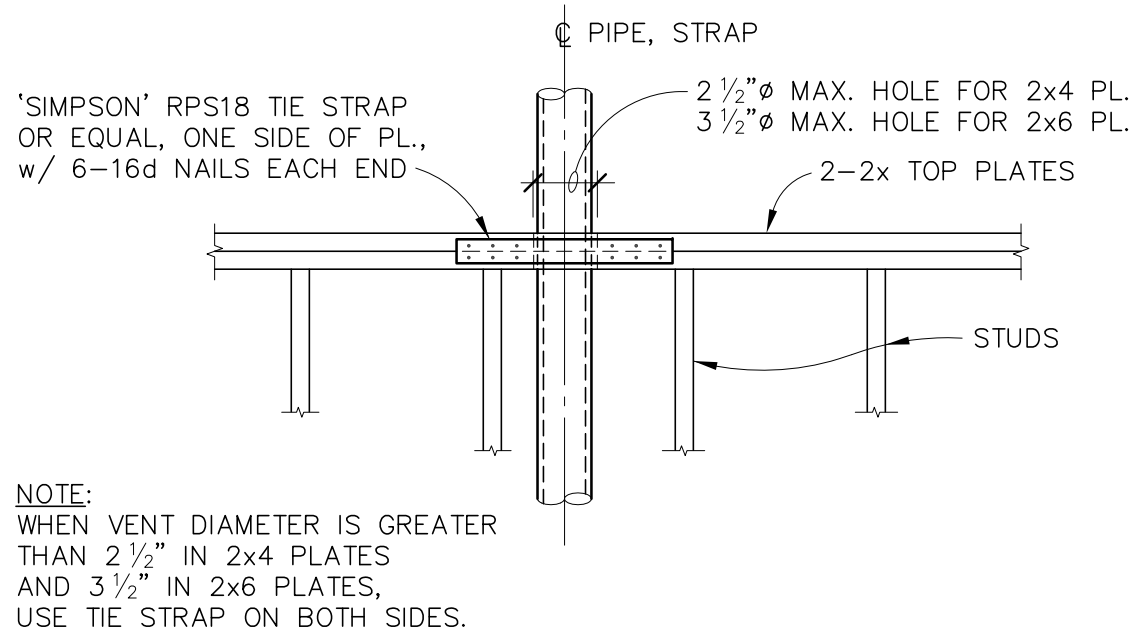
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SHEET NUMBER

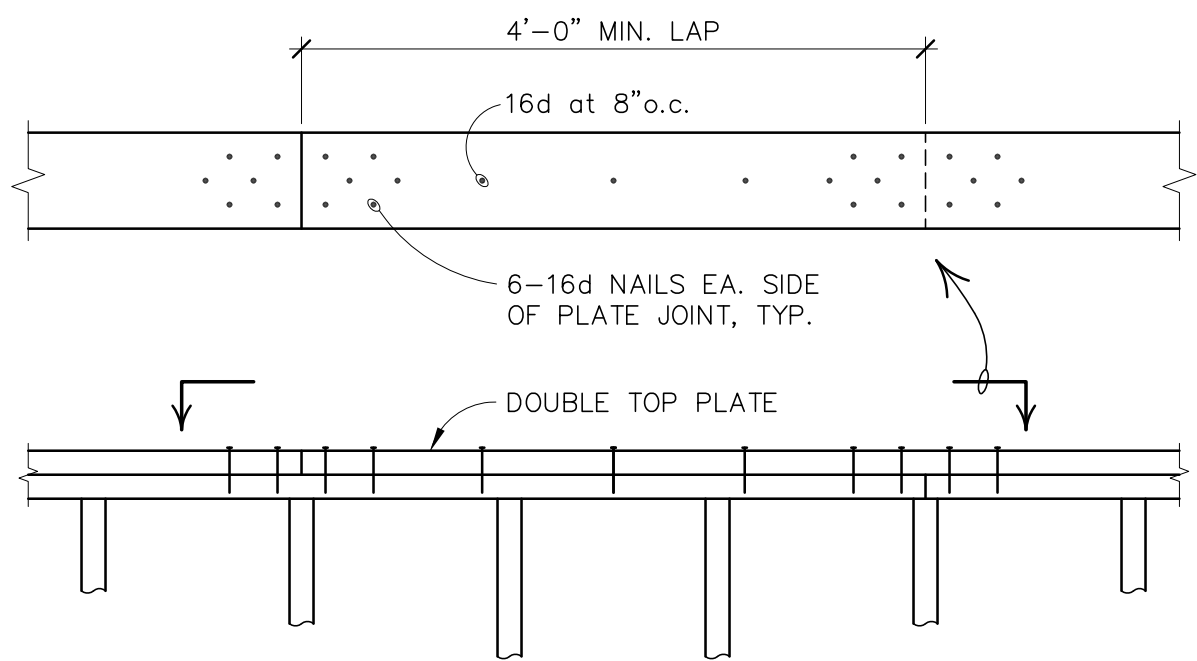
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Plot Date: Mar 18, 2016 - 1:45pm Plotted by: Jayson Filename: 15138_S3.0.dwg



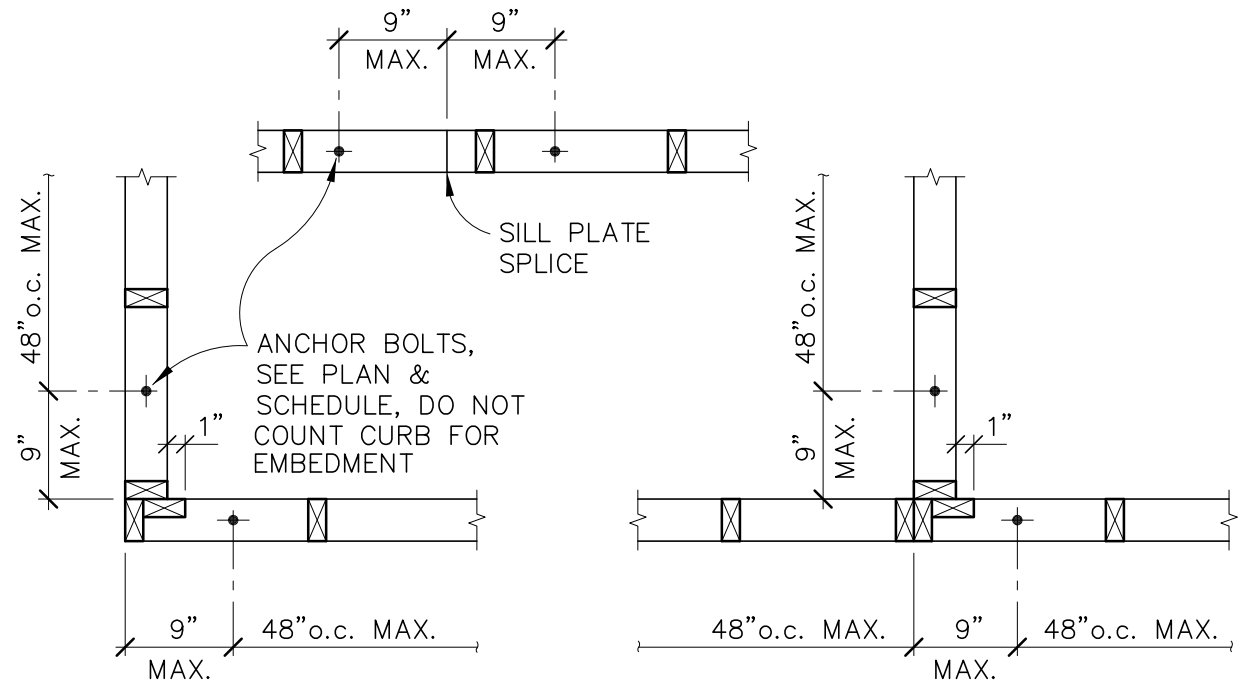
TYPICAL PLATE SPLICE
(WHEN VENT IS > 1/3 THE STUD WIDTH)

DETAIL 10
NO SCALE S3.0



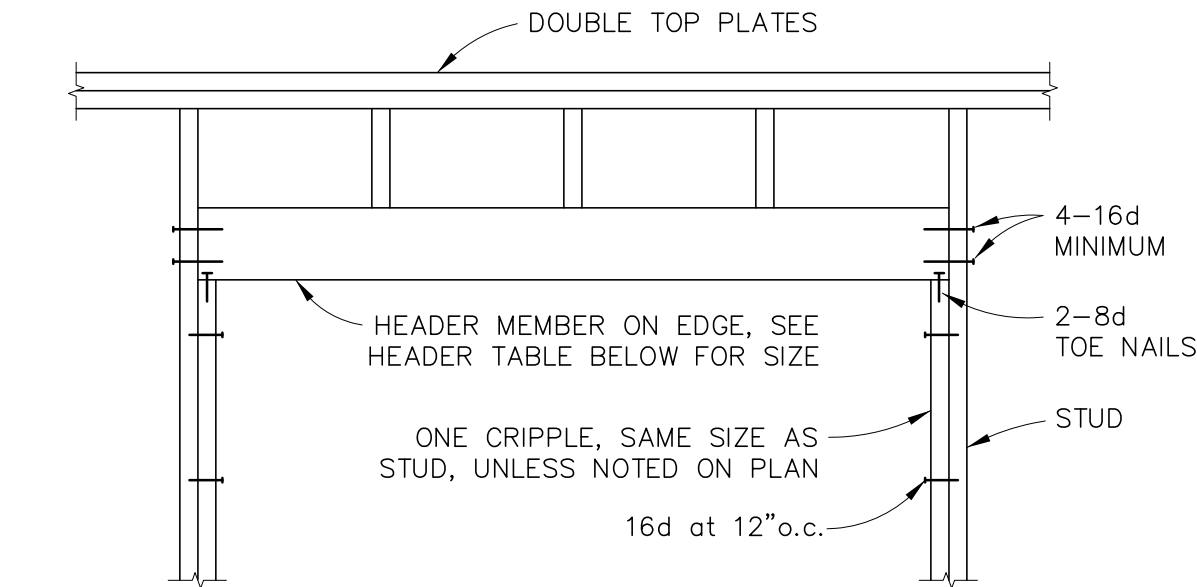
TYPICAL WALL TOP PLATE LAP

DETAIL 11
NO SCALE S3.0



TYPICAL STUD WALL CORNERS

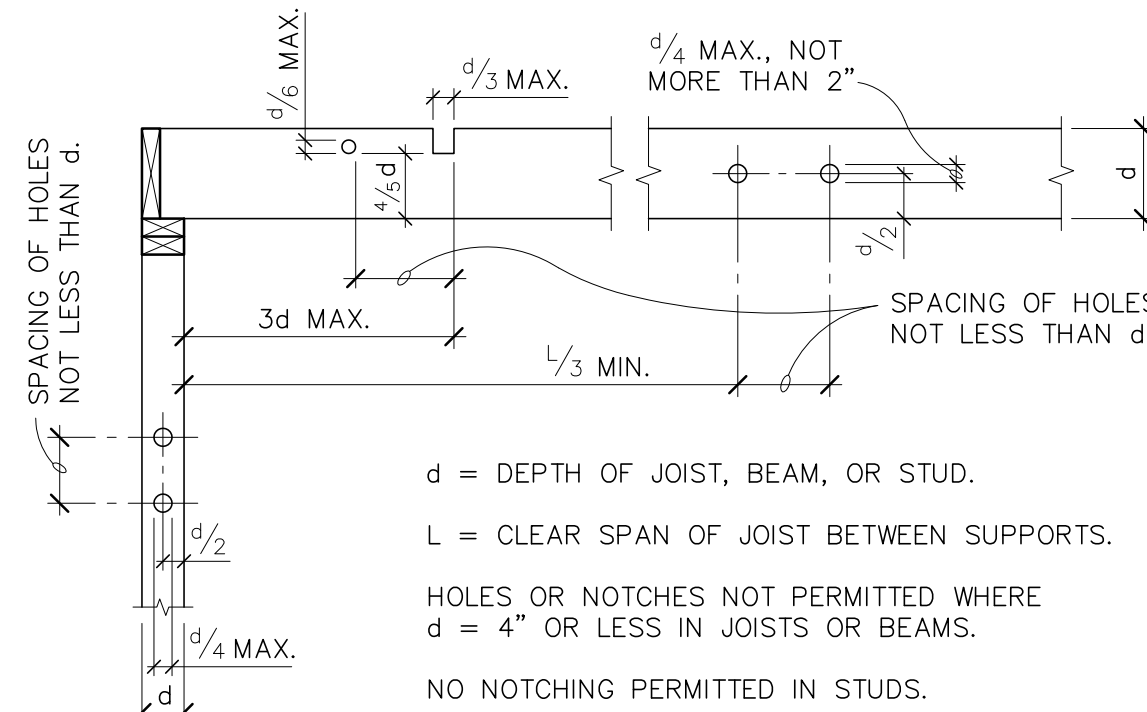
DETAIL 12
NO SCALE S3.0



HEADER SCHEDULE		
WIDTH OF OPENING	STUD WIDTH SIZE	
	2x4	2x6
3'-0" MAX.	4x6	6x6
6'-0" MAX.	4x8	6x8
OVER 6'-0"	SEE SPECIFIC DETAILS	

NOTE:
AT EXTERIOR AND INTERIOR WALLS, A 4x12 MIN. HEADER MAY BE USED IN LIEU OF THE HEADERS NOTED IN THE TABLE. (OMIT JACK STUDS IF 4x12 IS USED.)
TYP. HEADERS NOTED IN TABLE SHALL BE PROVIDED OVER ALL WINDOWS, DOOR, AND OTHER OPENINGS, UNLESS NOTED OTHERWISE AS SHOWN ON WINDOW AND DOOR DETAILS.

DETAIL 7
NO SCALE S3.0



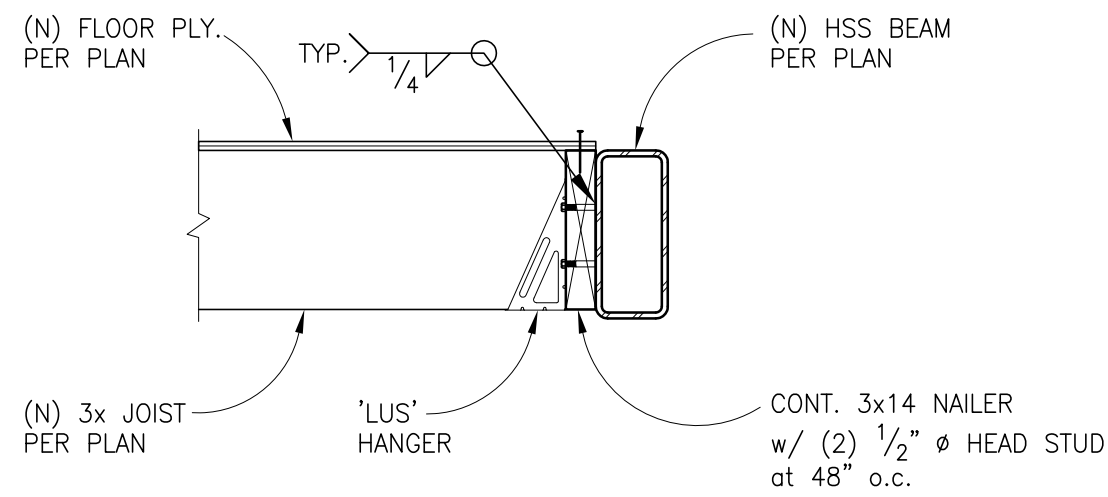
TYPICAL HOLES OR NOTCHES IN JOISTS AND STUDS

DETAIL 8
NO SCALE S3.0

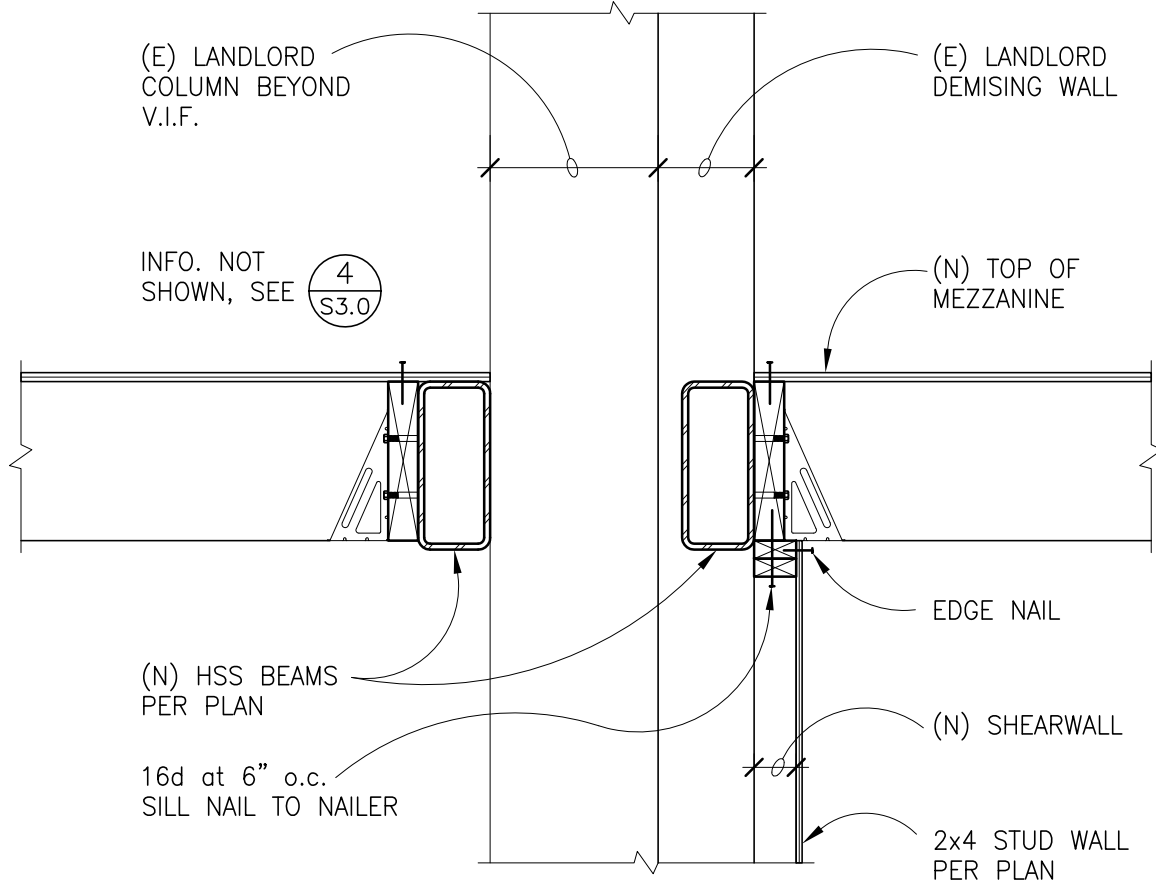
NOTE: PROVIDE HANGERS AS REQUIRED PER SCHEDULE UNLESS NOTED OTHERWISE ON PLANS AND DETAILS.

HANGER SCHEDULE		
BEAM OR JOIST	CONNECTED TO:	HANGER
2x10	WOOD BEAM	SIMPSON LUS28
	STEEL BEAM w/ NAILER	SIMPSON LB210
	CMU WALL w/ NAILER	SIMPSON LB210
2-2x10	WOOD BEAM	SIMPSON LUS28-2
	STEEL BEAM w/ NAILER	SIMPSON HUS210-2TF
4x10	WOOD BEAM	SIMPSON HUS410
6x10	WOOD BEAM	SIMPSON WNP610
TJI	(E) WOOD BEAM	BY MANUFACTURER

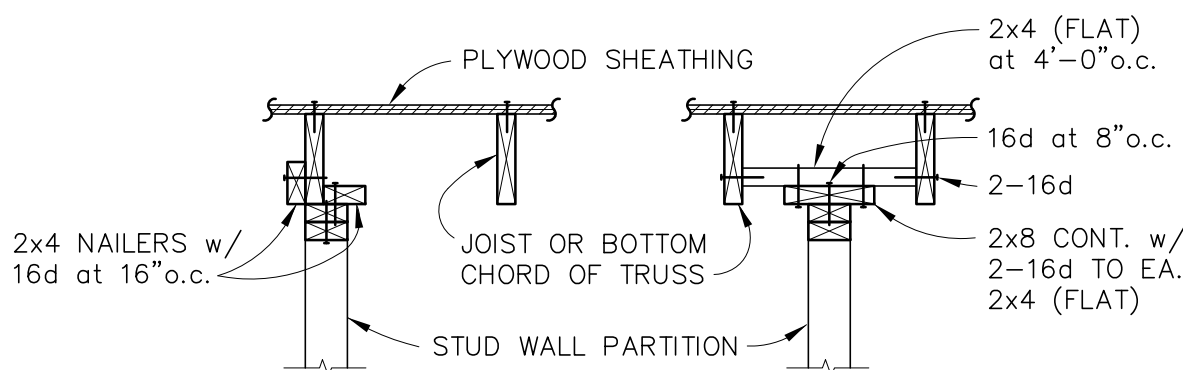
SCHEDULE 9
NO SCALE S3.0



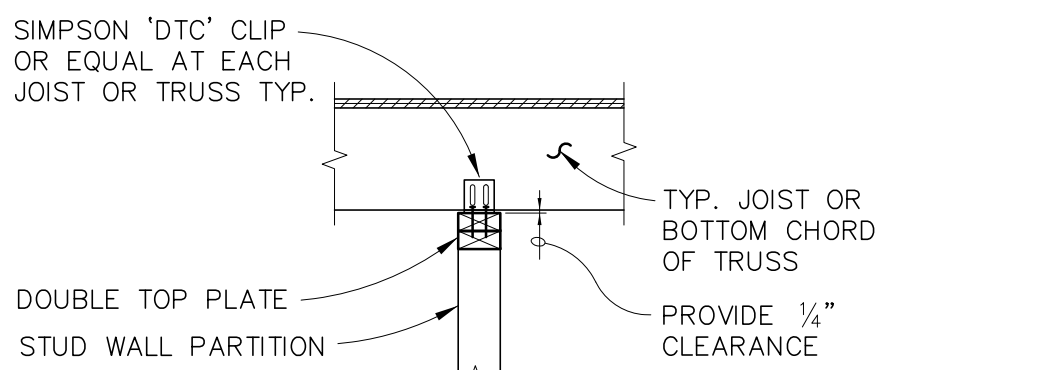
DETAIL 4
3/4"=1'-0" S3.0



SECTION 5
3/4"=1'-0" S3.0



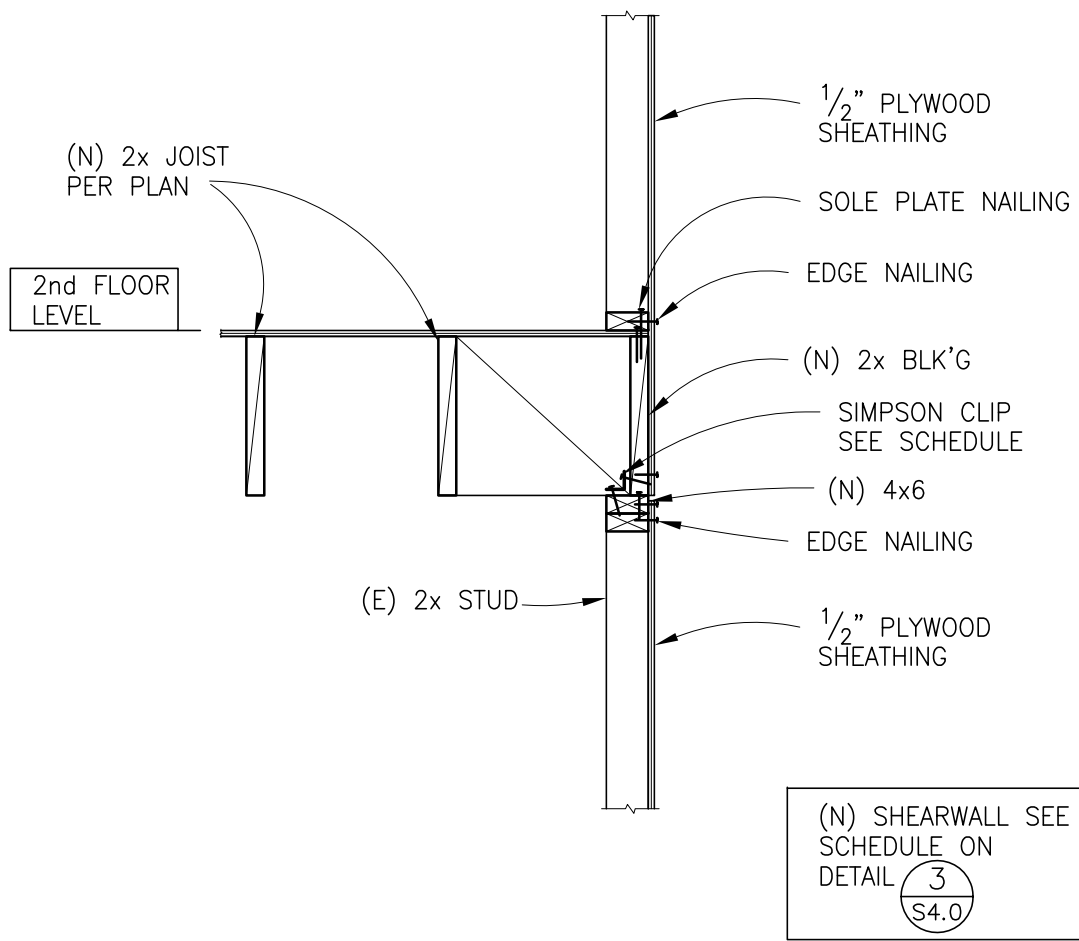
PARALLEL



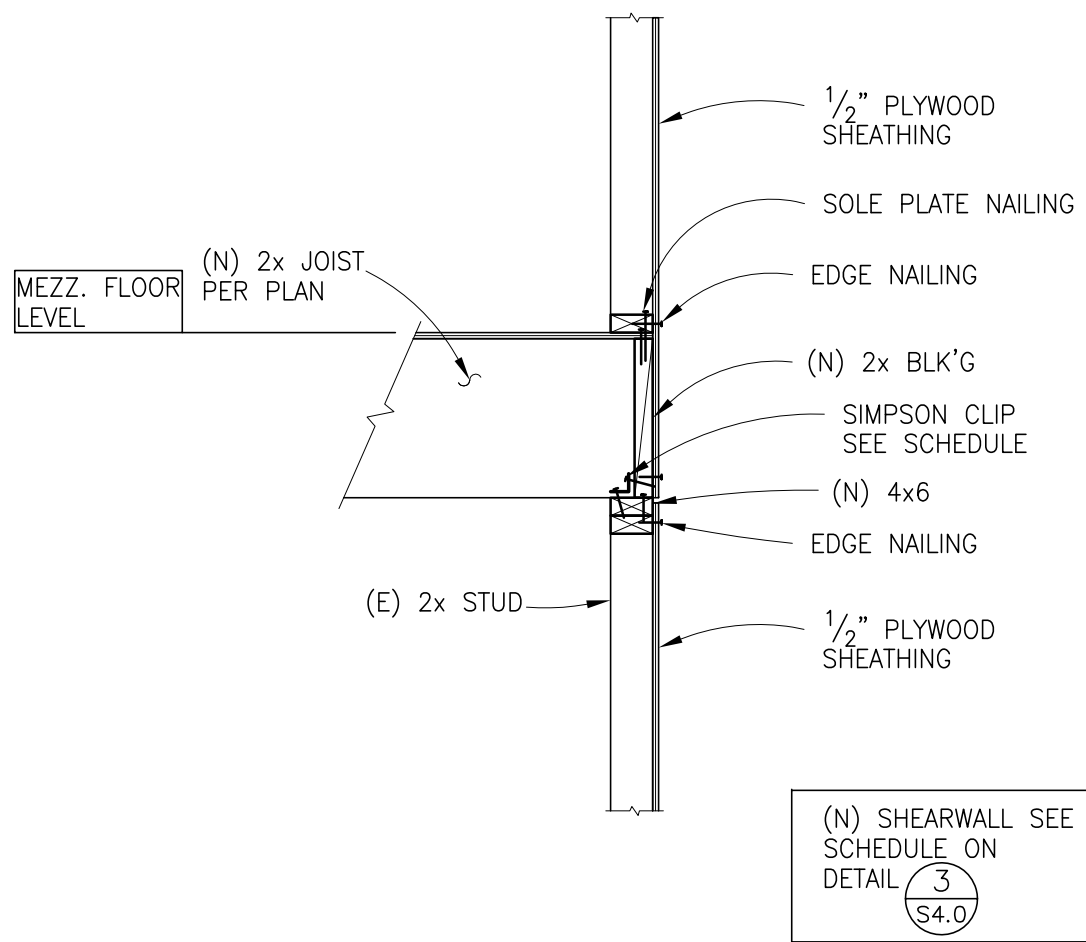
PERPENDICULAR

TYPICAL NON-BEARING STUD WALL AT FLOOR

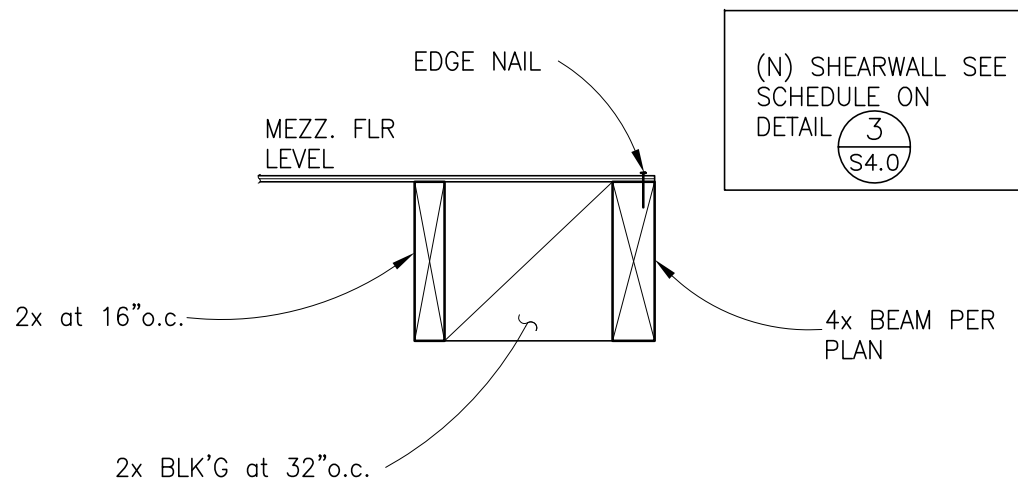
DETAIL 6
NO SCALE S3.0



SECTION 1
3/4"=1'-0" S3.0



SECTION 2
3/4"=1'-0" S3.0



DETAIL 3
3/4"=1'-0" S3.0

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ELEVATION AND DETAILS

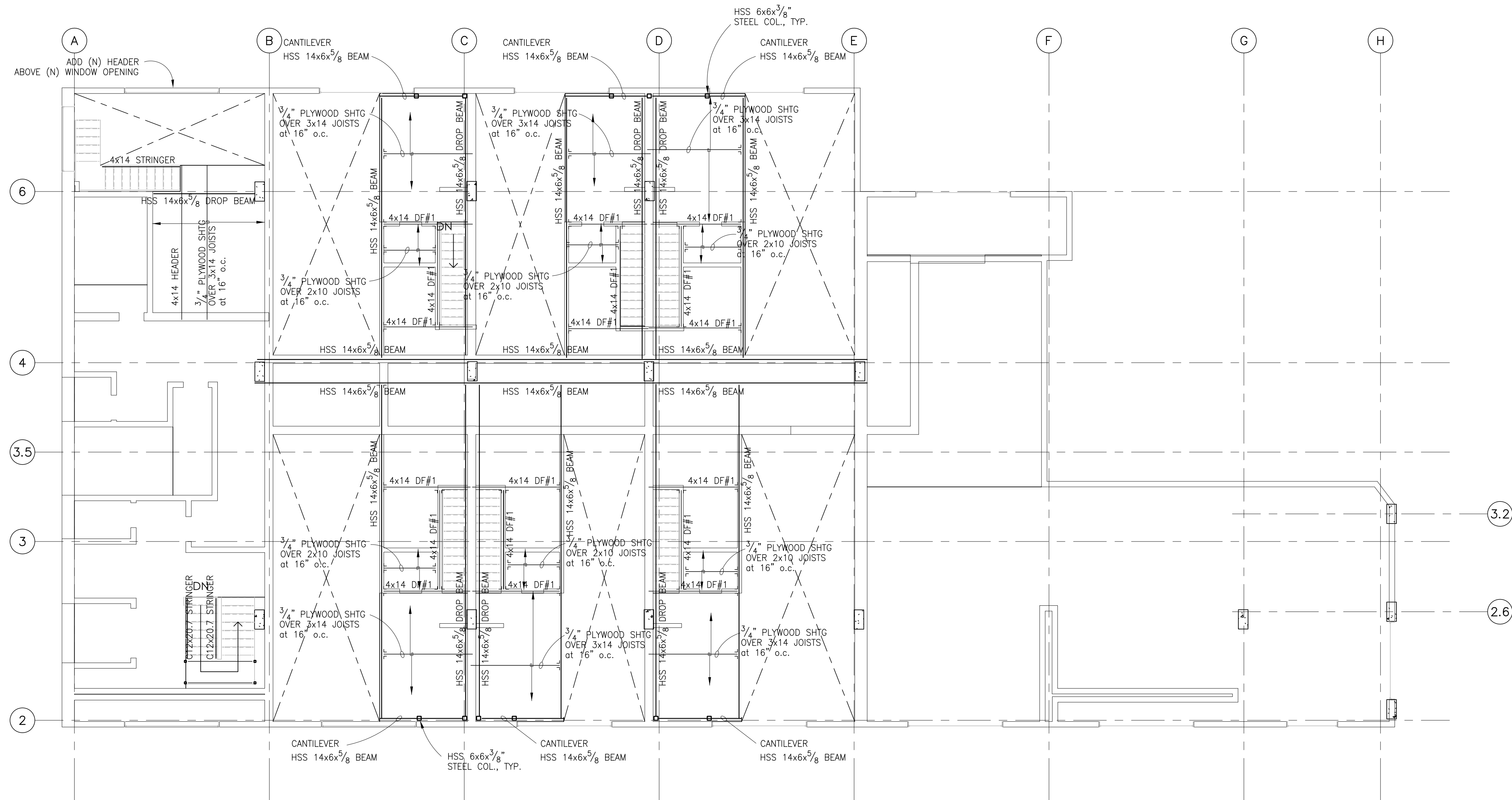
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SHEET NUMBER

S3.0

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MEZZANINE FLOOR PLAN 1
1/8"=1'-0" S2.0

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DRAWING DESCRIPTION

MEZZANINE FLOOR PLAN

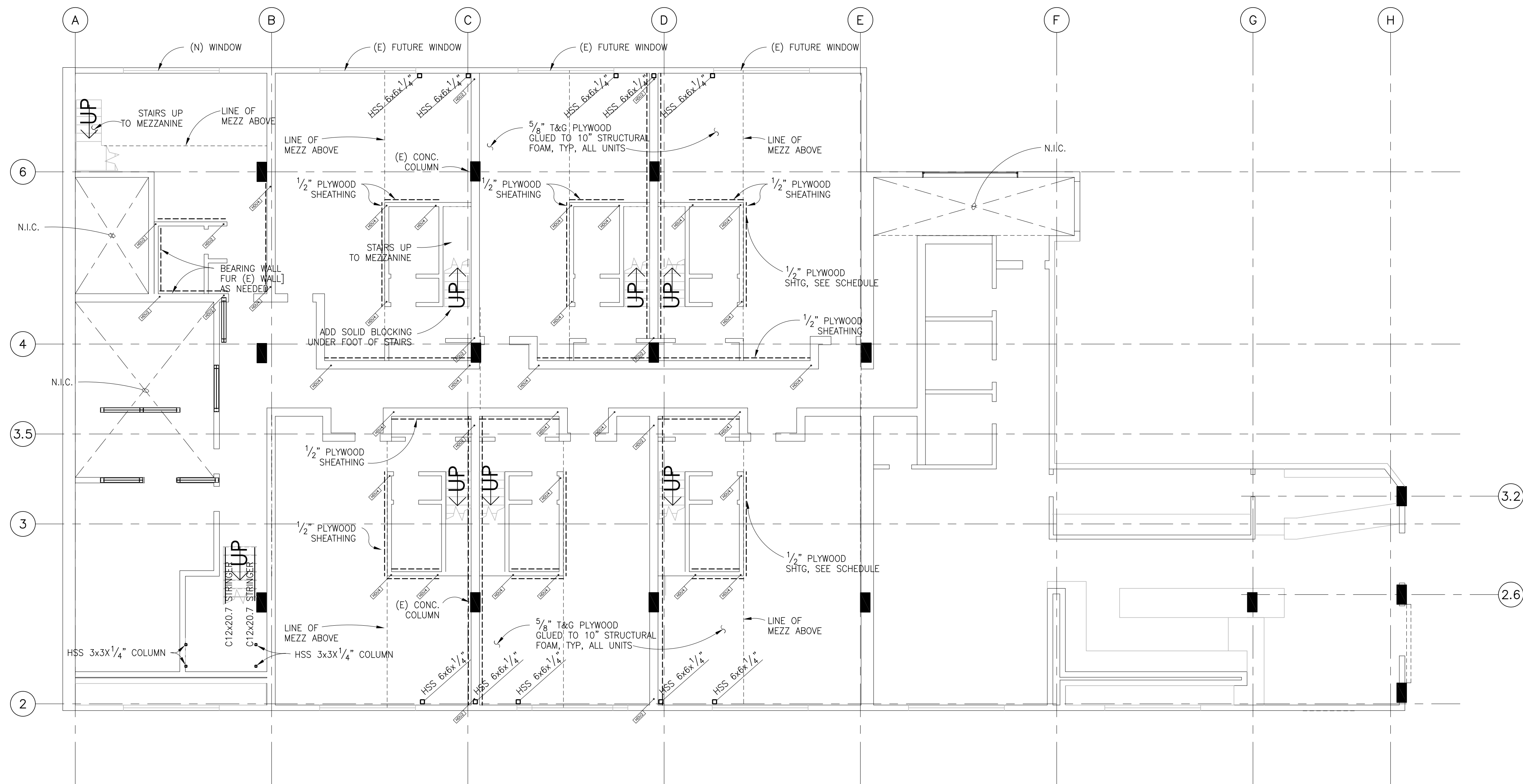
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1/8" = 1'-0"

SHEET NUMBER

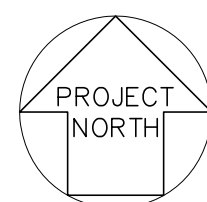
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Plot Date: Mar 18, 2016 - 12:39pm Plotted by: Jayson Filename: 15138_S1.0.dwg



- NOTES:
1. TYP. HOLDOWN SCHEDULE SEE 4
S4.0
 2. TYP. SHEARBOLT AT SHEARWALL SEE 2
S4.0

GROUND FLOOR PLAN 1
1/8"=1'-0" S1.0



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DRAWING DESCRIPTION

GROUND FLOOR PLAN

SCALE

1/8" : 1'-0"

SHEET NUMBER

S1.0

TYPICAL SIMPSON HOLDOWN SCHEDULE (HDU's)					
TYPE	HOLDOWN A.B./ROD SIZE	A.B. EMBEDMENT DEPTH IN (E) FDN (9)	SCREWS CONN TO HOLDOWN POST	ALLOW T (lbs)	MIN. POST SIZE (2)
HDU2	5/8"	7"	(6) SDS 1/4x3	3,075	4x
HDU4	5/8"	7"	(10) SDS 1/4x2-1/2	4,565	4x

NOTES:

- SEE PLAN FOR LOCATIONS OF HOLDOWNS
- ALL HOLDOWNS POSTS SHALL BE DF#1, FULL HEIGHT AND SAME WIDTH POST AS WALL WIDTH.
PROVIDE SHEARWALL EDGE NAILING (AS NOTED IN THE SHEARWALL SCHEDULE) TO ALL STUDS & POST WHICH HAVE HOLDOWNS @TOP OR BOTTOM.
- INSTALL ALL HARDWARE & ANCHOR BOLTS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- FASTENER (A.B. ETC.) OR PASSING THROUGH PRESERVATIVE TREATED WOOD SHALL BE HOT DIP GALVANIZED.
- A.B. INTALL w/ HILTI-HY-150 EPOXY INTO THE EXISTING CONCRETE SLAB

SCHEDULE

NO SCALE

4
S4.0

PLAN DETAIL

3/4" = 1'-0"

3
S4.0

SCHEDULE

NO SCALE

2
S4.0

TYPICAL FRAMING OF OPENING IN
EXTERIOR (PLYWOOD) SHEAR WALL

DETAIL

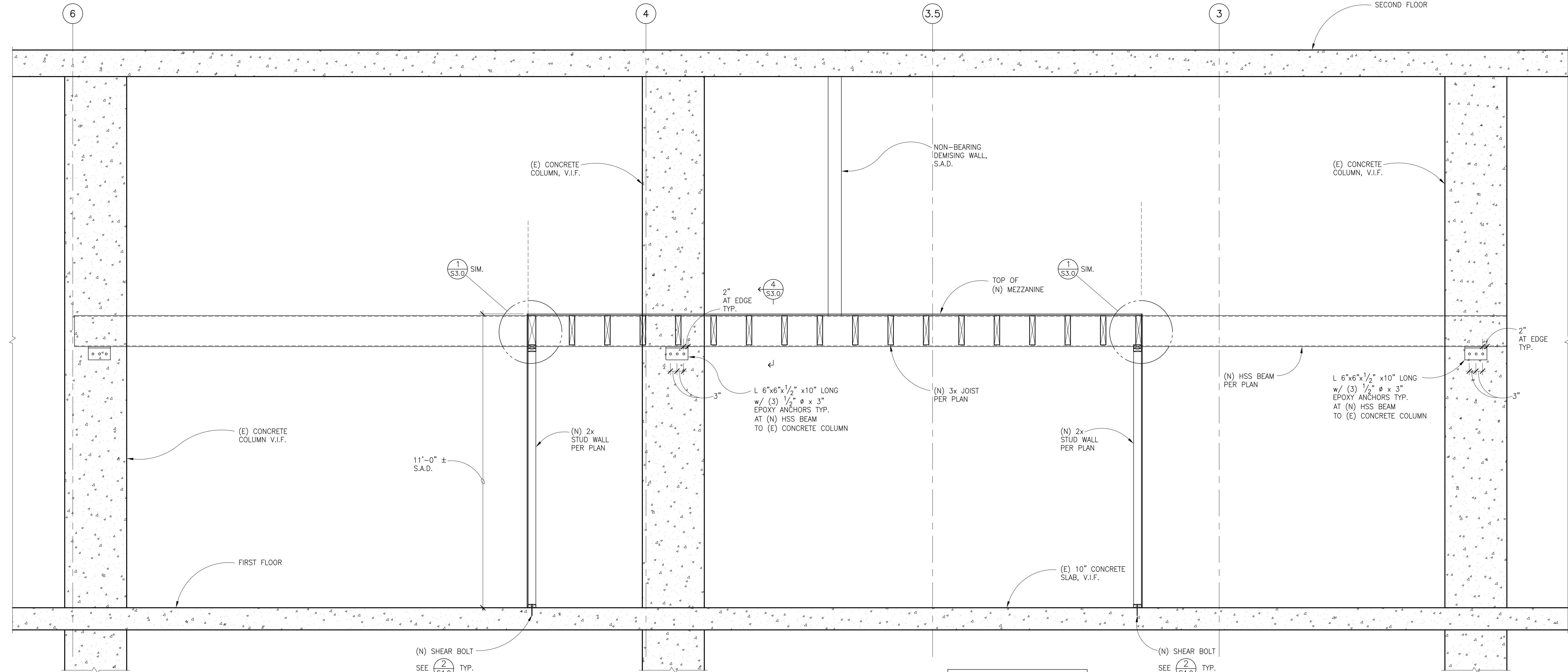
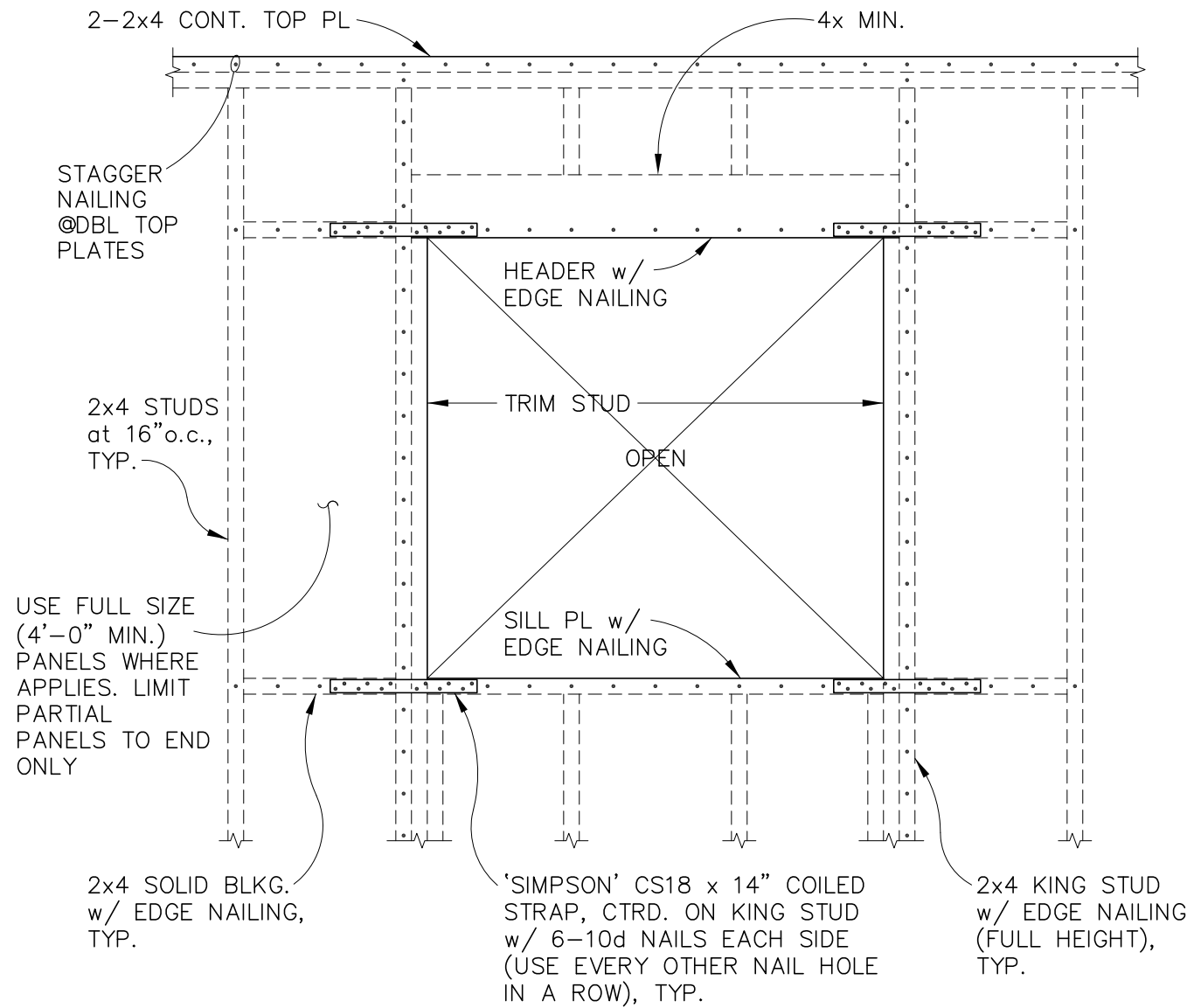
NO SCALE

1
S4.0

SHEAR WALL SCHEDULE

TYPE	PLYWOOD SHEATHING	EDGE NAILING	JOISTS OR BLOCKS TO TOP PLATE	SOLE PLATE TO JOIST OR BLKG.	SILL EPOXY BOLTS TO CONCRETE	ALLOW. SHEAR
	APA RATED EXPOSURE 1	10d COMMON NAILS AT	SIMPSON ANCHOR	16d BOX NAILS AT	5/8"ø x 3" at	P.L.F.
A	15/32"	6"o.c.	L50 at 16"o.c.	4"o.c.	48"o.c.	310
B	15/32"	4"o.c.	L70 at 16"o.c.	3"o.c.	32"o.c.	460

(1) FRAMING AT ADJOINING PANEL EDGES SHALL BE 3 INCH NOMINAL AND NAILS SHALL BE STAGGERED.



ELEVATION

1/2"=1'-0"

5
S4.0

NOTE: ANY CONCRETE SLAB DRILLING REQUIRE X-RAY REPORT TO AVOID DAMAGING (E) STEEL REINFORCEMENT

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PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA

FILE NUMBER:
214086

DATE ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

TYPICAL DETAILS

SCALE

1/8" : 1'-0"

SHEET NUMBER

S4.0

CALIFORNIA GREEN BUILDING REQUIREMENTS

1. BUILDING COMMISSIONING
3. IAQ POSTCONSTRUCTION
2. POLLUTANT CONTROL

SHEET INDEX

MO.1	SYMBOL, GENERAL NOTES
MO.2	MECHANICAL SCHEDULES
MO.3	MECHANICAL SEPECIFICATIONS
MO.4	TITLE 24 FORMS
MO.5	TITLE 24 FORMS
MO.6	TITLE 24 FORMS
M1.0	GROUND FLOOR PLAN
M2.0	MEZZANINE FLOOR PLAN
M3.0	MECHANICAL ELEVATIONS
M4.0	MECHANICAL DETAIL

LEGEND

SYMBOL & ABBREVIATION	DESCRIPTION
SA/SUP	SUPPLY AIR (RISE/DROP)
RA/RET	RETURN AIR DUCT (RISE/DROP)
EA/EXH	EXHAUST AIR DUCT (RISE/DROP)
CD/SG	CEILING DIFFUSER/SUPPLY GRILLE (ARROWHEAD REPRESENTS NUMBER OF THROW) (4-WAY TYPICAL IF NO ARROWS)
RR/RG	RETURN REGISTER/GRILLE
ER/EG	EXHAUST REGISTER/GRILLE
	RECTANGULAR DUCT ELBOW WITH TURNING VANES
FC	FLEXIBLE CONNECTION
MVD	MANUAL VOLUME DAMPER
FD	FIRE DAMPER
(L)	DUCT LINING (1" THICK UNLESS OTHERWISE NOTED)
	SINGLE LINE DUCT BRANCH TAKE-OFF
	DUCT TRANSITION (RECTANGULAR TO ROUND)
FLEX	FLEXIBLE DUCT (7'-0" MAXIMUM)
T-STAT	PROGRAMMABLE THERMOSTAT
SENSOR	TEMPERATURE SENSOR
SWITCH	THERMOSTAT SWITCH
SD	SMOKE DAMPER
FSD	BUILT IN FIRE/SMOKE COMBINATION DAMPER
FD	FIRE DAMPER
MD	MECHANICAL DAMPER
CD	CONDENSATE DRAIN
DIA.	DIAMETER
DL	DOOR LOUVER
UC	DOOR UNDERCUT (3/4" MINIMUM)
M	FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR
E	FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR
ME	FURNISHED BY MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR
CD-1	AIR DEVICE DESIGNATION
200	AIR QUANTITY IN CFM
RTU 1	MECHANICAL EQUIPMENT DESIGNATION DESIGNATED NUMBER
10x6 / #6	DUCTWORK 10"WIDTH x 6"HIGH / #6"DIA.
A/C . AC	AIR CONDITIONING
BDD	BACK DRAFT DAMPER
CLG.	CEILING
CONN.	CONNECT/CONNECTION
CONT.	CONTINUATION
CON'TR	CONTRACTOR
CFM	CUBIC FEET PER MINUTE
DET.	DETAIL
DISC.	DISCONNECT
EF	EXHAUST FAN
(E)	EXISTING
E.A.T.	ENTERING AIR TEMPERATURE
FD	FIRE/SMOKE DAMPER
GA.	GAGE/GAUGE
GC	GENERAL CONTRACTOR
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
Hz	HERTZ
MCA	MINIMUM CIRCUIT AMPACITY
MFR.	MANUFACTURER
MECH.	MECHANICAL
MOC	MAXIMUM OVERCURRENT PROTECTION
(N)	NEW
OA/OSA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
PH	PHASE
S/S	STAINLESS STEEL
TEMP.	TEMPERATURE
TYP.	TYPICAL
UON	UNLESS OTHERWISE NOTED
V	VOLTS
S.A.D	SEE ARCHITECTURAL DRAWING
S.L.D	SEE LANDSCAPE DRAWING
S.S.D	SEE STRUCTURAL DRAWING
S.C.D	SEE CIVIL DRAWING

GENERAL NOTES

- ALL WORK SHALL CONFORM TO 2013 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS, 2013 CALIFORNIA BUILDING CODE LOCAL AMENDMENTS AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- THIS CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.
- CONDENSATE DRAIN PIPING AND FINAL CONNECTION TO UNIT BY PLUMBING CONTRACTOR.
- CONNECT MAIN DUCT TO AIR CONDITIONING UNIT WITH WEATHERPROOF FLEXIBLE CONNECTION. SUN SHIELD OVER ENTIRE FLEXIBLE CONNECTION IS REQUIRED IF FLEXIBLE CONNECTION IS EXPOSED TO WEATHER.
- MOUNT THERMOSTATS AND SENSORS 48" AFF.
- PROVIDE FILTER FOR AIR CONDITIONING AND/OR AIR SIDE UNITS AS REQUIRED PER ASHRAE AND CODE.
- THIS CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR FOR SIZE AND LOCATION OF DUCTWORK ROOF OPENINGS AND WITH ELECTRICAL CONTRACTOR FOR ELECTRICAL REQUIREMENTS OF ALL MECHANICAL EQUIPMENT AND ARCHITECTURAL DRAWINGS FOR AIR DISTRIBUTION LOCATION AND EMS COMPANY.
- THE CONTRACTOR SHALL SUBMIT BID BASED ON THE DRAWINGS AND ALTERNATE FOR COST SAVING. THESE DRAWINGS ARE FOR BIDDING PURPOSES.
- COORDINATE THE LOCATION OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS. IN NO CASE SHALL LOWEST EDGE OF SUPPLY/RETURN GRILLE PROTRUDE BELOW CEILING OR CEILING GRID.
- DUCTS SHALL BE SUPPORTED WITH 1" WIDE 16-GAUGE HANGER STRAPS AND SHALL BE SPACED AT NO MORE THAN 7'-0" ON CENTERS AND SHALL BE SECURED TO STRUCTURAL MEMBER. EXPOSED DUCTWORK ON ROOF SHALL BE SUPPORTED BY GALVANIZED STEEL ANGLE & SHALL BE PER LOCAL CODE.
- ROUND AND RECTANGULAR DUCTWORK ARE INTERCHANGEABLE IF CROSS SECTION AREAS ARE EQUIVALENT. CONTRACTOR IS TO VERIFY THE EXACT CEILING SPACE AND INTERCHANGE THE DUCT SIZE TO FIT THE CEILING SPACE WITHOUT ADDITIONAL FEE CHARGE.
- INSTALL VOLUME CONTROL DAMPERS AT EACH SUPPLY DIFFUSER TO AFFORD COMPLETE CONTROL OF THE AIR FLOW IN THE VARIOUS DUCT SYSTEMS. INSTALL SPLITTER DAMPER AT DUCT TAKEOFFS AND DAMPER IF REQUIRED.
- COORDINATE ENTIRE INSTALLATION OF THE H.V.A.C. SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- PROVIDE BACK-DRAFT DAMPER FOR ALL EXHAUST AIR DUCT UNLESS OTHERWISE NOTED PER CODE.
- CONTRACTOR SHALL SUBMIT A COMPLETE BALANCE REPORT FOR APPROVAL. THE REPORT SHALL INCLUDE THE FOLLOWING:
 - AIR QUANTITIES AT EACH REGISTER.
 - STATIC PRESSURE READINGS AT INLET AND DISCHARGE OF EACH AIR HANDLING SYSTEM AND AT INLET OF EACH EXHAUST AIR SYSTEM.
 - COOLING AND HEATING SUPPLY AND RETURN AIR TEMPERATURES AT EACH AIR CONDITIONING UNIT.
 - ANTI VIBRATION AND OPERATION NOISE DAMPENING.
- ALL LINED DUCT DIMENSIONS ARE NET CLEAR DIMENSION AFTER LINING HAS BEEN INSTALLED.
- ANY MATERIAL, ARTICLE OR PIECE OF EQUIPMENT OTHER THAN THAT INDICATED SHALL NOT BE USED UNLESS APPROVED IN WRITING BY THE ENGINEER AND ANY CHANGES IN MECHANICAL, ELECTRICAL AND/OR OTHER SYSTEMS REQUIRED DUE TO SUCH SUBSTITUTION SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR; AND AT NO ADDITIONAL COST TO THE OWNER.
- EXHAUST TERMINATION SHALL BE MINIMUM 10'-0" AWAY OR 3'-0" ABOVE FROM ANY FRESH AIR INTAKE, OPENABLE WINDOWS, DOORS AND 10'-0" MINIMUM ABOVE GRADE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ACCESS DOORS AND/OR ACCESS PANELS AT LOCATIONS AS NECESSARY TO SERVICE FIRE DAMPERS AND PROVIDE MAINTENANCE FOR EQUIPMENT. ALL ACCESS DOORS AND PANEL LOCATIONS SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- ACCURATE AS-BUILT DRAWINGS SHALL BE MADE DURING CONSTRUCTION AND SUBMITTED FOR APPROVAL UPON COMPLETION OF INSTALLATION.
- EQUIPMENT APPROVAL AND INTERLOCK DIAGRAM SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PURCHASE OF INSTALLATION.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR COMPLETION OF THE WORK. ALL MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND GOVERNING REGULATIONS AND MEET THE APPROVAL OF THE LOCAL JURISDICTION.
- TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE MATERIALS BEFORE, DURING AND AFTER INSTALLATION. IN THE EVENT OF DAMAGE, IMMEDIATELY REPAIR ALL DAMAGED AND DEFECTIVE WORK TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETE SHOP DRAWINGS AND EQUIPMENT SUBMITTAL SHALL BE SUBMITTED AND APPROVED PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.
- FOUR SETS OF OPERATING AND MAINTENANCE MANUALS SHALL BE SUBMITTED UPON COMPLETION OF PROJECT.
- IN ADDITION TO EQUIPMENT WARRANTIES, FURNISH A WRITTEN GUARANTEE AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE YEAR. GUARANTEE SHALL INCLUDE REPAIR OF DAMAGE TO, OR REPLACEMENT OF, ANY PART OF EQUIPMENT OR PREMISES CAUSED BY EQUIPMENT PROVIDED.
- THESE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ALL OTHER TRADES. THIS INCLUDES COORDINATING THE LOCATION AND SIZE OF ALL OPENINGS, LOCATIONS OF EQUIPMENT PADS AND CHANGES OF ELEVATIONS OF DUCTWORK, PIPING AND OTHER EQUIPMENT.
- PROVIDE ALL FRESH AIR INTAKES AND EXHAUST OUTLETS WITH HOOD, 1/4" GALVANIZED MESH SCREENS PER 2013 CMC.
- DUCTWORK SHALL BE INSULATED OR LINED AS NOTED ON DRAWINGS. ALL DUCTWORK EXPOSED ON ROOF SHALL BE INTERNALLY LINED UNLESS OTHERWISE INDICATED OR SPECIFIED. ALL DUCT SIZES ARE INSIDE CLEAR SIZES. ALL DUCT JOINTS SHALL BE SEALED PER SPECIFICATIONS. MECHANICAL CONTRACTOR TO PROVIDE 1" ACOUSTICAL FIBERGLASS DUCT LINER FOR APPROXIMATELY 15'-0" FROM UNITS ON BOTH SUPPLY AND RETURN DUCTS. MINIMUM R-8.0 DUCT INSULATION IN UNCONDITIONED AREAS.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL FITTINGS, TRANSITIONS, DAMPERS, VALVES AND OTHER DEVICES REQUIRED FOR A COMPLETE WORKABLE INSTALLATION.
- FIRE SMOKE DAMPERS PER 2013 CBC.
 - PROVIDE FIRE SMOKE DAMPERS AT ALL PENETRATIONS OF FIRE-RATED CEILINGS AND WALLS THROUGHOUT. CONTRACTOR SHALL COORDINATE WITH FIRE-RATED CEILING AREAS AND WALLS AS INDICATED ON ARCHITECTURAL DRAWINGS AND LOCAL CODE REQUIREMENTS. THIS NOTE SHALL TAKE PRECEDENCE OVER ANY OMISSIONS ON THE DRAWINGS. SEE SPECIFICATIONS.
 - LOCATION OF FIRE-RATED CEILINGS AND WALLS ARE AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
- DUCTS SHALL BE SUPPORTED PER THE MINIMUM REQUIREMENT OF UMC AND SHALL BE BRACED AND GUTTED TO PREVENT LATERAL OR HORIZONTAL SWING. THE USE OF SEISMIC RESTRAINT GUIDE LINES PER SMACNA.
- ALL MECHANICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION PER SECTION 1707.3 OF THE CALIFORNIA BUILDING CODE. CONTRACTOR SHALL PROVIDE PROPER DOCUMENTS AND CALCULATIONS UPON REQUEST.
- ALL DUCTWORK SHALL BE CONSTRUCTED, ERECTED AND TESTED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) AND SHALL COMPLY WITH THE UNIFORM MECHANICAL CODE, WHICHEVER REQUIREMENT IS MOST STRINGENT.

CONTINUOUS GENERAL NOTES

- PROVIDE SMOKE DETECTORS AND AUTOMATIC SHUTOFF FOR HVAC UNITS OR COMBINATION THEREOF SUPPLYING AIR IN EXCESS OF 2000 CFM. WHERE FIRE DETECTION OR ALARM SYSTEMS ARE PROVIDED FOR THE BUILDING, THE SMOKE DETECTORS SHALL BE SUPERVISED BY SUCH SYSTEMS AND SHALL ACTIVATE THE FIRE ALARM SYSTEMS.
- PROVIDE HOUSE KEEPING CONCRETE PAD FOR EACH GARAGE EXHAUST FANS IN GARAGE AND WATER HEATERS IN BOILER ROOM. SEE ARCHITECTURAL DRAWING FOR DETAIL.

HYDRONIC HEATING PIPING DIAGRAM

SCALE
NONE

1

Plot Date: Mar 18, 2016 - 9:10am Plotted by: Keith Filename: M0.1 M0.2 M0.3.dwg

HEATING SYSTEM ACCESSORY SCHEDULE	
EQUIPMENT TAG	DESCRIPTION
	VIEGA 304 STAINLESS MANIFOLD SHUT OFF/BALACING/FLOW METERS FACTORY INSTALLED AIR BLEEDER, MOUNTING BRACKETS,
	VIEGA ZONE VALVE, 24 V, 300mA per 2 MIN. FLUID 32°F TO 212°F

EXPANSION TANK SCHEDULE							
EQUIPMENT TAG	MFR. & MODEL	TANK VOLUME GALLONS		DIA.xHEIGHT	SYSTEM CONNECTION	PRE-CHARGE PRESS. PSI	REMARK
		TOTAL	ACCEPT				
ET-1	AMTROL & SX-90V	44	34	15 3/8"DIA. x 47 1/2"H	1-1/4" NPTF	12	

HOT WATER CIRCULATION PUMP SCHEDULE											
EQUIPMENT TAG	MFR. & MODEL	SERVICE	CIRCULATING FLUID			HDT FT	TYPE	MOTOR		OPER. WT. LBS	REMARK
			FLUID	GPM	TEMP. °F			WATTS	V/PH/HZ		
P-1	GRUNDFOS & MAGNA3 40-180	HEATING HOT WATER	WATER	30	180	45	VER. INLINE	607	230/1/60	41	
P-2	GRUNDFOS & MAGNA3 40-80	HEATING HOT WATER	WATER	30	180	24	VER. INLINE	265	230/1/60	41	

SPACE HEATING BOILER SCHEDULE																
EQUIPMENT TAG	MFR. & MODEL	SERVICE	FUEL	INPUT MBTU	OUTPUT MBTU	EFFICIENCY %	WATER FLOW GPM	WATER TEMP °F		HEAD LOSS(FT)	ELECTRIC		STACK DIA.(IN)	DIMENSION W x D x H	WEIGHT (LBS)	REMARK
								EWT	LWT		V/PH/HZ	AMP				
B-1	VISSMANN & VITODENS 200-W B2HA 112	HEATING HOT WATER	GAS	399,000	375,000	93.9	37.9	150	180	15	115/1/60	15	6	24" x 27.1" x 44.5"	298	1,2
<u>NOTES:</u> 1. LOW-LOSS HEADER. 2. #6"COAXIAL VENT PIPE TRANSITION ADAPTOR																

HYDRONIC FAN CONVECTOR SCHEDULE										
EQUIPMENT TAG	SERVICE	HEATING CAPACITY MBTU/HR	HOT WATER			ELECTRICAL VOLT-PHASE-Hz	DIMENSION H x W x D	WEIGHT LBS.	MANUFACTURER & MODEL	REMARKS
			GPM	EWI, °F	TEMP. DIFF. °F					
HFC-1	SEE PLAN	9,000	0.9	180	20	115-1-60	25" x 19" x 3.5"	24	MYSON & WHISPA III 9000	1-4
HFC-2	SEE PLAN	5,000	0.5	180	20	115-1-60	25" x 15" x 3.5"	21	MYSON & WHISPA III 5000	1-4
NOTES: 1. PROVIDE THERMOSTAT. 2. INCLUDED ITEMS: FLOW CONTROL, ISOLATION VALVES, SOLENOID VALVE, 24 VAC TRANSFER, PURGE VALVE, FAN SPEED CONTROL. 3. REQUIRED COMPONENTS FOR REFRIGERANT SUCTION PIPING: SUCTION LINE FILTER, SHUT-OFF VALVE AND FROSTAT. 4. DISCONNECT SWITCH BY ELECTRIC CONTRACTOR.										

FAN SCHEDULE												
EQUIPMENT TAG	SERVICE	LOCATION	AIR FLOW CFM	TOTAL STATIC PRESSURE IN. W.G.	REVOL./MINUTE RPM	SONES	ELECTRICAL SERVICE V/PH/Hz	MOTOR POWER (WATT/HP)	OPERATING WEIGHT LBS.	MANUFACTURER	MODEL	REMARKS
EF-1C	BATHROOM	CEILING	70	0.25	1130	0.4	120/1/60	11 WATT	13	PANASONIC	FV-0511VKS1	1,2,3,6
EF-1	BATHROOM	CEILING	100	0.375	1100	1.3	115/1/60	53 WATT	17	GREENHECK	SP-A125	1,2,4
EF-2	BATHROOM	CEILING	100	0.375	1100	1.3	115/1/60	53 WATT	17	GREENHECK	SP-A125	1,2,4
EF-3	JAN.	CEILING	100	0.375	1100	1.3	115/1/60	53 WATT	17	GREENHECK	SP-A125	1,2,4
EF-4	CORRIDOR	EXPOSED	400	0.4	894	6.2	115/1/60	1/4 HP	101	GREENHECK	BCF-107-4	1,2,5,7
NOTES: 1. PROVIDE BACKDRAFT DAMPER. 2. PROVIDE NEOPRENE ISOLATOR PADS. 3. MANUAL WALL SWITCH. 4. INTERLOCK WITH ROOM LIGHTING. 5. 24/7 HR. OPERATION 6. CONTINUOUS FAN(SET CFM: 45 CFM) 7. FACTORY INSTALLED DISCONNECT SWITCH												

AIR DISTRIBUTION SCHEDULE						
EQUIPMENT TAG	TYPE	NECK SIZE	FACE SIZE	BORDER TYPE	MANUFACTURERS MODEL #	REMARKS
EG-1	DUCT EXHAUST REGISTER	24"x14"	25"x15"	SURFACE	TITUS 56FS	2,4,5
NOTES: 1) OFF-WHITE FINISH 2) MANUAL VOLUME DAMPER						

WALL LOUVERS SCHEDULE							
EQUIPMENT TAG	SPACE SERVED	MANUFACTURER	MODEL	SIZE WxH (INCHES)	LOUVER FREE AREA (SF)	FRAME	ACCESSORIES
WL-1	AIR INTAKE - CORRIDOR	RUSKIN	ELF6375DX	36x12	1.04	STANDARD	1, 2, 3, 4
WL-2	EXHAUST AIR - CORRIDOR	RUSKIN	ELF6375DX	24x18	1.28	STANDARD	1, 2, 3, 4
NOTE: 1. STATIONARY WALL LOUVER. 2. PROVIDE KYNAR FINISH. 3. FINAL COLOR SELECTION SHALL BE MADE BY ARCHITECT AT TIME OF SHOP DRAWINGS APPROVAL 4. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF LOUVERS							

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DALY CITY, CALIFORNIA

FILE NUMBER:
214086

DATE

ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

MECHANICAL SCHEDULES

SCALE

AS SHOWN

SHEET NUMBER

M-0.2

CONTACT INFORMATION:

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BOILER AND RELATIVE PARTS: RYAN BERG(Cal-steam). 510)512-0754

Plot Date: Mar 18, 2016 - 9:10am Plotted by: Keith Filename: MD.1 MD.2 MD.3.dwg

SECTION 15500 – HEATING, VENTILATING AND AIR CONDITIONING

1.00 – GENERAL

1.01 DESCRIPTION OF WORK

Furnish and install complete and operative HVAC system as shown on the drawing and specified herein. Work shall include, but not be limited to the following:

- A. AC unit, see schedules.
- B. Supply/exhaust fans.
- C. Automatic temperature controls system including time clock, thermostats, control low-voltage interlock wiring and other associated devices.
- D. Ductwork and air distribution systems.
- E. Hangers and supports for ductwork, piping and HVAC equipment
- F. Flashing of duct and pipe penetrations through exterior openings.
- G. Roof curb and roof sleeper supports.
- H. Duct Thermal and Acoustic Insulation.
- I. License, Permits and associated fees.
- J. Seismic restraints and bracing.

1.02 RELATED WORK INCLUDED UNDER OTHER SECTIONS

- A. Fire Protection, Section 15300.
- B. Plumbing, Section 15400.
- C. Testing and Balancing Section 15990.
- D. Line Voltage and Power Wiring, Electrical Section 16000.

1.03 EXAMINATION OF SITE

Visit site before submitting bid and check location of all existing conditions which will affect this work, verify dimensions and locations shown on drawings and cover all costs. Contractor shall assume reasonable variations or minor omissions and shall complete proposed work without additional cost. Failure to visit site will not lessen responsibility or entitle additional compensation for work not included in proposal.

1.04 DRAWINGS

The accompanying drawings shall be considered part of these specifications. Work and materials shown on the drawings and not mentioned in the specifications and vice versa shall be executed as if specifically mentioned or shown in both. The drawings shall be considered as schematic in nature and minor modifications of the work to comply with the structure as found shall be made.

1.05 RULES AND REGULATIONS

- A. All work and material shall be in full accordance with the latest rules and regulations of the State Fire Marshal and other applicable State and local rules and regulations. Nothing in these drawings or specifications shall be construed to permit work not conforming to these codes.
- B. Furnish without any extra charge any additional material and labor when required to comply with these laws, ordinances and codes regardless of whether shown or mentioned in these specifications of drawings.

1.06 SUBMITTALS

- A. Submit for review to the Owner a complete and all-inclusive list of equipment and materials proposed for use (6 copies), accompanied by manufacturer's data sheets. Data shall be forwarded in a single package within 15 days after award of contract. Submit six blueprint prints and one reproducible shop drawing showing proposed ductwork installation. Include sizes, locations and other required information to coordinate installation with other trades.
- B. Within 5 days after award of contract, submit 6 copies of a letter stating any materials that contractor wishes to substitute, to the Owner for approval. Include such information as manufacturer's name, type of material, certified ratings, overall appearance, and necessary information to explain function and operation of material. All proposed substitutions shall be equal in quality, design, utility and appearance to material, equipment or method specified.

1.07 AS-BUILT DRAWINGS

A set of HVAC Prints will be furnished to the Contractor on which he shall indicate the installation "as-built" as the work progresses. Upon completion of the work, a set of reproducible drawings shall be obtained from the Owner at cost, and all changes as noted on the record set of prints shall be incorporated thereon. This set of reproducibles, along with one set of blueprints, shall be delivered to the Owner upon completion and before final acceptance of the project.

1.08 GUARANTEE

The Contractor shall leave the entire installation in complete working order free from any defective material, workmanship or finish. He shall guarantee to repair or replace, without charge, defects due to faulty workmanship or material for a period of one year from the date of fitting of the Notice of Completion.

1.09 OPERATION MANUALS AND OWNER INSTRUCTIONS

- A. Provide complete operation and maintenance manuals covering all mechanical systems and equipment that have been installed. Three (3) copies of the manual shall be bound in hardback binders.
- B. Provide instructions to store personnel as to operation of all HVAC equipment and thermostats. Instruction period to commence for minimum of (2) hours and shall be scheduled at owner's convenience. Also, provide store manager with operation manual.

1.10 CUTTING AND PATCHING

- A. The contractor shall do all cutting, drilling and patching which may be required for the installation of the work under this Section of the Specifications.
- B. Patching shall be of the same workmanship, material, and finish and shall match accurately all surrounding construction in a manner satisfactory to the Owner. No cutting of the structure shall be permitted without written approval of the Owner.

2.00 – PRODUCTS

2.01 DUCTWORK

Shall be as specified in the following schedules. Materials shall be clearly stamped or marked with grades and gauges.

- A. Sheet metal rectangular ductwork, plenums and casing construction shall be in strict accordance with the HVAC Duct Construction Standards – Metal and Flexible, and the Sheet Metal Construction For Ventilating/Air Conditioning Systems, latest edition as issued by SMACNA and ASHRAE respectively.
- B. Sheet metal round: Shall be United Sheet Metal, or approved equal, spiral "Uniseal" with "Uniform" fittings, machine formed.
- C. Materials for ductwork shall be galvanized steel, of gauges shown in the SMACNA HVAC Duct Construction Standards. All ductwork shall be constructed in accordance with the pressure-velocity classification standards no less than +/- 2" WG and duct sealing requirements of Class C (minimum).
- D. Flexible ductwork shall be pre-insulated low pressure type (rated to 4" W.P.) with vapor barrier. Ducts shall meet Class 1 requirements of NFPA 90A and shall be labeled by U.L. Flexible ducts shall be Genflex, Nil(s) or approved equal. Flexible duct is allowed only at final connections to air distribution fixtures at lengths of five feet maximum.
- E. Unless shown otherwise, all insulation shall be external to ductwork.

2.02 DUCTWORK ACCESSORIES

- A. Damper Operators
 - 1. Ducts with external insulation: Ventlock #637, DuraDyne, Young, or approved equal.
 - 2. Ducts with internal insulation and/or no insulation: Ventlock #635, DuraDyne, Young, or approved equal.
- B. Flexible Connections: Ventfabrics "Ventglas", DuraDyne, or approved equal, U.L. approved with metal attachment.
- C. Air Extractor: Titus AG-225, Krueger EX-88C, or approved equal.
- D. Turning Vanes shall comply with SMACNA HVAC Duct Construction Standards. All rectangular duct with mitered elbows shall be fitted with turning vanes.
- E. Spin-in-Fittings are not allowed. Use United McGill Bellmouth fitting for round duct tops.
- F. Support ductwork according to the SMACNA Duct Construction Standards and the drawings.
- G. Access Doors In Ductwork: Shall be Ventlock, Ductmate or approved equal, stamped or formed insulated access doors complete with all hardware and sealant.
- H. Joint Sealing:
 - 1. The following items are to be sealed with Hardcast DT tape and adhesive:
 - a. Longitudinal and transverse seams of rectangular ductwork.
 - b. All round fittings and joint connectors use FTA-20 for indoor use and RTA-20 for outdoor use.
 - 2. Flexible duct at diffusers shall use integral stainless steel draw band and pressure sensitive tape, Hardcast P-301 or equal.
- I. Bracings, hangers, nuts, etc. shall be galvanized.
- J. Curved elbows shall have centerline radius equal to one and one-half times duct width in plane of turn.
- K. Square elbows shall have turning vanes. Miter elbows (not square) shall have splitter vanes 3 inches o.c.
- L. Volume dampers shall be constructed to SMACNA Standards and shall be Young Regulator model 4040 for round ducts and series 820 for rectangular ducts

2.03 AIR DEVICES

Diffusers, Grilles and Registers: Titus, Krueger, Metal*Air, or Thermaluser where shown. Furnished and installed by Mechanical Contractor. Provide volume dampers and point interior flat black. Size, finish, frame types and accessories as shown on the drawings.

2.04 FIRE DAMPERS & SMOKE FIRE DAMPERS

- A. Provide fire dampers with access doors installed where required by all local codes. In general, fire dampers are required where ducts pierce fire-rated floors, ceilings, walls and shafts. Refer to Architectural drawings for locations of all fire rated assemblies.
- B. Fire dampers shall be equal to Air Balance Inc., Model No. 119BLX, or 119CL, or as approved, for rectangular and round ducts. Dampers shall meet the requirements for NFPA Bulletin No. 90A, and shall be tested in accordance with UL 555 Test Criteria, fire dampers shall be labeled and listed by UL.
- C. If applicable, fire dampers shall comply with UL-555-1990, 4th edition and shall be marked "For Use in Dynamic Systems" or "For use in Static Systems" as required.
- D. Combination Smoke Fire Dampers shall be installed where ductwork penetrates fire rated walls surrounding an exit corridor.

2.05 AIR CONDITIONING EQUIPMENT

- A. Furnish and install "Carrier" or equal air conditioning equipment as specified on the drawings and in these specifications.

2.06 INSULATION (Installed per Manufacturer's Recommendations)

- A. Heating and Cooling Ductwork located in interior locations
 - 1. Insulate with 1-1/2" thick Owens-Corning Fiberglas oil service faced Duct Wrap Type 150 with factory applied flame retardant Foil Reinforced Kraft Facing (FRK-25 UL Labelsd), or approved equal. Installed thermal resistance shall be a minimum of 4.5.

B. Acoustical Ductwork and Plenum and Casing Liner

- 1. Provide internally lined ductwork where indicated on drawings. Acoustical duct liner shall be Iralite duct liner, or equal, matte face, 3 lb. density, 1" thick, suitable for velocities from 1500 to 4000 fpm, in compliance w/ UL723 and UL181. Secure liner to ductwork with adhesive and mechanical fasteners per SMACNA Duct Liner application standard.
- 2. Where internal insulation is applied, duct and plenum sizes as shown on the drawings shall be inside clear dimensions.
- 3. Fiberglas duct and plenum insulation are to be applied only with manufacturer's approved adhesives, mastics and mechanical fastening devices.
- C. Heating and Cooling ductwork located on the roof.
 - 1. Insulate with rigid board insulation with a minimum R value of R-6.3. Coat exterior of insulation with perforated sheet metal liner. Suitable for velocities from 1500 to 4000 fpm, in compliance w/ UL723 and UL181.
 - 2. Where internal insulation is applied, duct and plenum sizes as shown on the drawings shall be inside clear dimensions.
 - 3. Fiberglass duct and plenum insulation are to be applied only with manufacturer's approved adhesives, mastics and mechanical fastening devices. Coat exterior with Arabol and Convas to manufacturer's directions for exterior application.
- D. Soft flexible duct.
 - 1. Genflex Nil(s). 7-0" maximum length unless noted otherwise. Class 1 rating with R value of 4.2 minimum.
- E. Insulation.
 - 1. Foil faced fiberglass, Owens Corning type 75 or equal, 1-1/3" thick. Flame spread rating of not more than 25 and a smoke development rating of not more than 50.
- F. Duct liner.
 - 1. For exterior ducts: Fiberglass 1-1/2" thick with fire rated black coating, 1-1/2 Lbs. per cubic foot minimum density, Owens Corning Aeroflex type 150.
 - 2. For other locations shown on drawings: Aeroflex type 150, as above, except 1 inch thick. Flame spread rating of not more than 25 and smoke developed rating of not more than 50.
 - 3. An EPA-Approved biocide in the airstream coating enables Owens-Corning duct liners to resist fungal or bacterial growth when subjected to microbial attack described in ASTM C 665 and standard practices ASTM G 21 (fungus test) and G 22 (bacteria test).

2.07 TEMPERATURE CONTROL SYSTEM (SEE ELECTRICAL FOR SCOPE OF WORK)

- A. Provide time clock control systems with interface to HVAC equipment. Control system shall be capable of providing scheduling, override, night setback, and energy efficiency recovery functions.
- B. Contractor shall furnish all necessary control devices (relays, contacts, etc.) and shall obtain direction from manufacturer on actual wiring requirements.
- C. Contractor shall post in the office typewritten instructions on operation of all controls.

2.08 DX PIPING

Refrigerant piping shall be Type L hard copper ACR tubing with wrought copper, solder joint fittings, silver soldered. All refrigerant piping shall be insulated except where the uninsulated area does not result in an energy loss to the system or an adverse effect to the system from stray heat. Pipe insulation shall be Armstrong Armaflex, Owens-Corning flexible tubing, Rubicon or approved equal. Thickness shall be 3/4" on interior piping and 1" on exterior piping. Insulated piping exposed to weather shall be provided with Armstrong Armaflex finish and oil-weather service jacket for outdoor applications. Valves, strainers, sight glass, filter driers, oil separators, etc. shall be manufactured by Sporlan Valve Co.

2.09 SEISMIC RESTRAINTS AND BRACING

- A. All HVAC equipment, ductwork, piping and wiring conduits shall be installed to meet the lateral bracing requirements for the applicable seismic zone. Provide seismic restraints in accordance with Seismic Hazard Level (SHL) A of the "Seismic Restraint Manual: Guidelines for Mechanical Systems" dated 1991, as published by S.M.A.C.N.A. and also in accordance with applicable local building codes.
- B. All rooftop equipment shall have proper anchoring and restraint systems, and shall be secured to a roof curb, equipment pad or other structural member to prevent lateral, vertical or overturning movement without sacrificing any resilient vibration isolation requirements.

3.00 INSTALLATION AND EXECUTION

3.01 INSTALLATION REQUIREMENTS

- A. Ductwork:
 - 1. Duct branches shall be fitted with volume or splitter damper and where required, extraction damper. All accessible volume controls shall have locking quadrants. All inaccessible controls (dampers, etc.) shall be provided with permanent extensions to accessible spaces. Branch volume controls are in addition to volume controls at the registers and diffusers.
 - 2. Air inlets, outlets shall be properly set in place. Registers and grilles shall be tightly sealed.
 - 3. Transitions in size of ducts shall be made by uniformly tapering sections having 1 inch increase in width for each 7 inches of run unless construction limitations require a more abrupt transition.
 - 4. Diffusers, Grilles and Registers: Each register and diffuser shall be equipped with a volume damper or air extractor. Paint interior surface of all units flat black. Face and trim of all units shall be finished. Size, finish, frames, accessories, capacity and pattern as shown on drawings.
 - 5. Contractor shall provide manual volume dampers at all branch ductwork in supply air, return air and outside air systems (whether shown on plans or not) where required for air balancing of HVAC systems.

3.02 TESTING AND BALANCING (also see Section 15990)

Balancing of the air conditioning system will be performed by an independent test and balancing agency. The mechanical contractor shall cooperate with the selected test and balance agency in the following manner:

- A. Provide sufficient time before final completion date so that test and balancing can be accomplished.
- B. Provide immediate labor and tools to make corrections when required without undue delay. Install balancing dampers as required by test and balance agency.
- C. The contractor shall put all heating, ventilating and air conditioning systems and equipment into full operation and shall continue the operation of some during each working day of testing and balancing.
- D. Testing and balancing agency shall be kept informed of any major changes made to system during construction and shall be provided with complete as-built drawings.
- E. The mechanical contractor shall include the costs of dampers, pulley and belt changes in his contract.

3.04 SPECIAL CONDITIONS

- A. Air conditioning equipment on roof: The exact equipment locations on the roof shall be field verified by Contractor. The intent of the design is to utilize a manufacturer supplied roof curb that would support the new equipment. Contractor shall conform to manufacturer's published installation and assembly guide. Installation shall conform to structural engineers' requirements.
- B. Structural support for the air conditioning unit: The Owner shall engage a licensed structural engineer to design the structural support for the air conditioning unit on the roof. The mechanical contractor is to coordinate all work with the structural engineer.
- C. All required penetrations of existing roofing system shall be made by landlord's roofing contractor at Owner's expense after notification to landlord for approval.

END OF SECTION

SECTION 15990 – TESTING, ADJUSTING AND BALANCING

1.00 – GENERAL

1.01 DESCRIPTION

The testing and balancing work will be performed under a separate contract from the HVAC work. The work described in this section shall be performed by an independent test and balance agency, specializing in testing and balancing of HVAC systems and a number of the AABC or approved equal organization.

1.02 SCOPE OF WORK

- A. HVAC System Test and Balance in accordance with procedures established by AABC or NEBB.
- B. Measurement of final operating conditions of HVAC equipment.
- C. Test and Balance Reports.
- D. Each piece of air conditioning and heating equipment and the air distributions systems shall be tested and adjusted to insure proper functioning of all control, proper distribution of air, maintenance of temperature, elimination of drafts, noise and vibration, and left in first class operating condition. The air system shall be readjusted if required for comfort of each room.
- E. The mechanical contractor will make any changes in the pulleys, belts, dampers, vanes, baffles and the like required for correct balance of system as recommended bt T&B agency and to the satisfaction of the Owner.

1.03 SUBMITTALS

- A. Provide (6) six copies of test and balance report to the Owner for review and approval in soft cover, letter size, 3-ring binder manual complete with index page and indexing tabs. The report shall include a set of reduced drawings with air outlets and equipment identified to correspond with data sheets and indicating thermostat locations.
- B. The test and balance report shall include, as a minimum, but not be limited to:
 - 1. Each equipment shall be identified by equipment service number, manufacturer, model number, and serial number, motor horsepower, motor nameplate voltage, motor RPM, actual and design static pressure, actual outlet velocity, actual CFM, design CFM.
 - 2. Each coil shall be identified by equipment service number, manufacturer, model number and size, number of rows, total CFM, air inlet and outlet dry bulb and wet bulb temperatures.
 - 3. Each air outlet shall be identified with manufacture, model number, size, velocity, correction factor, actual CFM, design CFM.
 - 4. Traverse reading of main supply, return and outside air ducts to establish air quantities.
 - 5. Test and record temperatures from temperature controllers such as day thermostat, night thermostat.
 - 6. Test and record temperatures from main supply air trunk, mixed air during the full heating and full cooling cycle and economizer cycle.
 - 7. Test and balance economizer.
 - 8. Water balance information
 - 9. Exhaust system balance.

2.00 – PRODUCTS (Not Applicable)

3.00 – EXECUTION

3.01 DEFICIENCIES IN SYSTEM

Balancing Contractor shall report in writing to the Owner any discrepancies on items not installed in accordance with contract documents, all deficiencies in HVAC system, and other deficiencies. The Owner will reimburse the balancing contractor if additional work is required for his phase of work.

3.02 WARRANTY

The test and balance agency shall include an extended warranty of 90 days, after completion of work, during which time the Owner, at their discretion, may request a recheck or resetting of any outlet, supply air fan, or exhaust fan as listed in test report.

END OF SECTION

McCall

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PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA

FILE NUMBER:
214086

DATE ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

MECHANICAL
SPECIFICATIONS
SCALE

AS SHOWN

SHEET NUMBER

M-0.3

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 2265 Geneva Ave.

Calculation Description: Title 24 Analysis

Calculation Date/Time: 08:48, Fri, Mar 18, 2016

Input File Name: 2016-03-17 Geneva Ave - Altered Wall Ins and window.xml

CF1R-PRF-01

Page 1 of 9

GENERAL INFORMATION

01	Project Name	2265 Geneva Ave.
02	Calculation Description	Title 24 Analysis
03	Project Location	2665 Geneva Ave.
04	City	Daly City
05	Standards Version	Compliance 2015
06	Zip Code	94014
07	Compliance Manager Version	BEM/CmpMgr 2013-4 (744)
08	Climate Zone	CZ3
09	Software Version	EnergyPro 6.6
10	Building Type	Multifamily
11	Front Orientation (deg/Cardinal)	109
12	Project Scope	Addition and/or Alteration
13	Number of Dwelling Units	7
14	Total Cond. Floor Area (ft²)	6629
15	Number of Zones	1
16	Slab Area (ft²)	0
17	Number of Stories	2
18	Addition Cond. Floor Area	0
19	Natural Gas Available	Yes
20	Addition Slab Area (ft²)	0
21	Glazing Percentage (%)	15.5%

COMPLIANCE RESULTS

01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY

04	05	06	07	08
Energy Use (kTDV/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	36.28	32.18	4.10	11.3%
Space Cooling	0.03	0.04	-0.01	-33.3%
IAQ Ventilation	2.13	2.13	0.00	0.0%
Water Heating	20.04	19.82	0.22	1.1%
Photovoltaic Offset	----	0.00	0.00	----
Compliance Energy Total	58.48	54.17	4.31	7.4%

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Registration Date/Time: Report Version - CF1R-03022016-744

HERS Provider: Report Generated at: 2016-03-18 08:49:40

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Input File Name: 2016-03-17 Geneva Ave - Altered Wall Ins and window.xml

CF1R-PRF-01

Page 2 of 9

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

No cooling system included

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

Building-level Verifications:

- None

Cooling System Verifications:

- None

HVAC Distribution System Verifications:

- Duct Sealing
- Verified low-leakage ducts located entirely in conditioned space

Domestic Hot Water System Verifications:

- None

ENERGY DESIGN RATING

This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.

Total Energy (kTDV/ft²-yr)*	Reference Energy Use	Energy Design Rating	Margin	Percent Improvement
	124.01	119.70	4.31	3.5%

* Includes calculated Appliances and Miscellaneous Energy Use (AMEU)

BUILDING - FEATURES INFORMATION

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (sf)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
2265 Geneva Ave.	6629	7	7	1	0	1

ZONE INFORMATION

01	02	03	04	05
Zone Name	Zone Type	Zone Floor Area (ft²)	Avg. Ceiling Height	Number of Dwelling Units
Units	Conditioned	6629	13	7

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance

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Calculation Description: Title 24 Analysis

Calculation Date/Time: 08:48, Fri, Mar 18, 2016

Input File Name: 2016-03-17 Geneva Ave - Altered Wall Ins and window.xml

CF1R-PRF-01

Page 3 of 9

DWELLING UNIT INFORMATION

01	02	03
Dwelling Unit Name	Dwelling Unit Type	Zone
DDU-1 Unit 1-(1/1)	DU-1 Unit 1	Units
DDU-2 Unit 2-(1/1)	DU-2 Unit 2	Units
DDU-3 Unit 3-(1/1)	DU-3 Unit 3	Units
DDU-4 Unit 4-(1/1)	DU-4 Unit 4	Units
DDU-5 Unit 5-(1/1)	DU-5 Unit 5	Units
DDU-6 Unit 6-(1/1)	DU-6 Unit 6	Units
DDU-7 Unit 7-(1/1)	DU-7 Unit 7	Units

DWELLING UNIT TYPES

01	02	03	04	05	06	07
Name	CFA (ft2)	Number of Bedrooms	Number in Building	Space Conditioning System Name (Count)	DHW System Name	IAQ Vent Fan Name
DU-1 Unit 1	1080	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-2 Unit 2	1080	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-3 Unit 3	891	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-4 Unit 4	891	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-5 Unit 5	1045	1		Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-6 Unit 6	982	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan
DU-7 Unit 7	660	1	1	Cooling Component 1:Heating Component 1:Air Distribution System 1:HVAC Fan 1:1 (1)	DHW Sys 1	Default Minimum IAQ Fan

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Calculation Date/Time: 08:48, Fri, Mar 18, 2016

Input File Name: 2016-03-17 Geneva Ave - Altered Wall Ins and window.xml

CF1R-PRF-01

Page 4 of 9

OPAQUE SURFACES

01	02	03	04	05	06	07	08	09	10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	Tilt (deg)	Status	Verified Existing Condition
S Wall	Units	8 Concrete Wall/R-13 Ins	199	Left	380	135	90	Altered	N/A
N Wall	Units	8 Concrete Wall/R-13 Ins	19	Right	490	165	90	Altered	N/A
S Wall 2	Units	8 Concrete Wall/R-13 Ins	199	Left	350	135	90	Altered	N/A
N Wall 2	Units	8 Concrete Wall/R-13 Ins	19	Right	430	160	90	Altered	N/A
S Wall 3	Units	8 Concrete Wall/R-13 Ins	199	Left	320	110	90	Altered	N/A
N Wall 3	Units	8 Concrete Wall/R-13 Ins	19	Right	380	135	90	Altered	N/A
N Wall 4	Units	8 Concrete Wall/R-13 Ins	19	Right	320	115	90	Altered	N/A
W Wall	Units	8 Concrete Wall/R-13 Ins	289	Back	140	50	90	Altered	N/A
S Underground Wall	Units	8 Concrete Wall/R-13 Ins1			95			Altered	N/A
N Underground Wall	Units	8 Concrete Wall/R-13 Ins1			2			Altered	N/A
S Underground Wall 2	Units	8 Concrete Wall/R-13 Ins1			125			Altered	N/A
N Underground Wall 2	Units	8 Concrete Wall/R-13 Ins1			40			Altered	N/A
S Underground Wall 3	Units	8 Concrete Wall/R-13 Ins1			155			Altered	N/A
N Underground Wall 3	Units	8 Concrete Wall/R-13 Ins1			95			Altered	N/A
W Underground Wall	Units	8 Concrete Wall/R-13 Ins1			110			Altered	N/A
N Underground Wall 4	Units	8 Concrete Wall/R-13 Ins1			155			Altered	N/A
Raised Floor	Units	R-0 Floor Concrete			1080			Existing	No
Raised Floor 2	Units	R-0 Floor Concrete			1080			Existing	No
Raised Floor 3	Units	R-0 Floor Concrete			891			Existing	No
Raised Floor 4	Units	R-0 Floor Concrete			891			Existing	No
Raised Floor 5	Units	R-0 Floor Concrete			1045			Existing	No
Raised Floor 6	Units	R-0 Floor Concrete			982			Existing	No
Raised Floor 7	Units	R-0 Floor Concrete			660			Existing	No
W Wall 2	Garage	8 Concrete Wall/R-13 Ins	289	Back	310		90	Altered	N/A
S Wall 4	Garage	8 Concrete Wall/R-13 Ins	199	Left	310	110	90	Altered	N/A
W Wall 3	Garage	8 Concrete Wall/R-13 Ins	289	Back	415	24	90	Altered	N/A
Raised Floor 8	Garage	R-0 Floor Concrete			1070			Existing	No
Raised Floor 9	Garage	R-0 Floor Concrete			420			Existing	No
Raised Floor 10	Garage	R-0 Floor Concrete			480			Existing	No

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Project Name: 2265 Geneva Ave.

Calculation Description: Title 24 Analysis

Calculation Date/Time: 08:48, Fri, Mar 18, 2016

Input File Name: 2016-03-17 Geneva Ave - Altered Wall ins and window.xml

CF1R-PRF-01

Page 5 of 9

WINDOWS

01	02	03	04	05	06	07	08	09	10	11
Name	Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiple	Area (ft²)	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition
Window	S Wall (Left-199)	----	----	1	135.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 2	N Wall (Right-19)	----	----	1	185.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 3	S Wall 2 (Left-199)	----	----	1	135.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 4	N Wall 2 (Right-19)	----	----	1	180.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 5	S Wall 3 (Left-199)	----	----	1	110.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 6	N Wall 3 (Right-19)	----	----	1	135.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 7	N Wall 4 (Right-19)	----	----	----	115.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Window 8	W Wall (Back-289)	----	----	1	50.0	0.32	0.50	Insect Screen (default)	Altered	N/A

DOORS

01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-0 Floor Concrete	Exterior Floors	Concrete / ICF / Brick			0.285	- Floor Surface: Carpeted - Mass Layer: 4 in. Concrete
8 Concrete Wall/R-13 Ins	Exterior Walls	Concrete / ICF / Brick			0.139	- Inside Finish: Gypsum Board - Insulation/Furring: R-13 / 3.5in. mtl - Mass Layer: 8 in. Concrete - Exterior Finish: Wood Siding/sheathing/decking
8 Concrete Wall/R-13 Ins1	Underground Walls	Concrete / ICF / Brick			0.176	- Inside Finish: Gypsum Board - Insulation/Furring: R-13 / 3.5in. mtl - Mass Layer: 8 in. Concrete

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Input File Name: 2016-03-17 Geneva Ave - Altered Wall ins and window.xml

CF1R-PRF-01

Page 7 of 9

HVAC - HEATING SYSTEMS

01	02	03
Name	Type	Efficiency
Heating Component 1	CntrlFurnace - Fuel-fired central furnace	80 AFUE

HVAC - COOLING SYSTEMS

01	02	03	04	05	06	07
Name	System Type	EER	SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	NoCooling - No cooling equipment	N/A	N/A	No	No	

HVAC - DISTRIBUTION SYSTEMS

01	02	03	04	05	06	07	08	09	10
Name	Type	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified Existing Condition	HERS Verification
Air Distribution System 1	Ducts located entirely in conditioned space	Sealed and tested	4.2	Conditioned Zone	Conditioned Zone	None	New	No	Air Distribution System 1-hers-dist

HVAC DISTRIBUTION - HERS VERIFICATION

01	02	03	04	05	06
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design Return	Supply
Air Distribution System 1-hers-dist	Required	total leakage <= 12.0 or leakage to outdoors <= 6.0	Ducts located entirely in conditioned space	---	---

HVAC - FAN SYSTEMS & HERS VERIFICATION

01	02	03	04
Name	Type	Fan Power (Watts/CFM)	HERS Verification
HVAC Fan 1	Single Speed PSC Furnace Fan	0.58	---

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Input File Name: 2016-03-17 Geneva Ave - Altered Wall ins and window.xml

CF1R-PRF-01

Page 6 of 9

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Number in Building	Multi-Family Distribution Type	Water Heater	Recirculation Loop	Recirculation Pump Power (bhp)	Recirculation Pump Efficiency (%)	Solar Fraction (%)
DHW Sys 1	Pipe Insulation, All Lines	1	Temperature modulation	DHW Heater 1		0.25	0.855	0.0%

WATER HEATERS

01	02	03	04	05	06	07	08
Name	Heater Element Type	Tank Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value	Standby Loss (Fraction)
DHW Heater 1	Natural Gas	Small Storage	50	0.6 EF	40000-Btu/hr	0	0

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Point-of Use	Recirculation with Manual Control	Recirculation with Sensor Control
DDU-1 Unit 1	n/a	n/a	n/a	n/a	n/a	n/a
DDU-2 Unit 2	n/a	n/a	n/a	n/a	n/a	n/a
DDU-3 Unit 3	n/a	n/a	n/a	n/a	n/a	n/a
DDU-4 Unit 4	n/a	n/a	n/a	n/a	n/a	n/a
DDU-5 Unit 5	n/a	n/a	n/a	n/a	n/a	n/a
DDU-6 Unit 6	n/a	n/a	n/a	n/a	n/a	n/a
DDU-7 Unit 7	n/a	n/a	n/a	n/a	n/a	n/a

SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09		
Name	System Type	Heating System Name	Cooling System Name	Ducted	Ducted	Distribution System	Fan System	Floor Area Served	Status	Verified Existing Condition
Units HVACSys	Other Heating and Cooling System	Heating Component 1	Cooling Component 1	Yes	No	Air Distribution System 1	HVAC Fan 1	6629	New	No

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time: Report Version - CF1R-03022016-744

HERS Provider: Report Generated at: 2016-03-18 08:49:40

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 2265 Geneva Ave.

Calculation Description: Title 24 Analysis

Calculation Date/Time: 08:48, Fri, Mar 18, 2016

Input File Name: 2016-03-17 Geneva Ave - Altered Wall ins and window.xml

CF1R-PRF-01

Page 8 of 9

IAQ (Indoor Air Quality) FANS

01	02	03	04	05
Name	IAQ CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
DDU-1 Unit 1 1/1	47	Default	0	Not Required
DDU-2 Unit 2 1/1	47	Default	0	Not Required
DDU-3 Unit 3 1/1	42	Default	0	Not Required
DDU-4 Unit 4 1/1	42	Default	0	Not Required
DDU-5 Unit 5 1/1	46	Default	0	Not Required
DDU-6 Unit 6 1/1	44	Default	0	Not Required
DDU-7 Unit 7 1/1	35	Default	0	Not Required

Registration Number: CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time: Report Version - CF1R-03022016-744

HERS Provider: Report Generated at: 2016-03-18 08:49:40

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DALY CITY, CALIFORNIA
FILE NUMBER:
214086

DATE ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

TITLE 24 FORMS

SCALE

AS SHOWN

SHEET NUMBER

M-0.5

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD		CF1R-PF-01
Project Name: 2265 Geneva Ave.		Calculation Date/Time: 08:48, Fri, Mar 18, 2016
Calculation Description: Title 24 Analysis		Page 9 of 9
Input File Name: 2016-03-17 Geneva Ave - Altered Wall Ins and window.xml		
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT		
1. I certify that this Certificate of Compliance documentation is accurate and complete.		
Documentation Author Name:	Documentation Author Signature:	
Company: ACIES Engineering	Signature Date: 3/18/2016	
Address:	CEA/HERS Certification Identification (If applicable):	
City/State/Zip:	Phone:	
RESPONSIBLE PERSON'S DECLARATION STATEMENT		
I certify the following under penalty of perjury, under the laws of the State of California:		
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.		
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.		
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.		
Responsible Designer Name:	Responsible Designer Signature:	
Company: McCall Design Group	Date Signed:	
Address: 550 Kearny Street, Suite 950	License:	
City/State/Zip: San Francisco, CA 94108	Phone: 415.288.8150	

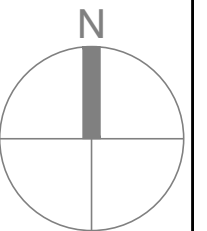
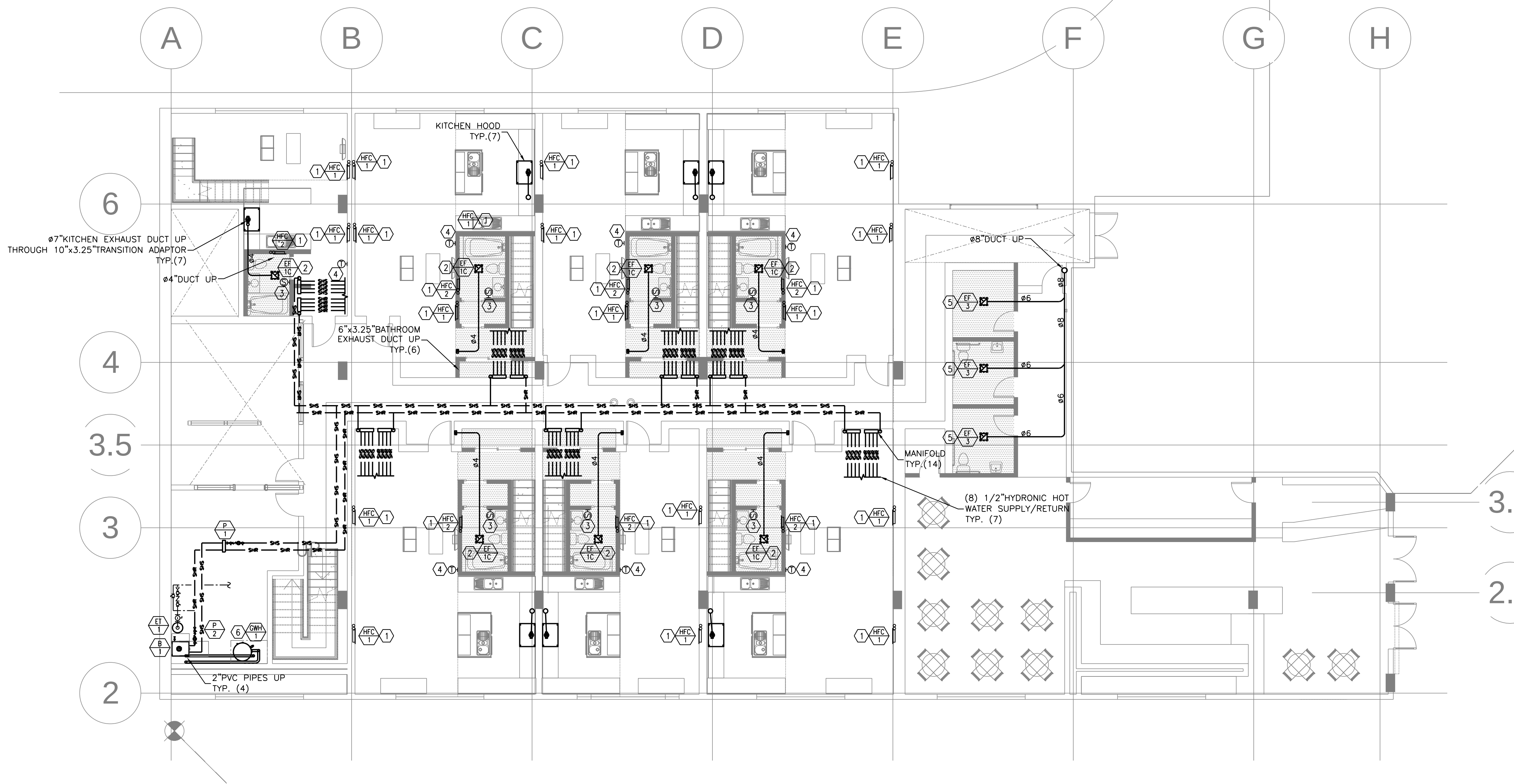
Registration Number:
 CA Building Energy Efficiency Standards - 2013 Residential Compliance

Registration Date/Time:
 Report Version - CF1R-03022016-744

HERS Provider:
 Report Generated at: 2016-03-18 08:49:40

[illegible]

Plot Date: Mar 18, 2016 - 9:11am Plotted by: Keith Filename: M1.0 M2.0 M3.0.dwg



GROUND FLOOR PLAN

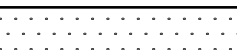
SCALE
1/8"=1'-0"

1

DATE ISSUE

- 1) HYDRONIC FAN CONVECTOR. INSTALL PER MANUFACTURER'S RECOMMENDATION.
- 2) EXHAUST FAN FOR INDOOR AIR QUALITY. EXHAUST FAN SHALL BE OPERATE CONTINUOUSLY WITH MIN. 45 CFM ACCORDING TO ASHRAE 62.2. PROVIDE MANUAL SWITCH FOR TIMED OVERRIDE.
- 3) MANUAL SWITCH FOR BATHROOM EXHAUST FAN.
- 4) THERMOSTAT TO BE MOUNTED ON WALL 48" AFF. COORDINATE LOCATION OF THERMOSTAT WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
- 5) CEILING EXHAUST FAN.
- 6) DOMESTIC HOT WATER HEATER SEE PLUMBING PLAN FOR DETAIL.

1. CONTRACTOR SHALL VERIFY THE DISTANCE FROM THE EXHAUST OUTLETS TO THE INTAKES OR OPENING OF THE BUILDINGS. MINIMUM DISTANCE FROM THE EXHAUST OR VENT OUTLETS TO THE AIR INTAKES OR OPENING SHALL BE AS FOLLOWING;
1) KITCHEN HOOD EXHAUST OUTLET : MIN. 3'-0"
2) BATHROOM EXHAUST OUTLET : MIN. 3'-0"
2. ALL OF EXHAUST DUCTS SHALL BE 26 GA. SHEET METAL.
3. PROVIDE 3/4" UNDERCUT BY GENERAL CONTRACTOR FOR ALL DOORS OF BATHROOM.
4. FIRE DAMPERS ARE REQUIRED AT PENETRATIONS OF RATED FLOOR CEILING ASSEMBLY. PROVIDE ACCESS PANELS AS REQUIRED.

 DROP CEILING AREA.

SEAL/SIGNATURE

DRAWING DESCRIPTION

GROUND FLOOR PLAN

SCALE

AS SHOWN

SHEET NUMBER

M-1.0

KEY NOTES

GENERAL NOTES

CEILING LEGEND

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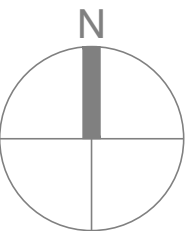
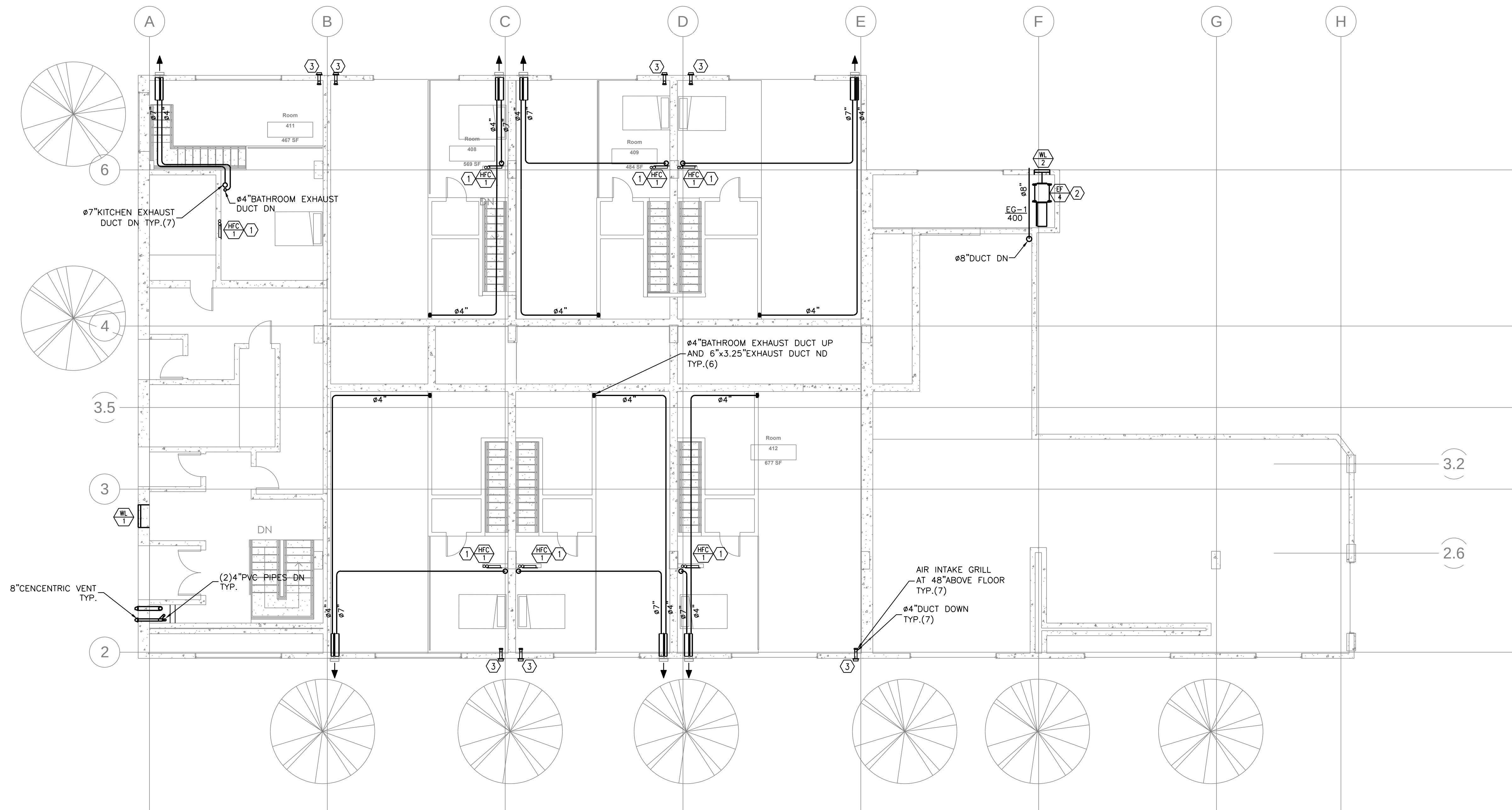
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MEZZANINE FLOOR PLAN

SCALE
1/8"=1'-0"

1

DATE ISSUE

- 1 HYDRONIC FAN CONVECTOR. INSTALL PER MANUFACTURER'S RECOMMENDATION.
- 2 IN-EXHAUST FAN FOR CORRIDOR VENTILATION.
- 3 FRESH 100dB AIR INTAKE. INTAKE SHALL BE MIN. 10FT. HORIZONTALLY OR 3FT. VERTICAL FROM ANY EXHAUSTS OR VENTS.

1. CONTRACTOR SHALL VERIFY THE DISTANCE FROM THE EXHAUST OUTLETS TO THE INTAKES OR OPENING OF THE BUILDINGS. MINIMUM DISTANCE FROM THE EXHAUST OR VENT OUTLETS TO THE AIR INTAKES OR OPENING SHALL BE AS FOLLOWING;
- 1) KITCHEN HOOD EXHAUST OUTLET : MIN. 3'-0"
- 2) BATHROOM EXHAUST OUTLET : MIN. 3'-0"
2. ALL OF EXHAUST DUCTS SHALL BE 26 GA. SHEET METAL.
3. PROVIDE 3/4" UNDERCUT BY GENERAL CONTRACTOR FOR ALL DOORS OF BATHROOM.
4. FIRE DAMPERS ARE REQUIRED AT PENETRATIONS OF RATED FLOOR CEILING ASSEMBLY. PROVIDE ACCESS PANELS AS REQUIRED.

KEY NOTES

GENERAL NOTES

CEILING LEGEND

DRAWING DESCRIPTION

MEZZANINE FLOOR PLAN

SCALE

AS SHOWN

SHEET NUMBER

M-2.0

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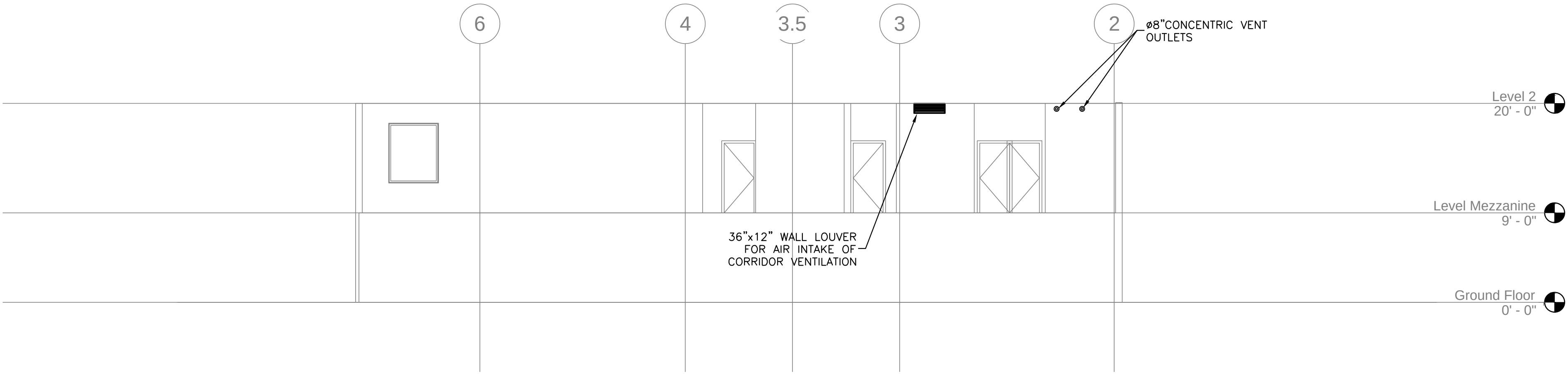
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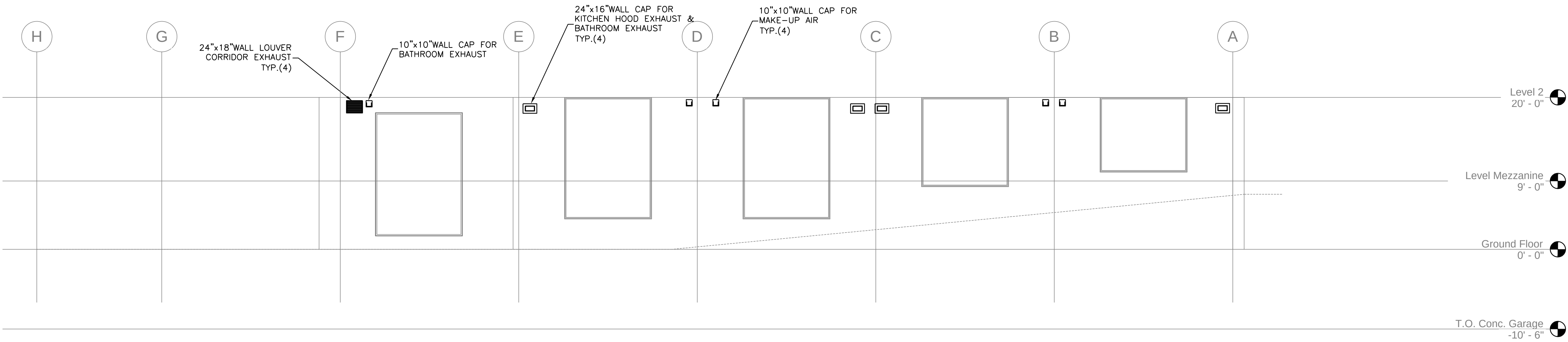
Plot Date: Mar 18, 2016 - 9:11am Plotted by: Keith Filename: M1.0 M2.0 M3.0.dwg



WEST ELEVATION

SCALE
1/8"=1'-0"

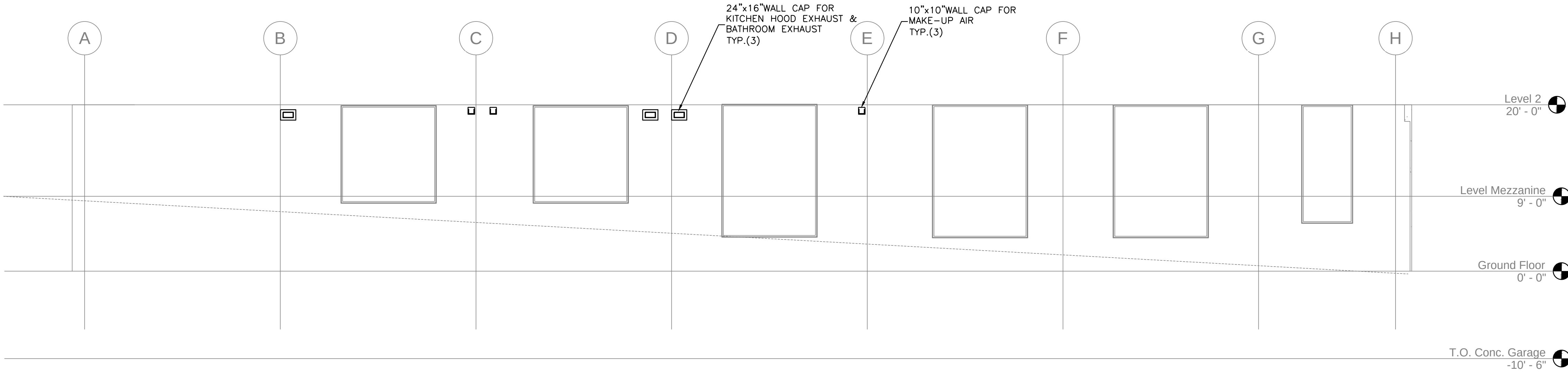
1



NORTH ELEVATION

SCALE
1/8"=1'-0"

2



SOUTH ELEVATION

SCALE
1/8"=1'-0"

3

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DRAWING DESCRIPTION

MECHANICAL
ELEVATION

SCALE

AS SHOWN

SHEET NUMBER

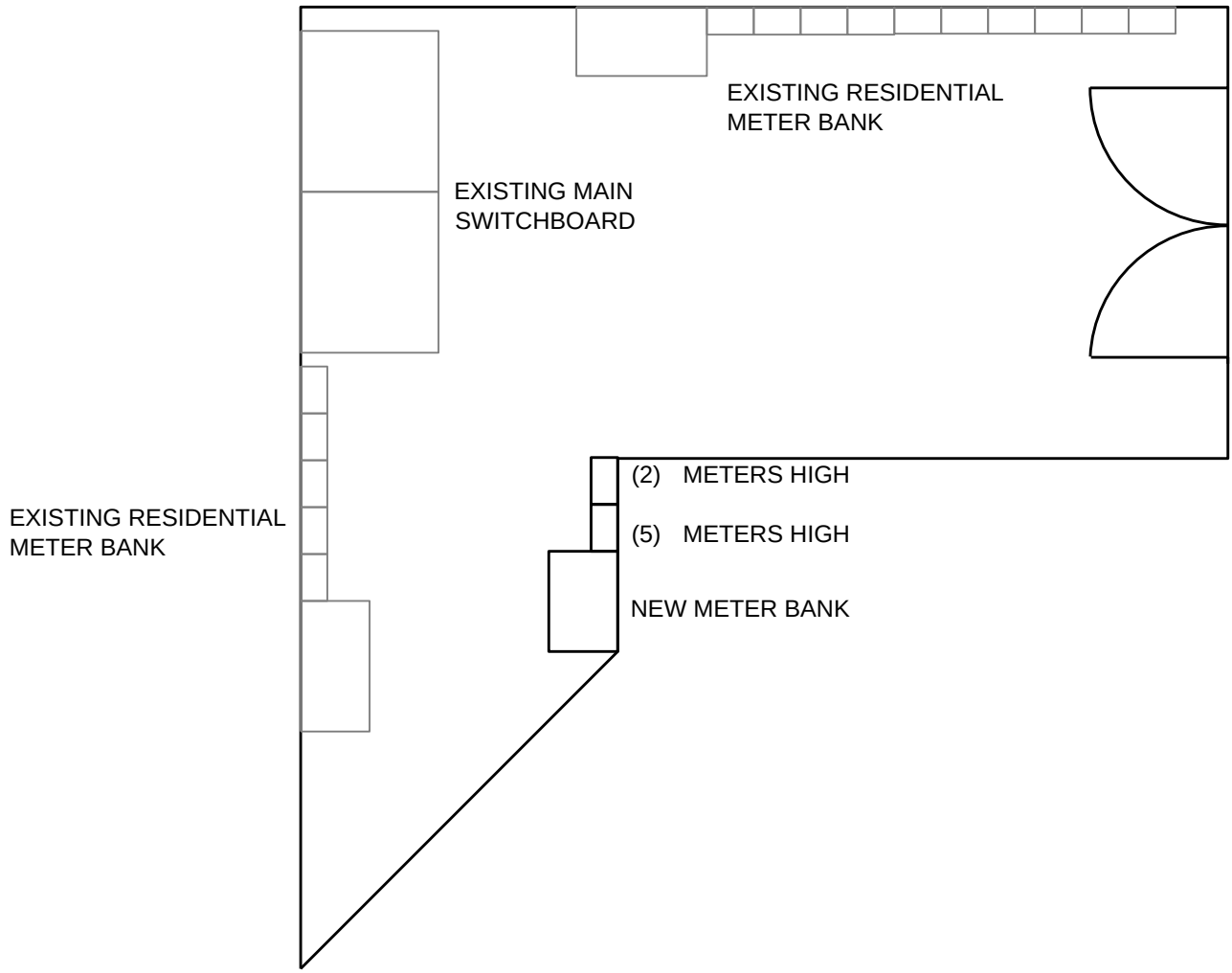
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PROGRESS SET: NOT FOR PERMIT/BID/CONSTRUCTION

Plot Date: Mar 17, 2016 - 10:13pm Plotted by: gary Filename: E0.3.dwg

RESIDENTIAL METERING MODULE "MM-0FA" LOAD CALCULATION					
#	LOAD DESCRIPTION	NUMBER OF UNITS	VA	TOTAL LOAD (VA)	DEMAND LOAD (VA)
1					
2	EXISTING UNITS LOADS	72	26820	1931040	
3	NEW UNITS LOADS	7	17928	125496	
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17	TOTAL # OF UNITS	79			
18					
19	SUB-TOTAL CONNECTED LOAD:			2056536	
20	DEMAND FACTOR	0.23			
21					
22	TOTAL DEM AND LOAD PER NEC 220.82 (A)				473003
23					
24					
25	TOTAL DEM AND KVA LOAD				473003
26	AMPS @ 120/208, 3 PHASE, 4 WIRE				1314
27					
TOTAL SWITCHBOARD CAPACITY (AMPS)				1600	
AVAILABLE CAPACITY (AMPS)				266	

UNIT LOAD CALCULATION					
#	LOAD DESCRIPTION	VA	TOTAL AREA (SF)	NUMBER OF UNITS	LOAD (VA)
1	GENERAL LOADS:				
2	GENERAL LIGHTING AND GENERAL USE RECEPTACLES LOADS PER NEC 220-82(B)1	3	1100		3300
3	SMALL APPLIANCE BRANCH CIRCUIT LOAD PER NEC 220-82(B)2	1500		2	3000
4	LAUNDRY BRANCH CIRCUIT LOAD PER NEC 220-82(B)2	1500		1	1500
5	SUB TOTAL LOAD				7800
6					
7	APPLIANCE LOADS: PER NEC 220-82(B)3				
8	DISHWASHER	744		1	744
9	GARBAGE DISPOSAL	1176		1	1176
10	MICROWAVE	1200		1	1200
11	REFRIGERATOR	800		1	800
12	EXHAUST FAN	50		2	100
13	CLOTHES DRYER/WASHER STACK	5000		1	5000
14	ELECTRIC RANGE	8000		1	8000
15	-				0
16	SUB TOTAL LOAD				17920
17					
18	HEATING AND AIR CONDITIONING LOADS: PER NEC 220-82(B)				
19	WALL HEATER: (1-2000W)	2000		1	2000
20	-				0
21					
22	TOTAL CONNECTED LOAD: (#5 + #16 + #19 + #20)				26820
23					
24	TOTAL DEMAND LOAD PER NEC 220.82 (A)				17928
25					
26	AMPS @ 120/208, 1 PHASE, 3 WIRE				86



TOTAL SWITCHBOARD LOAD

SCALE
NTS

4

UNIT LOAD CALCULATIONS

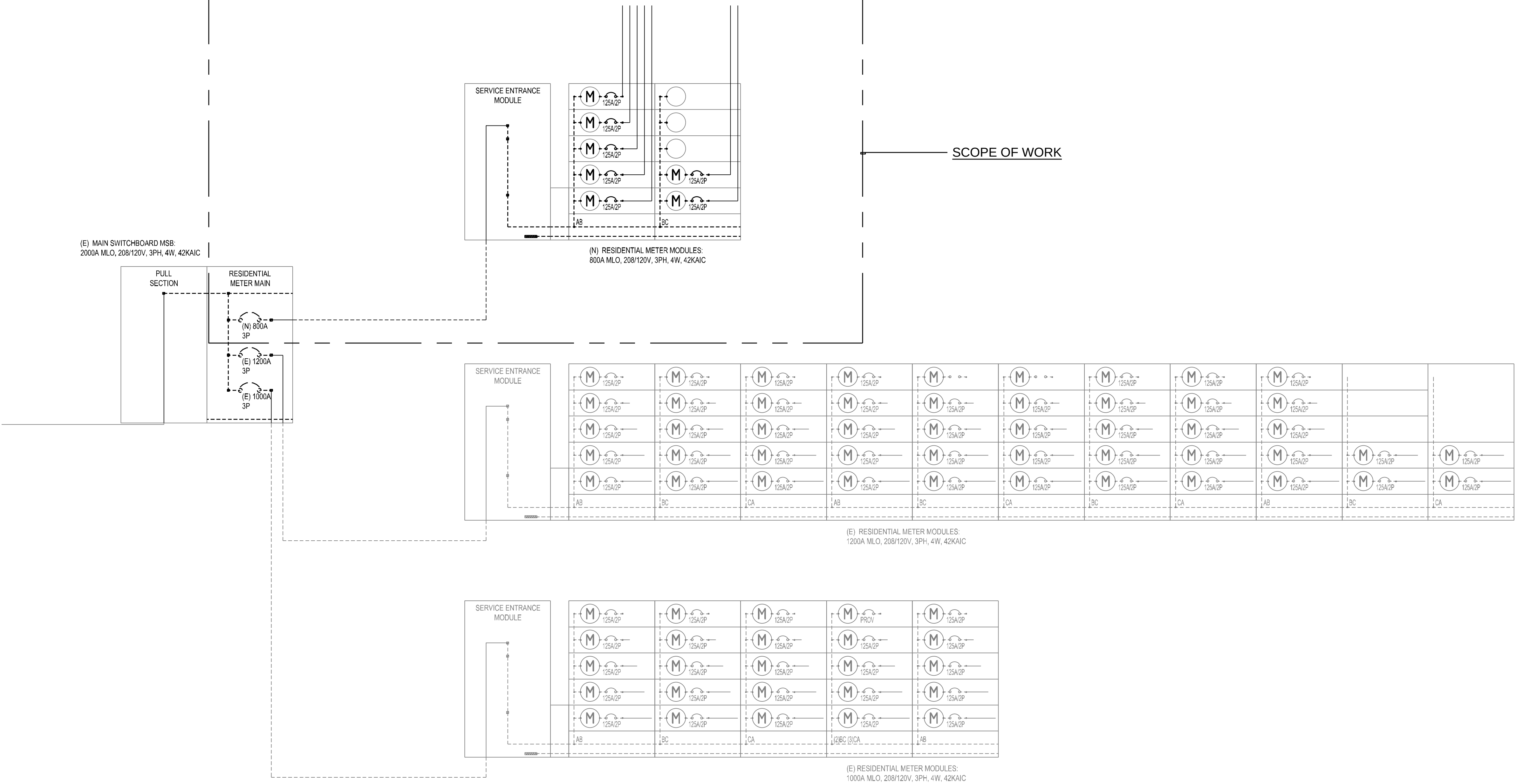
SCALE
NTS

3

ELECTRICAL ROOM (BASEMENT)

SCALE
1/4" = 1'-0"

1



SHEET NOTES:

- EQUIPMENT LINE-UP IS BASED ON EATON CUTLER HAMMER PRODUCT. ALTERNATE MANUFACTURER IS ACCEPTABLE PROVIDED THAT IT MEETS THE DESIGN INTENT.
- CONTRACTOR TO COORDINATE THE AVAILABLE SHORT CIRCUIT CURRENT WITH THE UTILITY COMPANY AND MAKE ADJUSTMENTS AS REQUIRED. MAIN SWITCHBOARD SHALL BE FULLY RATED. SERIES RATING FOR PANELBOARD IS ACCEPTABLE. PROVIDE REQUIRED MARKING AS REQUIRED PER CEC ARTICLE 110.22(B) & (C) FOR SIGNAGE AT ALL PANELS AND EQUIPMENT. IF THE SYSTEM IS NOT FULLY RATED SYSTEM COMPLYING WITH THE MINIMUM SVP AVAILABLE FAULT CURRENT, THEN THE CONTRACTOR SHALL PROVIDE THE MANUFACTURER'S SERIES RATING DOCUMENTATION TO THE AHJ FOR FIELD REFERENCING.
- ALL GROUNDING ELECTRODES AS DESCRIBED IN NEC 250.52 THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. PROVIDE BONDING TO THE UNDERGROUND METAL WATER PIPE, ALL METAL PIPING SYSTEM AND STRUCTURAL METAL (IF AVAILABLE) TO THE GROUNDING ELECTRODE SYSTEM USING #3/0 CU.
- PROVIDE A PERMANENT PLAQUE/DIRECTORY AT EACH SERVICE DISCONNECT LOCATION DENOTING ALL OTHER SERVICES SUPPLYING THE BUILDING AND THE AREA SERVED BY EACH. INCLUDE THE LOCATION OF THE OTHER SERVICE DISCONNECTING MEANS.
- CONTRACTOR IS RESPONSIBLE FOR THE ARRANGEMENT OF INSPECTING ELECTRICAL EQUIPMENT IN A DE-ENERGIZED STATE.
- DUE TO CORROSIVENESS OF THE SOIL CONTENT, ALL UNDERGROUND ELECTRICAL CONDUIT SHALL PVC ONLY. ANY METALLIC CONDUIT INSTALLED UNDERGROUND SHALL BE PROTECTED WITH UL LISTED AND APPROVED POLYWRAP MATERIALS.
- PROVIDE PIGTAIL ADAPTOR FOR WIRE TERMINATION EXCEEDING LUG SIZES.

SINGLE LINE DIAGRAM

SCALE
N.T.S.

2

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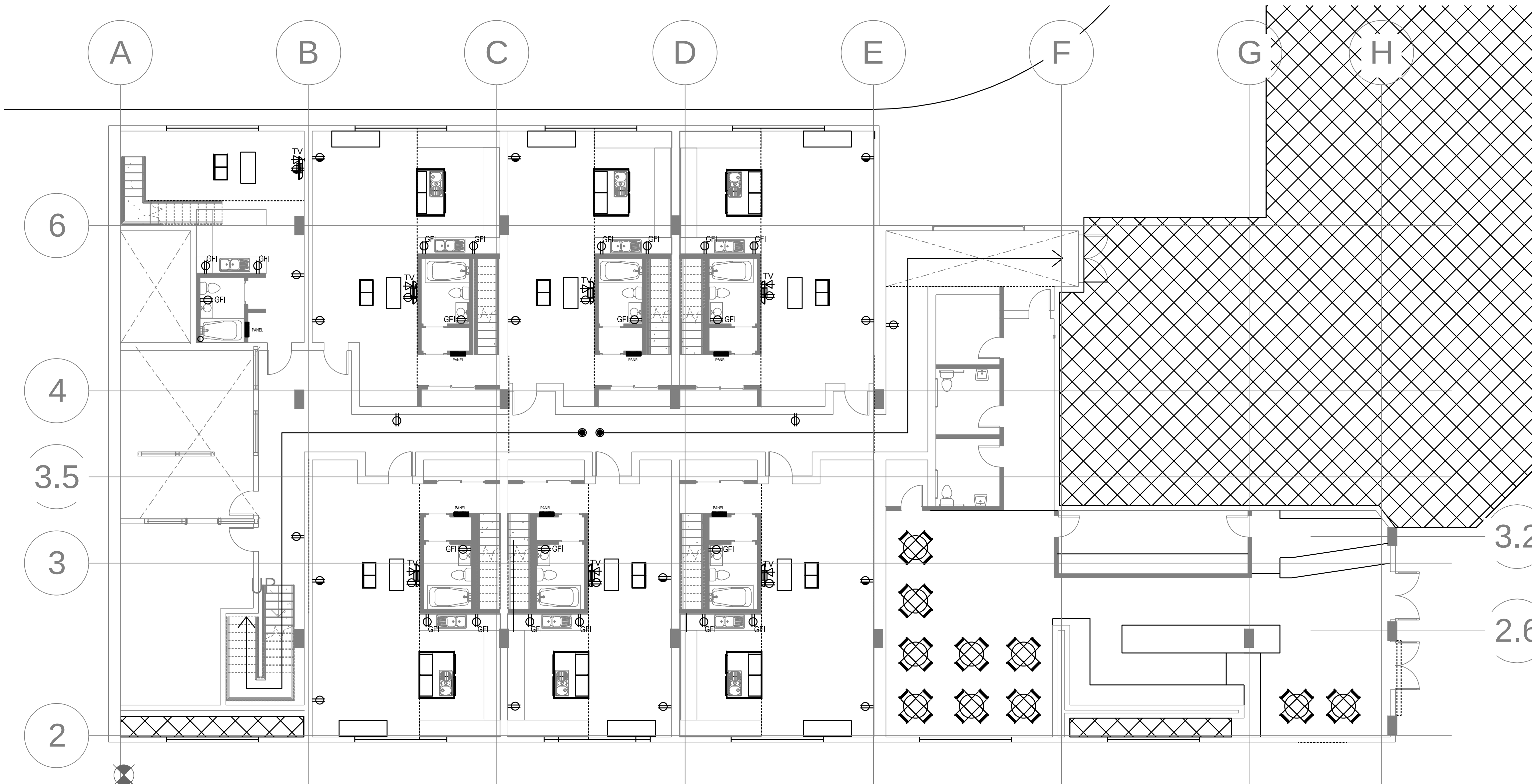
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DRAWING DESCRIPTION

SCALE

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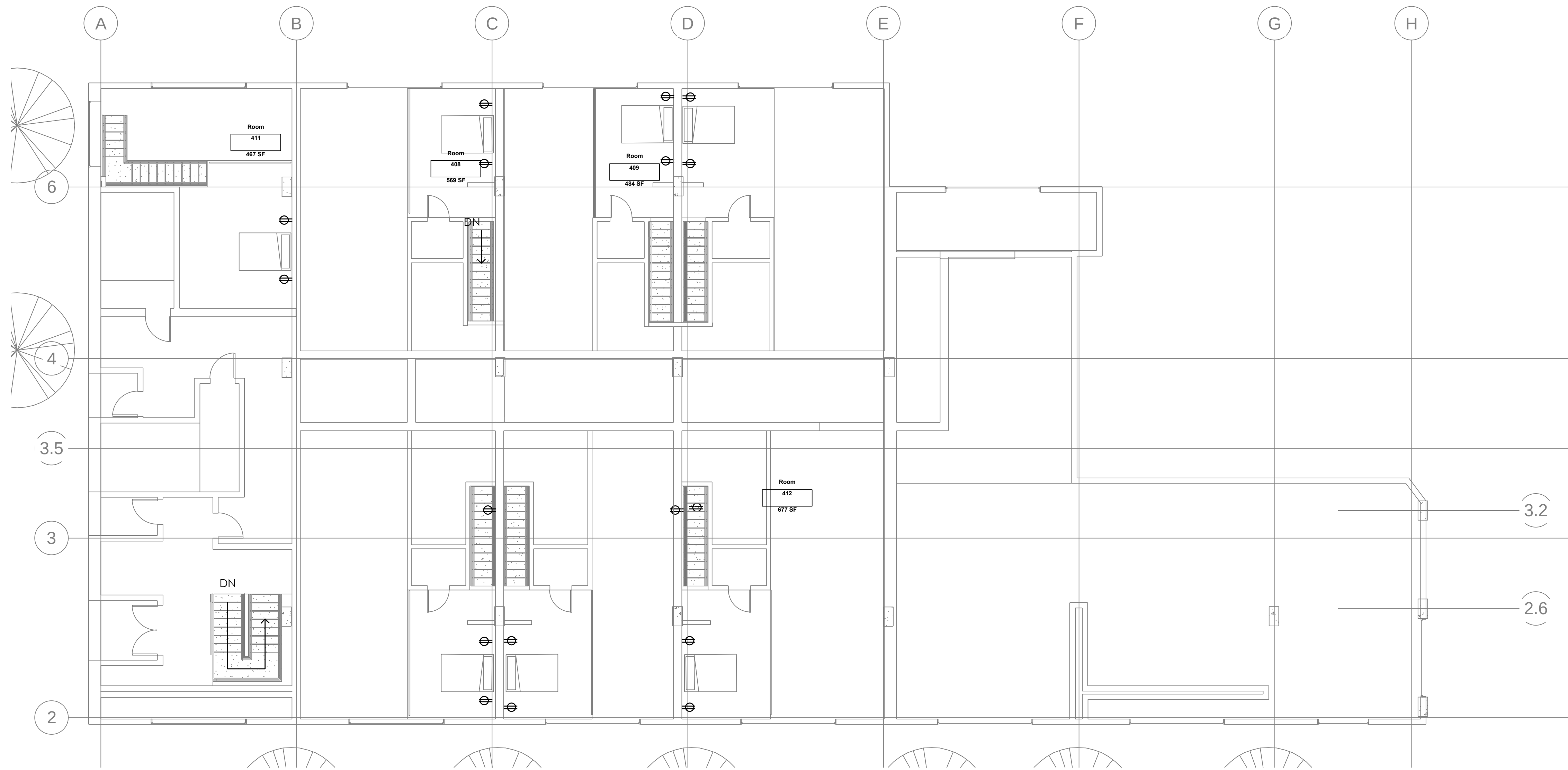
E0.3



PANEL 1E				VOLTAGE	208/120	WIRE	3	MOUNTING	RECESSED	NOTES		
				BUS RATING	125	PHASE	1	AIC RATING	10,000	PLUS-IN CB		
				MAIN REQUIREMENT	125A MLO	TYPE	NEMA 1	CONDITION	NEW			
CX#	NOTES	LOAD	CB	LOAD DESCRIPTION	LOAD KVA	PHASE	LOAD KVA	LOAD DESCRIPTION	CB	LOAD	NOTES	CX#
			P T						P T			
1	H	1	20	GARBAGE DISPOSAL	0.88	A	4.00	COOKING RANGE	2	50		2
3	H	1	20	DISH WASHER	1.08	B	4.00					4
5a	T	1	20	REFRIGERATOR	1.00		1.50	CLOTHES WASHER	1	20		6a
5b	T	1	20	KITCHEN RECP	1.50	A	2.50	CLOTHES DRYER	2	30	CT	6b
7a	T	1	20	KITCHEN RECP	1.50	B	2.50				CT	8a
7b	T	1	20	MICROWAVE / RANGEHOOD	1.50			SPARE	1	20		8b
9a	T	1	15	SPARE								
9b	T	1	20	MASTER BATH ROOM	1.50	A	1.77	FAN COIL UNIT	2	20	HCB	10
11a	T	1	15	SPARE		B	1.77				HCB	12
11b	T	1	15	SPARE								
13	AFI	1	15	LIVING ROOM RECP	1.50	A	1.18	FR-2	2	25	HCB	14
15	AFI	1	15	MASTER BEDROOM RECP	1.50	B	1.18				HCB	16
17	AFI	1	15	BEDROOM ROOM RECP	1.50	A		SPACE				18
19	AFI	1	15	LIGHTING / SMOKE/CO ALARM	1.50	B		SPACE				20
								SPACE				
NOTES:												
H = WITH HANDLE-TIE												
L = WITH HANDLE LOCK-ON DEVICE												
T = TANDEM BREAKERS												
AFI = ARC FAULT CIRCUIT INTERRUPTER												
HCB = HACR TYPE CIRCUIT BREAKER												
CT = COMMON TRIP												

SHEET NOTES:

- SEE E-000, GENERAL NOTES.
- OUTLET BOXES IN FIRE-RATED WALLS:
ALL BOXES SHALL BE U.L. CLASSIFIED FOR USE IN CERTAIN FIRE RESISTIVE DESIGNS AND INSTALLED IN ACCORDANCE WITH THE DETAILS PRESCRIBED FOR EACH CLASSIFIED PRODUCTS.
NON-METALLIC BOXES SHALL NOT BE INSTALLED ON OPPOSITE SIDES OF WALLS OF STAGGERED STUD CONSTRUCTION UNLESS SPECIFICALLY CLASSIFIED FOR USE IN SUCH CONSTRUCTION.
- RESIDENTIAL GRADE, DECORA STYLE DEVICES SHALL BE INSTALLED IN DWELLING UNITS.
- USE 15A, 120V DUPLEX RECEPTACLE EXCEPT FOR DEDICATED CIRCUITS, SMALL APPLIANCE BRANCH CKTS, AND BATHROOM CIRCUITS.
- DURING CONSTRUCTION, THE LOCATION OF DEVICES IN EACH TYPE OF DWELLING UNIT SHALL BE REVIEWED BY THE OWNER/ARCHITECT AND THE CITY INSPECTOR FOR FINAL PLACEMENT AND LOCATION. RECEPTACLE OUTLET SPACING SHALL BE CONTINGENT UPON THE FIELD CONDITION APPROVAL BY THE AHJ.



SHEET NOTES:

- SEE E-000, GENERAL NOTES.
- OUTLET BOXES IN FIRE-RATED WALLS:
ALL BOXES SHALL BE U.L. CLASSIFIED FOR USE IN CERTAIN FIRE RESISTIVE DESIGNS AND INSTALLED IN ACCORDANCE WITH THE DETAILS PRESCRIBED FOR EACH CLASSIFIED PRODUCTS.
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- DURING CONSTRUCTION, THE LOCATION OF DEVICES IN EACH TYPE OF DWELLING UNIT SHALL BE REVIEWED BY THE OWNER/ARCHITECT AND THE CITY INSPECTOR FOR FINAL PLACEMENT AND LOCATION. RECEPTACLE OUTLET SPACING SHALL BE CONTINGENT UPON THE FIELD CONDITION APPROVAL BY THE AHJ.

PLUMBING FIXTURE LOAD CALCULATION

FIXTURE ID	QTY	SANITARY F.U.		WATER F.U. COLD		WATER F.U. HOT	
		EACH	TOTAL	EACH	TOTAL	EACH	TOTAL
WATER CLOSET	9	4	36	2.5	22.5	–	–
LAVATORY	9	1	9	1	9	1	9
KITCHEN SINK	7	2	14	1.5	10.5	1.5	10.5
MOP SINK	1	3	3	3	3	3	3
BATHTUB	7	2	14	3	21	2	21
DISH WASHER	7	–	–	1.5	10.5	–	–
HOSE BIBB	1	–	–	2.5	2.5	–	–
ADDITIONAL	0	–	–	1	0	–	–
FLOOR DRAIN	2	2	4	–	–	–	–
FLOOR SINK	1	2	2	–	–	–	–
TOTAL			69		79		16.5

UTILITY LOAD

SANITARY SEWER	(N) 4"	69 F.U.
COLD WATER	(N) 1-1/2"	79 F.U. = 38.5 GPM

BASED ON THE CALIFORNIA PLUMBING CODE 2013

WATER CALCULATION

PIPE LENGTH FROM THE METER TO THE LAST FIXTURE	=	460	FEET
TOTAL DEVELOPED LENGTH (460 X 1.25 LOSS FOR FITTINGS)	=	575	FEET
STREET PRESSURE = 60 PSI			
TOTAL FIXTURE UNITS : 79 F.U. = 38.5 GPM			
LOSSES :			
RESIDUAL PRESSURE REQUIRE AT THE REMOTE FIXTURE	=	25	PSI
STATIC BUILDING LOSS (18 FEET X 0.43)	=	7.74	PSI
THROUGH WATER METER	=	1	PSI
THROUGH BACKFLOW PREVENTER	=	<u>12</u>	PSI
TOTAL PRESSURE LOSS	=	45.74	PSI
DIFFERENCE PRESSURE (60 - 45.74)			
MAXIMUM PRESSURE ALLOWABLE PER 100 FT OF PIPE			
{ (14.26 X 100) / 750 }	=	1.9	PSI

DESIGN VELOCITY <= 8 FPS & DESIGN PRESSURE DROP PER 100 FT <= 1.9 PSI THE MAXIMUM FLOW RATE FOR EACH COLD WATER PIPE SIZE CAN CARRY								
PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"
GPM	1	3	7	13	21	43.5	102	131
F.U.	0	3	8	18	32	101	258	535

BASED ON THE CALIFORNIA PLUMBING CODE 2013

GAS PIPE SIZE CALCULATION

1. GAS LOAD

ITEM	QTY	BTUH	GAS PIPE TO UNIT
GAS WATER HEATER	1	150,000	1-1/4"
GAS SPACE HEATER	1	350,000	2"
			-
TOTAL		500,000	3"

2. NATURAL GAS OF 0.6 SG, PRESSURE DROP OF 0.5 PSI,
INLET PRESSURE OF 1/4 PSI

3. DISTANCE FROM THE MOST REMOTE OUTLET TO WATER METER : 460 FT.

4. GAS PIPING SIZES ARE DETERMINED PER TABLE 1216.2(4) OF 2013 CPC.

MATERIAL SPECIFICATIONS

SERVICES		CAST IRON NO-HUB	ABS DWW OR PVC SCH 40	GLV. STEEL SCH 40	BLACK STEEL SCH 40	TYPE M COPPER	TYPE L COPPER	TYPE K COPPER	REMARKS
COLD WATER	ABOVE GROUND								
	BELOW GROUND						●		
HOT WATER	ABOVE GROUND								
	BELOW GROUND						●		
WASTE	ABOVE GROUND	●							
	BELOW GROUND	●							
VENT	ABOVE GROUND	●							
	BELOW GROUND	●							
NATURAL GAS	INDOOR				●				
	OUTDOOR		●						PAINTED WITH RUST INHIBITING PAINT
INDIRECT WASTE	INDOOR					●			
	OUTDOOR					●			
STORM DRAIN	ABOVE GROUND	●							
	BELOW GROUND	●							

WATER HAMMER ARRESTER SIZING

PDI SYMBOL	A	B	C	D	E	F
MODEL #	5005	5010	5020	5030	5040	5050
FIXTURE UNIT RATING	1-11	12-32	33-60	61-113	114-154	155-330

FIGURE NUMBERS ARE THOSE OF JAY R SMITH HYDROTROL SERIES

PLUMBING LEGEND

SYMBOL	ABBREV.	DESCRIPTION
	CW	DOMESTIC COLD WATER
	HW	DOMESTIC HOT WATER
	HWR	DOMESTIC HOT WATER RETURN
	SS	SANITARY SEWER
	SS	SANITARY SEWER HUNG PIPE
	V	VENT
		BUILDING FOOTING DRAIN
	G	NATURAL GAS (LOW PRESSURE)
	MPG	NATURAL GAS (MEDIUM PRESSURE)
	OFL	OVERFLOW LEADER
	RWL	RAINWATER LEADER
	OD	OVERFLOW DRAIN
	SD	STORM DRAIN
	PS	PRESSURIZED SEWER
	GW	GREASE WASTE
	CD	CONDENSATE DRAIN
	IIRR	IRRIGATION PIPE
	WHA	WATER HAMMER ARRESTOR
	P.O.C.	POINT-OF-CONNECTION
		CAPPED
		UNION
	UP	PIPE UP
	DN	PIPE DOWN
	DN	PIPE TEE DOWN
	BV	BALL VALVE
	CV	CHECK VALVE
	RED	REDUCER
		PUMP
	FSV	FIRE SUPPRESSION VALVE
	FCO	FLOOR CLEANOUT
	COTG	CLEANOUT TO GRADE
	HB	HOSE BIBB
	WCO	WALL CLEANOUT
		GAS COCK WITH UNION
	PRV	PRESSURE REDUCING VALVE
	T&P	TEMPERATURE & PRESSURE RELIEF VALVE
	AG	ABOVE GROUND
	AFF	ABOVE FINISHED FLOOR
	BG	BELOW GROUND
	CFF	CAP FOR FUTURE
	IE	INVERT ELEVATION
	(N)	NEW
	N.I.C.	NOT IN CONTRACT
	(E)	EXISTING
	VTR	VENT THROUGH ROOF
	UG	UNDERGROUND
	S.A.D	SEE ARCHITECTURAL DRAWING
	S.L.D	SEE LANDSCAPE DRAWING
	S.S.D	SEE STRUCTURAL DRAWING
	S.C.D	SEE CIVIL DRAWING

SHEET INDEX

P0.1	GENERAL NOTES, LEGEND & CALCULATIONS
P0.2	PLUMBING FIXTURE SCHEDULES
P0.3	PLUMBING SPECIFICATIONS
P1.0	PLUMBING PLAN - WATER AND GAS PIPING
P2.0	PLUMBING PLAN - WASTE AND VENT PIPING

CONTINUOUS GENERAL NOTES

- | | | | |
|-----|---|-----|---|
| 44. | PRIOR OF INSTALLATION OF THE WATER SUBMETERS, CONTRACTOR SHALL REGISTER AND CERTIFIED FOR WEIGHT AND MEASURES ALL WATER SUBMETERS WITH THE COUNTY HAVING JURISDICTION. CONTRACTOR MUST PROPERLY FOLLOW THE MANUFACTURER'S INSTALLATION MANUAL. SUBMETERS SHALL BE COMPATIBLE WITH THE REMOTE READERS. REMOTE READERS SHALL BE MOUNTED AT READILY ACCESSIBLE LOCATION AT EYE-LEVEL. MOUNT SUBMETERS 12 FEET ABOVE THE FINISHED FLOOR OR 12 INCHES ABOVE THE HIGH GLOSS WINDOW, OR, IF THE CEILING IS PROVIDED, MOUNT SUBMETERS 12 INCHES ABOVE THE CEILING. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS WITH FIRE SPRINKLERS, HVAC DUCTWORK, ELECTRICAL CONDUITS AND FIXTURES. ALL SUBMETERS SHALL BE EASILY ACCESSIBLE. PROVIDE ACCESS PANEL, IF NEEDED. EXACT LOCATION AND ELEVATION OF THE SUBMETER MOUNTING HEIGHT SHALL BE ADJUSTED AND COORDINATED DURING THE TENANT IMPROVEMENTS PHASE. AS NEEDED. | 36. | PROPER ACCESS MUST BE PROVIDED FOR THE TESTING AND MAINTENANCE OF THE BACKFLOW PREVENTER. IF THE IF THE BACKFLOW PREVENTER IS INSTALLED MORE THAN 5'-0" ABOVE THE FLOOR, SPECIAL PROVISIONS MUST BE MADE. |
| | | 37. | PLASTIC PIPES ARE NOT PERMITTED TO BE INSTALLED WITHIN THE AIR PLenum SPACE. |
| | | 38. | PROVIDE AND INSTALL A SINGLE GAS ISOLATION VALVE FOR THE MULTIPLE GAS METER BANKS FOR THE ENTIRE BLDG. |
| | | 39. | ALL PIPING SHALL MAINTAIN AT LEAST 5'-0" CLEARANCE IN FRONT OF THE HVAC SUPPLY AND RETURN OPENINGS. |
| 45. | PROVIDE TRAP-PRIMERS FOR ALL FLOOR DRAINS. TRAP PRIMERS SHALL BE NON- MECHANICAL TYPE AND INSTALLED PER 3013 CPC. | 40. | HUNG WASTE PIPING SHALL BE STRUCTURALLY SUPPORTED AS TIGHT AS POSSIBLE BELOW THE STRUCTURAL BEAMS TO GAIN MORE HEAD SPACE AS IF PITCH TOWARDS THE LOWEST POINT TO KEEP WASTE PIPING WITHIN THE CEILING SPACE. |
| 46. | PROVIDE WATER HAMMER ARRESTOR AT THE END OF ALL COLD & HOT WATER HORIZONTAL BRANCHES LINES. PROVIDE 12"x12" ACCESS PANELS SUTABLE PER 3013/CPC IN WHICH LOCATED. | 41. | CONTRACTOR IS REQUIRED TO SCOPE THE EXISTING SANITARY SEWER LINE PRIOR OF WORK. IF REQUIRED, CONTRACTOR SHALL PERFORM ROUGHING TO GUARANTEE FREE FLOWING OF THE EXISTING WASTE LINE AND NOTIFY THE ENGINEER IF THE EXISTING INVERT ELEVATION 1E-INCH IS NOT ADEQUATE TO MEET THE INVERT ELEVATION INDICATED ON THE PLANS. |
| 47. | ALL FLOOR DRAINS SHALL HAVE A SEAL PROTECTION FOR WALL/CEILING. | 42. | SEWER PIPES SHALL PASS THROUGH FOUNDATION WALLS NOT LESS THAN 3"-6"BELOW FINISHED GRADE TO TOP OF PIPE. |
| 48. | PROVIDE BACKFLOW PREVENTION ASSEMBLY ON WATER LINE WHERE REQUIRED BY 2013 CPC. | | |
| 49. | PRIOR OF INSTALLATION OF THE BACKFLOW PREVENTER DEVICE(S), IF REQUIRED, CONTRACTOR SHALL REGISTER AND CERTIFY ALL DEVICES WITH THE COUNTY HAVING JURISDICTION. CONTRACTOR MUST PROPERLY FOLLOW THE MANUFACTURER'S INSTALLATION MANUAL. BACKFLOW PREVENTER DEVICE SHALL BE MOUNTED AT READILY ACCESSIBLE LOCATION. IF REQUIRED, CONTRACTOR SHALL PROVIDE INDIRECT DRAIN PIPING TO DISCHARGE INTO AN APPROVED RECEPTOR. | 43. | PIPING PASSING THROUGH CONCRETE FLOORS SHALL HAVE ADEQUATE PROTECTION AGAINST BREAKING. PIPING THROUGH CONCRETE OR MASONRY WALLS SHALL NOT BE SUBJECT TO ANY LOAD FROM BUILDING CONSTRUCTION |

GENERAL NOTES

- PLUMBING CONTRACT DRAWINGS ARE IN PART DIAGRAMMATIC, COVERING THE SCOPE OF WORK AND GENERAL ARRANGEMENT OF THE EQUIPMENT, PIPING, ETC., AND THE APPROXIMATE SIZE OF EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LAYING OUT THE PLUMBING WORK. THE PLUMBING CONTRACTOR SHALL CONSULT GENERAL, SPRINKLER, HEATING/VENTILATING/AIR CONDITIONING CONTRACT AND ELECTRICAL DRAWINGS TO FAMILIARIZE HIMSELF WITH THAT WORK AND TO VERIFY THE SPACING WHICH THE PLUMBING CONTRACTOR WILL BE REQUIRED TO MAINTAIN.
- BECAUSE OF THE NATURE AND SCALE OF THE DRAWINGS, CERTAIN BASIC PLUMBING ITEMS SUCH AS UNIONS, FITTINGS, ELBOWS, ETC., MAY NOT BE SHOWN. WHERE THESE ITEMS ARE REQUIRED BY OTHER SECTIONS OF THE SPECIFICATIONS, OR WHERE THEY ARE REQUIRED BY THE NATURE OF THE WORK OR BY ANY OTHER REGULATORY AGENCIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THEM FROM THE OWNER. THE DRAWINGS INDICATE GENERAL LOCATIONS OF PIPING, EQUIPMENT, DUCTWORK AND SIMILAR. THE EXACT LOCATION TO BE DETERMINED BY THE CONTRACTOR TO BEST FIT THE LAYOUT OF THE WORK.
- ALL EQUIPMENT SHALL BE THOROUGHLY COVERED AND PROTECTED AGAINST DIRT, WATER, AND CHEMICAL OR MECHANICAL INJURY OR THREAT. PLUMBING FIXTURES SHALL BE COVERED WITH HEAVY PAPER COVERINGS AFTER INSTALLATION AND SHALL BE THOROUGHLY CLEANED AFTER COMPLETION OF THE PROJECT.
- ALL MATERIALS SUCH AS VALVES, FITTINGS, PIPING, EQUIPMENT, PUMPS, COLS, ETC., SHALL BE PROPERLY PROTECTED, AND ALL PIPING OPENINGS SHALL BE TEMPORARILY CLOSED BY THE CONTRACTOR AS WORK PROGRESSES. UNLESS OTHERWISE CHANGED BY THE FIELD ENGINEER, NO ADDITIONAL COST, SO AS TO PREVENT OBSTRUCTION AND DAMAGE, THE ABOVE REQUIREMENTS ARE MANDATORY.
- THE CONTRACTOR SHALL SEE THAT ALL MATERIALS, INSTALLATION AND WORKMANSHIP IS PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE CODES, LAWS, OR ORDINANCES OF THE STATE OF CALIFORNIA AND ALL CITY AND LOCAL ORDINANCES AND ALL APPLICABLE ALARMS OR ORDINANCES, INCLUDING ALL STATE OR LOCAL BOARD OF HEALTH, FEDERAL AND STATE ENVIRONMENTAL PROTECTION REGULATIONS, STATE ENERGY CODES AND UTILITY REGULATORY AGENCIES.
- ALL WORK SHALL BE FURTHER PERFORMED IN ACCORDANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE PLUMBING AND BUILDING CODES, NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION, AND THE NATIONAL SAFETY COUNCIL. ANY SUCH OTHER SPECIFIC CODES AS MAY BE REFERRED TO IN THE INDIVIDUAL SECTIONS OF THE SPECIFICATIONS.
- PIPE SIZES SHOWN ON THE DRAWINGS ARE THE MINIMUM SIZES ALLOWED REGARDLESS OF THE CODE MINIMUM, EXCEPT WHEN THE CODE MINIMUM SIZE IS LARGER THAN THAT SHOWN.
- ALL CONTRACTORS SHALL MAINTAIN A CURRENT SET OF CONTRACT PRINTS ON THE CONSTRUCTION SITE AT ALL TIMES, ON WHICH HE SHALL ACCURATELY RECORD THE ACTUAL INSTALLATION OF ALL PLUMBING WORK. AS WORK PROGRESSES, PLUMBING CHANGES MADE WHETHER RESULTING FROM JOB CONDITIONS, ADDENDA, FORMAL CHANGE ORDERS OR OTHER INSTRUCTIONS ISSUED BY THE ENGINEER.
- THE PLUMBING CONTRACTOR SHALL INDICATE PROGRESS BY COLORING IN VARIOUS PIPES, FIXTURES, AND MARKED APPEARANCES EXACTLY AS THEY ARE ERRECTED AND INSTALLED.
- MARK ALL PIPE SIZES AND LOCATIONS DURING CONSTRUCTION. ALSO, MARK LOCATIONS OF ALL VALVES AND VARIOUS EQUIPMENT, APPARATUS, AND ASSOCIATED APPEARANCES AS EXERCISED WEEKLY DURING CONSTRUCTION.
- AT THE COMPLETION OF THE JOB THESE PRINTS, INCORPORATING CHANGES, ADDENDA AND ADDED DATA NOTED ON MARKED-UP PRINTS, INCLUDING DIMENSIONED LOCATIONS OF UNDERGROUND PIPING BEYOND LIMITS OF BUILDING, SHALL BE SUBMITTED TO THE ENGINEER FOR FINAL REVIEW AND COMMENT. THE ENGINEER WILL RETURN WITH APPROVALS AND REVISIONS. THE CONTRACTOR SHALL RETURN THE ORIGINAL PRINTS TOGETHER WITH CORRELATED PRINTS INDICATING ALL THE REVISIONS, ADDITIONS AND DELETIONS OF WORK, SHALL FORM THE BASIS FOR PREPARING A SET OF RECORD DRAWINGS.
- WHERE PIPING, AND OTHER PLUMBING APPEARANCES PASS THROUGH FIRE PARTITIONS, FIRE WALLS, OR CEILING, THE CONTRACTOR SHALL PROVIDE AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FIRE, SMOKE AND GASES. FIRE-STOP MATERIAL SHALL BE UL APPROVED, PACKED TIGHT AND COMPLETELY FLT CLEARANCES BETWEEN ROOVES AND OPENINGS. FLOOR, EXTERIOR WALL, AND ROOF SEALS SHALL ALSO BE MADE TIGHT AS REQUIRED AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ARRANGE AND FORM RIGHT PIPING APPROXIMATELY AS INDICATED, STRAIGHT, PLUMB AND AS DIRECT AS POSSIBLE. FORM RIGHT ANGLES OR PARALLEL WITH BUILDING WALLS. KEEP PIPES CLOSE TO WALLS, PARTITIONS AND CEILING, OFFSETTING ONLY WHERE NECESSARY TO FOLLOW WALLS AND AVOID INTERFERENCE WITH OTHER MECHANICAL WORK. PIPING SHALL BE RUN IN PARALLEL TO EACH OTHER; SPACE THEM AT A DISTANCE TO PERMIT ACCESS FOR SERVING VALVES.
- PIPING SHALL BE PITCHED TO POINTS OF DRAINAGE WITH CONSTANT UNIFORM SLOPE.
- INSTALL HORIZONTAL PIPING AS HIGH AS POSSIBLE WITHOUT SAGS OR HUMPS.
- GRADE DRAINAGE AT UNIFORM SLOPE OF NOT LESS THAN 2" PER FOOT TOWARD THE POINT OF DISPOSAL WHEN APPROVED BY ADMINISTRATIVE AUTHORITY, PIPE SIZE 4" AND LARGER MAY HAVE A SLOPE OF NOT LESS THAN 1% PER FOOT.
- WHERE CHANGES IN PIPE SIZES OCCUR, USE ONLY REDUCING FITTINGS.
- FOR DRAINAGE PIPING CHANGES IN DIRECTION, USE LONG SWEEP WHERE POSSIBLE, OTHERWISE, SHORT SWEEPS, 1/4" BENDS, OR COMBINATION WYE AND 1/8" BENDS; USE SANITARY TEE BRANCHES ONLY FOR HORIZONTAL BRANCHES DISCHARGING TO STACKS.
- INSTALL SECTONALIZING VALVES AND ON EACH BRANCH LINE TO MULTI-FITTURE GROUPS. LOCATE VALVES IN A READILY ACCESSIBLE LOCATION, DO NOT CONCEAL, DO NOT LOCATE VALVE SYSTEMS BELOW HORIZONTAL UNLESS INDICATED ON PLANS. LOCATE ANGLE STOP VALVES BELOW THE SINK.
- WATER SUPPLY TO ALL FIXTURES AND CONTAINERS SHALL BE SO INSTALLED AS TO PREVENT POSSIBLE BACK SIPHONAGE OF POLLUTED WATER. ALL SUPPLIES SHALL BE EITHER ABOVE THE FLOOD RIM OF THE FIXTURE OR SEPARATED FROM THE DRAINAGE END BY MEANS OF AN APPROVED VACUUM BREAKERS.
- PROVIDE PIPING AND FIXTURE TRAPS, CONNECT TO FIXTURES AND OTHER EQUIPMENT INDICATED OR SPECIFIED AS REQUIRING SOIL, WASTE, GRAB AND VENT FACILITIES.
- USE ALL PIPING TRUE TO LINE AND GRADE, FIT ENDS TOGETHER, MATCH SO THAT SEWER OR DRAIN WILL BE PROPERLY SEaled AND UNLESS INDICATED, FORM AND ELEVATION SHALL BE AS SHOWN.
- LAYING PROGRESS, CLEAR PIPE INTERIOR OF CEMENT, DIRT, AND OTHER FOREIGN MATERIALS. DURING WORK STOPPAGE PERIODS, PROVIDE EFFECTIVE PLUGS OR COVERS FOR OPEN ENDS OF PIPE AND DRAINS.
- PROVIDE CLEANOUTS WHERE INDICATED AND AT INTERVALS OF 100' OR AS REQUIRED BY LOCAL PLUMBING CODE AND WHERE REQUIRED AT CHANGES OF DIRECTIONS OF SOIL AND WASTE STACKS. INSTALL CLEANOUTS SO AS TO BE ACCESSIBLE TO THE STREET OR ROAD AND TO PROVIDE EASY ACCESS TO THE CLEANOUT. CLEANOUTS SHALL BE THE SAME SIZE AS PIPE SERVED EXCEPT THAT NO CLEANOUT NEED BE LARGER THAN FOUR INCHES.
- EXTEND VENT PIPING 12 INCHES ABOVE ROOF AND 10FT MINIMUM AWAY FROM ANY FRESH AIR INTAKES.
- SANITARY VENT PIPING SHALL BE GRADED SO THAT THE AIRFLOW TO THE OUTSIDE WILL BE CONTINUOUSLY UPWARD AND SO THAT NO LOW POINTS WILL BE DRAINED.
- MAKE TIGHT CONNECTION BETWEEN WATER CLOSET FANGES AND EARTHENWARE FIXTURE BY MEANS OF AN APPROVED MOLDED WAX RING OR SETTING COMPOUND AND BOLTING.
- VENTS: PROVIDE FLASHING FOR STACKS PASSING THROUGH ROOF. MAKE WATER-TIGHT AT ROOF WITH 4 LB. SHEET LEAD; EXTEND INTO ROOFING FELT AT LEAST 24" FROM PIPES. EXTEND LEAD COLLAR UP THROUGH ROOF AND DRAINAGE AND PROVIDE CEMENT OR CEMENT MORTAR FLASHING. CLEANOUTS SHALL BE PLACED THROUGH ROOF UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- ALL PIPES SHALL BE PROTECTED AT THE POINT THEY CROSS BUILDING EXPANSION JOINT, EITHER WITH AN EXPANSION FITTINGS OR IN ANOTHER MANNER ACCEPTABLE TO THE ENGINEER.
- PIPE MUST NOT BE IN SOLID CONTACT WITH THE BUILDING STRUCTURE. ISOLATORS CONSISTING OF RESILIENT PIPE SLEEVE ELEMENTS SHOULD BE USED IN CONJUNCTION WITH OR INTEGRAL TO CLAMP ROSS OR HANGER WHEN SECURING PIPES TO THE STRUCTURE.
- PLUMBING CONTRACTOR SHALL CONNECT ALL GAS PIPING TO ALL GAS RELATED UNITS PER PLAN WITH LISTED AND APPROVED GAS SHUT-OFF VALVE, SEEDING GAS PIPING TO THE SEWER.
- FLUE GAS CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR EXERTING THE MOST OF FORCE TO SECURELY OPERATE. CONTROLS SHALL NOT BE GREATER THAN 5 POUNDS.

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DALY CITY, CALIFORNIA

FILE NUMBER:

214086

△ DATE ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION
GENERAL NOTES
LEGEND &
CALCULATIONS
SCALE

AS SHOWN

SHEET NUMBER

P-0.1

Plot Date: Mar 18, 2016 - 9:11am Plotted by: Keith Filename: P0.1 P0.2 P0.3.dwg

RESIDENTIAL PLUMBING FIXTURE SCHEDULE									
FIXT. ID	DESCRIPTION	MANUFACTURER	MODEL	ROUGH-IN					
				W	V	CW	HW		
WC	WATER CLOSET	STERLING	WINDHAM 403081	3"	2"	1/2"	-	FLOOR MOUNT, ELONGATED, WHITE, 1.28 GPF, TANK TYPE, HET, WATER SENSE, WITH BEMIS 1500EC ELONGATED EASY CLEAN SEAT.	
LV	LAVATORY	KOHLER	VERTICYL K-2882	2"	1-1/2"	1/2"	1/2"	17"x13" RECTANGULAR BASIN UNDERCOUNTER SINK WITH KOHLER FAUCET "JULY" K-16027-4 1.5 GPM SINGLE HANDLE FOR BOTH ON/OFF ACTIVATION AND TEMPERATURE SETTING WITH POP UP DRAIN ASSEMBLY.	
KS	KITCHEN SINK	KOHLER	K-3894	2"	1-1/2"	1/2"	1/2"	SINGLE BOWL STAINLESS STEEL UNDERCOUNTER SINK KOHLER FAUCET "ELATE" K-13963, 1.8 GPM PULLOUT SPRAYHEAD WITH RETRACTABLE HOSE	
GD	GARBAGE DISPOSER	BADGER	5	1-1/2"	-	-	-	1/2 HP MOTOR, SINGLE PHASE, 120V/60HZ, ON/OFF WALL SWITCH BY ELECTRICAL CONTRACTOR	
BT	BATHTUB	STERLING	71240126	2"	1-1/2"	1/2"	1/2"	712444106 60"x30" WALL SET WITH BACKE BOARDS 71141126 60"x30" BATH WITH BACKER BOARD, KOHLER "JULY" K-T98008-4 RITE-TEMP SHOWER TRIM, K-5327 REFINIA BATH SPOUT WITH DIVERTER, 2.0 GPM SHOWERHEAD FLOW RATE, WATER SENSE, K-304-KS PRESSURE-BALANCING VALVE WITH SCREWDRIVER STOPS	
WHA	WATER HAMMER ARRESTOR	JAY R SMITH HYDROTROL	5000 SERIES	-	-	SEE PLANS	-	SEE WATER HAMMER ARRESTER SIZING TABLE FOR CORRECT MODEL AND FIXTURE UNIT COUNT. PROVIDE ACCESS PANEL.	
DW	DISH WASHER	KENMORE	22-15113	-	-	-	1/2"	ENERGY STAR	

NON-RESIDENTIAL PLUMBING FIXTURE SCHEDULE									
FIXT. ID	DESCRIPTION	MANUFACTURER	MODEL	ROUGH-IN					
				W	V	CW	HW		
WC-1	WATER CLOSET ADA COMPLIANT	AMERICAN STANDARD	COMPACT CADET 3 FLOWISE 2403.128	3"	2"	1/2"	-	FLOOR MOUNT, ELONGATED, WHITE, 1.28 GPF, HET, SUPPLY WITH STOP, LEFT-HAND CHROME TRIP LEVER, WITH OLSONITE 95C WHITE OPEN FRONT SEAT LESS COVER	
LV-1	LAVATORY ADA COMPLIANT	AMERICAN STANDARD	LUCERNE 0355.012	2"	1-1/2"	1/2"	1/2"	WALL-HUNG, WHITE VITREOUS CHINA, 4" CENTERS, CONCEALED ARMS SUPPORT, SLOAN OPTIMA SYSTEM, SOLAR POWERED, BATTERY BACK-UP FAUCET MODEL EAF-275-ISM, TRIM PLATES (ETF-213-A), 0.35GPM(EAF-51) WITH TRUEBRO LAVGUARD 102	
MS-1	MOP SINK	FLORESTONE	87	2"	2"	1/2"	1/2"	FLOOR MOUNT, 24"x24"x12" DEEP WITH WALLMOUNT DELTA FAUCET # 28T9, 8" CENTERS, 2 HANDLES, INTEGRAL STOPS, VACUUM BREAKER, HOSE-END SPOUT, WALL BRACE	
GWH-1	GAS WATER HEATER	BOCK WATER HEATER	0T500-A	-	-	-	-	124 GALLON, 500,000BTUH, 558 GPH RECOVERY RATE @ 100°F TEMP RISE PROVIDE T&P RELIEF VALVE, VACUUM RELIEF VALVE AND CONDENSATE NEUTRALIZATION KIT. 120V. 1PH	
ET-1	EXPANSION TANK	AMTROL	ST-25V	-	-	1"	-	10.3 GALLON CAPACITY, 15 3/8"D X 19 1/4"H, 3/2"NPTF	
RP-1	HOT WATER CIRCULATING PUMP	GRUNDFOS	UP15 10B7-TLC	-	-	-	3/4"	4.2 GPM @ 3 FTHD, 115V/1PH/60Hz, 1/25HP, 25 WATTS, WITH TIME CLOCK AND AQUASTAT, COORDINATE WITH OWNER FOR TIMER SETTINGS, MOUNT PUMP AT EASILY ACCESSIBLE LOCATION NEAR THE WATER HEATER	
MV-1	MIXING VALVE	LEONARD	TM-2020B -2PS-LF	-	-	1-1/2"	1-1/2"	SET MIXED TEMPERATURE TO 120°F, ALL BRONZE BODY	
HB-1	HOSE BIBB	WATTS	LFS	-	-	3/4"	-	LEAD-FREE HOSE BIBBS, LEAD-FREE VACUUM BREAKER, MOUNT 24" ABOVE FINISHED GRADE	
WHA	WATER HAMMER ARRESTOR	JAY R SMITH HYDROTROL	5000 SERIES	-	-	SEE PLANS	-	SEE WATER HAMMER ARRESTER SIZING TABLE FOR CORRECT MODEL AND FIXTURE UNIT COUNT. PROVIDE ACCESS PANEL.	
FD-1	FLOOR DRAIN	ZURN	Z-508	2"	2"	-	-	9" HEAVY-DUTY DRAIN, DURA-COATED CAST IRON, NO HUB WITH 1/2" TRAP PRIMER CONNECTION.	
FD-2	FLOOR DRAIN	ZURN	Z-415S	2"	2"	-	-	6x6 SSQUARE STRAINER, NO HUB, WITH 1/2" TRAP PRIMER CONNECTION	
TP-1	TRAP PRIMER	PRECISION PLUMBING PRODUCTS	P2 500	-	-	1/2"	-	CORROSION RESISTANT, INSTALL AT LEAST 12" ABOVE THE TRAP TO INSURE PROPER FLOW, 1/2" MALE INLET, 1/2" FEMALE OUTLET PROVIDE AND INSTALL ACCESS PANEL	
FCO	FLOOR CLEANOUT	ZURN	ZN-1400	SAME AS PIPE SIZE	-	-	-	SAME AS PIPE SIZE, BRONZE COVER	
WCO	WALL CLEANOUT	ZURN	ZN-1468	SAME AS PIPE SIZE	-	-	-	SAME AS PIPE SIZE, POLISHED BRONZE	

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FILE NUMBER:

214086

△ DATE

ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

PLUMBING FIXTURES SCHEDULES

SCALE

AS SHOWN

SHEET NUMBER

P-0.2

SEISMIC RESTRAINTS GUIDELINES FOR PIPING

1. ALL SEISMIC RESTRAINTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SEISMIC RESTRAINT GUIDELINES MANUAL AND ALL CERTIFIED SUBMITTAL DATA.
2. TRANSVERSE BRACE SPACING SHALL NOT EXCEED 50 FEET UP TO 0.25_g, 40 FEET UP TO 1.0_g, AND 20 FEET UP TO 2.0_g FOR STEEL AND COPPER PIPE WITH WELDED OR BRAZED CONNECTIONS. LONGITUDINAL SPACING SHALL NOT EXCEED 80 FEET UP TO 1.0_g, AND 40 FEET UP TO 2.0_g FOR STEEL AND COPPER PIPE WITH WELDED OR BRAZED CONNECTIONS.
3. STEEL AND COPPER PIPE WITH SCREWED CONNECTIONS BRACE SPACING SHALL NOT EXCEED 1/2 THE SPACING LISTED IN NOTE 2 GUIDELINES. FOR PVC, PVDF, FRP, AND OTHER SPECIALTY PIPING, BRACE SPACINGS SHALL NOT EXCEED 1/2 THE SPACINGS LISTED IN NOTE 2. ALL PIPE MUST BE CONSIDERED FULL OF WATER WHEN DETERMINING SEISMIC BRACE REQUIREMENTS UNLESS SPECIFICALLY ENGINEERED OTHERWISE.
4. TRANSVERSE RESTRAINT FOR ONE PIPE SECTION MAY ALSO ACT AS A LONGITUDINAL RESTRAINT FOR A PIPE SECTION OF THE SAME SIZE CONNECTED PERPENDICULAR TO IT IF THE RESTRAINT IS INSTALLED WITHIN 24-INCHES OF THE ELBOW OR TEE OR COMBINED STRESSES ARE WITHIN ALLOWABLE LIMITS AT LONGER DISTANCES.
5. HOLD DOWN CLAMPS MUST BE USED TO ATTACH PIPE TO ALL TRAPEZE MEMBERS BEFORE APPLYING RESTRAINTS.
6. BRANCH LINES MAY NOT BE USED TO RESTRAINT MAIN LINES.
7. PROVIDE REINFORCED CLEVIS BOLTS WHEN REQUIRED.
8. PIPING CROSSING BUILDING SEISMIC OR EXPANSION JOINTS, PASSING FROM BUILDING TO BUILDING, OR SUPPORTED FROM DIFFERENT PORTIONS OF THE BUILDING SHALL BE INSTALLED TO ALLOW DIFFERENTIAL SUPPORT DISPLACEMENTS WITHOUT DAMAGING THE PIPE, EQUIPMENT CONNECTIONS, OR SUPPORT CONNECTIONS. PIPE OFFSETS, LOOPS, ANCHORS, AND GUIDES SHALL BE INSTALLED AS REQUIRED TO PROVIDE SPECIFIED MOTION CAPABILITY AND LIMIT MOTION OF ADJACENT PIPING.
9. PROVIDE APPROPRIATELY SIZED OPENINGS IN WALLS, FLOORS, AND CEILINGS FOR ANTICIPATED SEISMIC MOVEMENT. PROVIDE FIRE SEAL SYSTEMS IN FIRE-RATED WALLS.
10. GAS PIPING LESS THAN 1" I.D. NEED NOT BE BRACED.
11. WHERE RIGIDLY SUPPORTED PIPES ARE CONNECTED TO EQUIPMENT WITH VIBRATION ISOLATION, THOSE CONNECTIONS MUST BE CAPABLE OF ACCOMMODATING SEISMIC DISPLACEMENTS. CONVERSELY, WHEN SMALLER UNSUPPORTED PIPES ARE CONNECTED TO RIGIDLY SUPPORTED EQUIPMENT, (i.e., COLS, etc.); THOSE JOINTS MUST BE CAPABLE OF ACCOMMODATING MOVEMENT OF THE PIPES.
12. RIGID PIPING SYSTEMS MAY NOT BE BRACED TO DISSIMILAR PARTS OF THE BUILDING OR TO DISSIMILAR BUILDING SYSTEMS WHICH MAY RESPOND DIFFERENTLY DURING AN EARTHQUAKE. DO NOT BRACE A SYSTEM TO TWO INDEPENDENT STRUCTURES SUCH AS CEILING AND WALL.
13. SEISMICALLY RESTRAIN ALL FUEL OIL PIPING, GAS PIPING, MEDICAL GAS PIPING, AND COMPRESSED AIR PIPING FOR FUEL OIL AND ALL GAS PIPING THAT IS 1" I.D. OR LARGER. TRANSVERSE RESTRAINTS MUST BE AT 20' MAXIMUM AND LONGITUDINAL RESTRAINTS AT 40' MAXIMUM SPACING.
14. PIPING LOCATED IN BOILER ROOMS, MECHANICAL EQUIPMENT ROOMS, AND REFRIGERATION EQUIPMENT ROOMS THAT IS 1-1/4" I.D. AND LARGER MUST BE SEISMICALLY RESTRAINED.
15. ALL OTHER PIPING 2-1/2" DIAMETER AND LARGER MUST BE SEISMICALLY RESTRAINED.
16. SEISMIC RESTRAINTS MAY NOT BE USED FOR ALL PIPING SUSPENDED BY INDIVIDUAL HANGERS 12" OR LESS AS MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF THE SUPPORT WHERE THE HANGER IS ATTACHED. HOWEVER, IF THE 12" LIMIT IS EXCEEDED BY ANY HANGER IN THE RUN, SEISMIC BRACING IS REQUIRED FOR THE RUN.
17. THE 12" EXEMPTION APPLIES FOR TRAPEZE SUPPORTED SYSTEMS IF THE TOP OF EACH ITEM SUPPORTED BY THE TRAPEZE QUALIFIES.
18. WHERE THERMAL EXPANSION IS A CONSIDERATION, GUIDES AND ANCHORS MAY BE USED AS TRANSVERSE AND LONGITUDINAL RESTRAINTS PROVIDED THEY HAVE A CAPACITY EQUAL TO OR GREATER THAN THE RESTRAINT LOADS IN ADDITION TO THE LOADS INDUCED BY EXPANSION OR CONTRACTION.
19. STEEL STRUTS SHALL BE 1-5/8" WIDE IN VARYING HEIGHTS AND MIG-WELDED COMBINATIONS AS REQUIRED TO MEET LOAD CAPACITIES AND DESIGNS INDICATED. A MATERIAL, HEAT CODE, PART NUMBER, AND MANUFACTURER'S NAME SHALL BE STAMPED ON ALL STRUT AND FITTINGS TO MAINTAIN TRACEABILITY TO MATERIAL TEST REPORTS.
20. SEISMIC RETRAINTS FOR PIPING SYSTEMS SHALL WITHSTAND A LATERAL FORCE EQUAL TO 50% OF THE WEIGHT OF THE PIPING SYSTEM AND ITS CONTENTS. SEISMIC BRACING SHALL CONFORM TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND THE ADMINISTRATIVE CODE, AND SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA GUIDELINES FOR SEISMIC RESTRAINT, LATEST EDITION.
21. SPECIAL PIPE HANGER AND SUPPORT PROVISIONS REQUIRED FOR CONTROL OF PIPE EXPANSION, VIBRATION, AND SOUND TRANSMISSION IN CERTAIN PIPING SHALL BE DONE IN ACCORDANCE WITH GOOD SOUND ATTENUATION PRACTICE.
22. SUPPORT CHANNELS, FRAMES, BRACKETS, AND LEGS OF SPECIAL SUPPORTS SHALL BE OF UNISTRUT, SUPERSTRUT, OR ACCEPTED EQUAL, WITH CHANNELS, ATTACHING CLIPS, PIPE CLAMPS, AND OTHER REQUIRED ACCESSORIES.
23. PLASTIC PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH CODE REQUIREMENTS (REVIEW WITH JURISDICTION). SHIMS SHALL BE PROVIDED TO PREVENT PIPE SAG BETWEEN FITTINGS.
24. SPACING OF TRAPEZE HANGERS SHALL BE DETERMINED BY THE SMALLEST PIPE ON THE TRAPEZE. SIZES OF RODS FOR TRAPEZES SHALL BE GOVERNED BY THE LARGEST PIPE ON THE TRAPEZE.
25. TRAPEZE HANGERS SHALL NOT BE LIGHTER THAN 16 GAUGE AND, WHEN EXPOSED TO WEATHER, NOT LIGHTER THAN 12 GAUGE. PIPING THAT RUNS IN PARTITIONS AND IS NOT SUPPORTED FROM CEILING OR FLOOR SHALL BE SECURELY AND INDEPENDENTLY FASTENED TO THE PARTITION MEMBERS WITH CLAMPS OR BRACKETS.
26. LATERAL MOTION OF PIPING WILL NOT CAUSE DAMAGING IMPACT WITH SURROUNDING SYSTEMS (e.g. OTHER PIPE, DUCT, EQUIPMENT, SPRINKLER HEADS, etc.) OR CAUSE LOSS OF SYSTEM VERTICAL SUPPORT.
27. VERTICAL SUPPORT CONNECTIONS CANNOT DEVELOP MOMENTS (e.g. SWIVEL JOINTS, EYE BOLTS, VIBRATION ISOLATION HANGERS, etc.).
28. VERTICAL CAST IRON RISERS ATTACHED WITH SHIELD AND CLAMP ASSEMBLIES MUST BE STIFFENED AT THE CONNECTION POINTS OF ANY UNSUPPORTED SECTION OF PIPE.
29. VERTICAL RISERS IN AN OPEN SHIRT MUST BE ATTACHED TO THE SUPPORTS WITH CONNECTIONS SIZED TO ACCEPT THE HORIZONTAL SEISMIC LOADS.
30. WHERE EARTHQUAKE LOADS ARE APPLICABLE IN ACCORDANCE WITH THE BUILDING CODE, PLUMBING PIPING SUPPORTS SHALL BE DESIGNED AND INSTALLED FOR THE SEISMIC FORCES IN ACCORDANCE WITH THE BUILDING CODE.
31. HANGERS, ANCHORS AND SUPPORTS SHALL SUPPORT THE PIPING AND THE CONTENTS OF THE PIPING. HANGERS AND STRAPPING MATERIAL SHALL BE OF APPROVED MATERIAL THAT WILL NOT PROMOTE GALVANIC ACTION. HANGERS AND ANCHORS SHALL BE ATTACHED TO THE BUILDING CONSTRUCTION IN AN APPROVED MANNER.
32. RIGID SUPPORT SNAY BRACING SHALL BE PROVIDED AT CHANGES IN DIRECTION GREATER THAN 45 DEGREES FOR PIPE SIZES 4 INCHES AND LARGER.
33. ANCHORAGE SHALL BE PROVIDED TO RESTRAIN DRAINAGE PIPING FROM AXIAL MOVEMENT.
34. FOR PIPE SIZES GREATER THAN 4 INCHES, RESTRAINTS SHALL BE PROVIDED FOR DRAIN PIPES AT ALL CHANGES IN DIRECTION AND AT ALL CHANGES IN DIAMETER GREATER THAN 2 PIPE SIZES.

SECTION 15400 - PLUMBING

1.00 - GENERAL

1.01 DESCRIPTION OF WORK

- FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED FOR AND/OR REASONABLY INCIDENTAL TO THE COMPLETION OF THE FOLLOWING WORK.
- A. SANITARY WASTE AND VENT PIPING SYSTEM INCLUDING CONNECTIONS TO BUILDING SEWER AS SHOWN.
- B. DOMESTIC HOT AND COLD WATER SYSTEMS INCLUDING WATER HEATER, AND RELATED ACCESSORIES AND CONTROLS. CONNECTION TO BUILDING WATER AS SHOWN.
- C. PLUMBING FIXTURES, TRIM AND ACCESSORIES INCLUDING INSTALLATION AND SUPPORT.
- D. FLASHING AND SEALING OF ROOF AND EXTERIOR WALL PENETRATIONS FOR WATER TIGHTNESS.
- E. CAULKING AND SEALING OF FLOOR AND WALL PENETRATIONS AND FORMED SHAFT PENETRATIONS.
- F. BACKING FOR SECURING FIXTURES, TRIM AND PIPING.
- G. ACCESS DOORS WHERE SHOWN OR REQUIRED BY CODE.
- H. HANGERS, SUPPORTS, AND GUIDES.
- I. CLEANUP OF DEBRIS AND FINAL CLEANUP OF DRAINS, FIXTURES AND EQUIPMENT.
- J. RECORD DRAWINGS AND OPERATING MANUALS.
- K. LICENSE, PERMITS AND ASSOCIATED FEES.
- L. CUTTING, DRILLING AND PATCHING FOR ALL SURFACES IN RELATION TO PLUMBING WORK.
- M. CONDENSATE DRAINS FROM HVAC EQUIPMENT, AND GAS PIPING

1.02 RELATED WORK INCLUDED UNDER OTHER SECTIONS

- A. HVAC AND ELECTRICAL WORK. 15500 AND 16000
- B. FIRE PROTECTION WORK 153000 (IF APPLICABLE)

1.03 EXAMINATION OF SITE

- A. VISIT SITE BEFORE SUBMITTING BID AND CHECK LOCATION OF ALL EXISTING CONDITIONS WHICH WILL AFFECT THIS WORK, VERIFY DIMENSIONS AND LOCATIONS SHOWN ON DRAWINGS AND COVER ALL COSTS. CONTRACTOR SHALL ASSUME REASONABLE VARIATIONS OR MINOR OMISSIONS AND SHALL COMPLETE PROPOSED WORK WITHOUT ADDITIONAL COST. FAILURE TO VISIT SITE WILL NOT LESSEN CONTRACTOR'S RESPONSIBILITY OR ENTITLE ADDITIONAL COMPENSATION FOR WORK NOT INCLUDED IN PROPOSAL.
- B. VISIT SITE OF THE WORK, COMPARE IT WITH THE DRAWINGS AND SPECIFICATIONS AS TO THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, ASCERTAIN AND CHECK ALL CONDITIONS AND ELEVATIONS AND TAKE ALL MEASUREMENTS WHICH MAY AFFECT THE WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE FOR ANY EXTRA EXPENSE OR CLAIMS DUE TO FAILURE OR NEGLECT UNDER THIS REQUIREMENT TO MAKE SUCH EXAMINATION, INCLUDING EXAMINATION OF RESTRICTED WORKING CONDITIONS OR SUCH OTHER DIFFICULTIES VISUALLY OBSERVED DURING SITE VISIT. CONTRACTOR IS RESPONSIBLE FOR BECOMING COMPLETELY FAMILIAR WITH THE ARCHITECTURAL AND STRUCTURAL CONDITIONS AND LIMITATIONS WHICH WILL EXIST IN THE BUILDING AND TO PROVIDE ALL LABOR, TOOLS AND MATERIALS REQUIRED TO PRODUCE A COMPLETELY CONCEALED INSTALLATION AS INDICATED ON THE PLANS, SPECIFICATIONS, AND REQUIRED BY THE CODE.

1.04 DRAWINGS

THE ACCOMPANYING DRAWINGS SHALL BE CONSIDERED PART OF THESE SPECIFICATIONS. WORK AND MATERIALS SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS AND VICE VERSA SHALL BE EXECUTED AS IF SPECIFICALLY MENTIONED OR SHOWN IN BOTH. THE DRAWINGS SHALL BE CONSIDERED AS SCHEMATIC IN NATURE AND MINOR MODIFICATIONS OF THE WORK TO COMPLY WITH THE STRUCTURE AS FOUND SHALL BE MADE.

1.05 RULES AND REGULATIONS

- A. ALL WORK AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHAL AND OTHER APPLICABLE STATE AND LOCAL RULES AND REGULATIONS. NOTHING IN THESE DRAWINGS OR SPECIFICATIONS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- B. FURNISH WITHOUT ANY EXTRA CHARGE ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED TO COMPLY WITH THESE LAWS, ORDINANCES AND CODES REGARDLESS OF WHETHER SHOWN OR MENTIONED IN THESE SPECIFICATIONS OF DRAWINGS.
- C. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE LANDLORD'S MECH/ELECT. DESIGN CRITERIA. ALL CONTRACTORS SHALL OBTAIN A COPY FROM THE LANDLORD'S TENANT COORDINATOR OR WALL OPERATIONS MANAGER AND BECOME FAMILIAR WITH THE REQUIREMENTS CONTAINED WITHIN PRIOR TO BIDDING THE JOB. WHERE LANDLORD'S REQUIREMENTS CONFLICT WITH CODES OR ORDINANCES THE STRICTEST INTERPRETATION SHALL APPLY.

1.06 SUBMITTALS

- A. SUBMIT FOR REVIEW TO THE OWNER A COMPLETE AND ALL-INCLUSIVE LIST OF EQUIPMENT AND MATERIALS PROPOSED FOR USE (6 COPIES), ACCOMPANIED BY MANUFACTURER'S DATA SHEETS. DATA SHALL BE FORWARDED IN A SINGLE PACKAGE WRITTEN 15 DAYS AFTER AWARD OF CONTRACT. SUBMIT SIX BLACKLINE PRINTS AND ONE REPRODUCIBLE SHOP DRAWING SHOWING PROPOSED PLUMBING INSTALLATION. INCLUDE SIZES, LOCATIONS AND OTHER REQUIRED INFORMATION TO COORDINATE INSTALLATION WITH OTHER TRADES.
- B. WITHIN 5 DAYS AFTER AWARD OF CONTRACT, SUBMIT 6 COPIES OF A LETTER STATING ANY MATERIALS THAT CONTRACTOR WISHES TO SUBSTITUTE, TO THE OWNER FOR APPROVAL. INCLUDE SUCH INFORMATION AS MANUFACTURER'S NAME, TYPE OF MATERIAL, CERTIFIED RATINGS, OVERALL APPEARANCE, AND NECESSARY INFORMATION TO EXPLAIN FUNCTION AND OPERATION OF MATERIAL. ALL PROPOSED SUBSTITUTIONS SHALL BE EQUAL IN QUALITY, DESIGN, UTILITY AND APPEARANCE TO MATERIAL, EQUIPMENT OR METHOD SPECIFIED.

1.07 AS-BUILT DRAWINGS

A SET OF PLUMBING PLANS WILL BE FURNISHED TO THE CONTRACTOR ON WHICH HE SHALL INDICATE THE INSTALLATION "AS-BUILT" AS THE WORK PROGRESSES. UPON COMPLETION OF THE WORK, A SET OF REPRODUCIBLE DRAWINGS SHALL BE OBTAINED FROM THE OWNER AT COST, AND ALL CHANGES AS NOTED ON THE RECORD SET OF PRINTS SHALL BE INCORPORATED THEREON. THIS SET OF REPRODUCIBLES, ALONG WITH ONE SET OF BLUEPRINTS, SHALL BE DELIVERED TO THE OWNER UPON COMPLETION AND BEFORE FINAL ACCEPTANCE OF THE PROJECT.

1.08 GUARANTEE

THE CONTRACTOR SHALL LEAVE THE ENTIRE INSTALLATION IN COMPLETE WORKING ORDER FREE FROM ANY DEFECTIVE MATERIAL, WORKMANSHIP OR FINISH. HE SHALL GUARANTEE TO REPAIR OR REPLACE, WITHOUT CHARGE, DEFECTS DUE TO FAULTY WORKMANSHIP OR MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING OF THE NOTICE OF COMPLETION.

1.09 OPERATION MANUALS AND OWNER INSTRUCTIONS

- A. PROVIDE COMPLETE OPERATION AND MAINTENANCE MANUALS COVERING ALL PLUMBING SYSTEMS AND EQUIPMENT THAT HAVE BEEN INSTALLED. THREE (3) COPIES OF THE MANUAL SHALL BE BOUND IN HARDBACK BINDERS.
- B. PROVIDE INSTRUCTIONS TO OWNER AS TO OPERATION OF ALL EQUIPMENT. INSTRUCTION PERIOD TO COMMENCE FOR MINIMUM OF (2) HOURS AND SHALL BE SCHEDULED AT OWNER'S CONVENIENCE.

1.10 CUTTING AND PATCHING

- A. THE CONTRACTOR SHALL DO ALL CUTTING, DRILLING AND PATCHING WHICH MAY BE REQUIRED FOR THE INSTALLATION OF THE WORK UNDER THIS SECTION OF THE SPECIFICATIONS.
- B. PATCHING SHALL BE OF THE SAME WORKMANSHIP, MATERIAL, AND FINISH AND SHALL MATCH ACCURATELY ALL SURROUNDING CONSTRUCTION IN A MANNER SATISFACTORY TO THE OWNER. NO CUTTING OF THE STRUCTURE SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER.

2.00 - MATERIALS - PIPING

BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH THE LOCAL AUTHORITY HAVING JURISDICTION. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.

- A. INTERIOR UNDERGROUND STORM, SANITARY AND WASTE PIPING:
SERVICE WEIGHT BLD AND SPIGOT CAST IRON OR NO-HUB C.I. PIPE AND FITTINGS, COMPLYING WITH CISPI STANDARDS, OR ABSI DWV SCH40 IF ALLOWED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- C. INTERIOR DOMESTIC WATER PIPING ABOVE GROUND:
3" AND SMALLER - TYPE L HARD TEMPERED COPPER WITH SOLDER END FITTINGS. 95-5 TIN AND ANTIMONY SOLDER JOINTING (LEAD-FREE).
- E. DOMESTIC WATER PIPING BELOW GROUND:
TYPE K COPPER PIPE SHALL BE USED, WHEN PIPING IS INSTALLED WITHIN A BUILDING AND UNDER A CONCRETE SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS. WHEN JOINTS ARE UNAVOIDABLE, THEY SHALL BE BRAZED.
a. PROTECTIVE PIPE COVERING SHALL BE FACTORY OR FIELD APPLIED ACCORDINGLY TO MANUFACTURERS WRITTEN INSTRUCTIONS.
b. 2 3/4" OR LARGER: PRODUCTS SHALL BE POLYKEN NO. 1027 PRIMER AND POLYKEN NO. 910 TAPE COATING, 10 MIL. MINIMUM 1" OVERLAP REQUIRED.
c. 2" AND SMALLER: PRODUCTS SHALL BE 10 MIL. PLASTIC SLEEVE PROTECTOR.

SPECIFICATIONS

F. CONDENSATE DRAIN PIPING:
COPPER WATER TUBE ASTM 888, TYPE "M", SOLDER WITH 95-5 SOLDER, LEAD-FREE TYPE.

G. GAS PIPING: GALVANIZED STEEL, SCH 40 AND FITTINGS FOR OUTDOOR; BLACK STEEL, SCH 40 AND FITTINGS FOR INDOOR ABOVE GROUND. 3" AND SMALLER STEEL PIPES SHALL BE THREADED. 4" AND LARGER STEEL PIPES ARE TO BE WELDED. USE APPROVED POLYETHYLENE YELLOW PIPING (PE) FOR ALL OUTDOOR UNDERGROUND PIPING WITH 14 GAGE TRACER WIRE AND SHALL NOT COME IN CONTACT WITH PE PIPING. PE PIPE MUST BE JOINED BY HEAT FUSION METHOD OF CONNECTING PIPE AND FITTINGS OR APPROVED MECHANICAL FITTINGS.

2.01 PIPE FLASHINGS

4 LBS. LEAD WITH COUNTERFLASHING RING BY GLENCO, STONEMAN ENGINEERING OR APPROVED EQUAL.

2.02 VALVES

- A. GATE VALVES: RED & WHITE 204 OR EQUAL, 3" AND SMALLER.
B. CHECK VALVES: RED & WHITE 238 OR EQUAL, 3" AND SMALLER.
C. BALL VALVES: NIBCO 580-70 OR EQUAL, 3" AND SMALLER.

2.03 PLUMBING FIXTURES AND TRIM:

PLUMBING FIXTURES TO BE FURNISHED AND INSTALLED UNDER THIS CONTRACT. SEE PLUMBING FIXTURE SCHEDULE.

2.04 PIPE HANGERS AND SUPPORTS

- A. SUPERSTRUT, GRINNELL, OR APPROVED EQUAL.
B. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.
C. PIPE HANGERS SHALL HAVE NON-METALLIC FELT OR ELASTOMERIC LINER OR WRAP APPLIED TO THE PIPE FOR ELECTROLYTIC PROTECTION WHERE HANGERS AND SUPPORTS ARE USED TO SUPPORT COPPER TUBING OR PIPE. THE LINER OR WRAP SHALL BE DESIGNED TO ALLOW EXPANSION OR CONTRACTION OF THE PIPING.

2.05 PIPE SLEEVES

SHALL BE PROVIDED TO PROTECT ALL PIPING THROUGH CONCRETE AND MASONRY WALLS. ANNUAL SPACES BETWEEN SLEEVES AND PIPES SHALL BE FILLED OR CAULKED IN AN APPROVED MANNER. ANNUAL SPACES BETWEEN SLEEVES AND PIPES IN FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE FILLED OR TIGHTLY CAULKED IN ACCORDANCE WITH THE BUILDING CODE. ALL UNDERSLAB CAST IRON PIPING SHALL BE COVERED WITH POLYETHYLENE SLEEVE (POLYWRAP) AND CONTRACTOR MUST FOLLOW MANUFACTURER'S MANUAL FOR PROPER INSTALLATION.

2.06 TEMPERATURE AND PRESSURE RELIEF VALVE

TEMPERATURE & PRESSURE RELIEF VALVE SHALL DISCHARGE FULL LINE SIZE TO AN APPROVED WASTE RECEPTOR THROUGH AN AIR GAP AS INDICATED ON PLANS OR 6" MINIMUM, 24" MAXIMUM.

2.07 SCALD GUARD PROTECTION

PROVIDE AND INSTALL LAVATORY SCALD PROTECTION FOR WASTE PIPING AND HOT WATER PIPING.

2.08 DOMESTIC PIPING INSULATION

- A. PROVIDE AND INSTALL "INSULATION PROTECTION SHIELD" FOR PIPING WITH FOAM OR FIBERGLASS INSULATION.
B. INSULATE ALL RAINWATER PIPING WITH 1" THICK FIBERGLASS INSULATION BELOW THE DECK UP TO 25 FEET OF HORIZONTAL RUN.
C. INSULATE ALL HORIZONTAL WASTE PIPING (HUNG) WITH 1-1/2" THICK FIBERGLASS INSULATION ABOVE NOISE SENSITIVE AREAS ONLY. INSULATE ALL EXPOSED WATER PIPING AT THE TRASH ENCLOSURE.
D. INSULATE ALL DOMESTIC WATER PIPING OUTSIDE THE BUILDING OR ON ROOF WITH 1-1/2" THICK ARMSTRONG ARMAFLEX OR APPROVED EQUAL, AND SECTIONS BUTTED FIRMLY TOGETHER.
E. INSULATE ALL CONDENSATE DRAIN PIPING WITH 1/2" THICK ARMSTRONG ARMAFLEX OR EQUAL, AND SECTIONS BUTTED FIRMLY TOGETHER.
F. INSULATE ALL HOT WATER PIPING WITH 1" THICK FIBERGLASS INSULATION.
G. PROVIDE AND INSTALL SCALD GUARD PROTECTION/INSULATION UNDER SINKS WITH EXPOSED P-TRAPS AND HOT WATER SUPPLIES.
H. MINIMUM R-VALUES FOR HOT WATER PIPING INSULATION HAVING PIPE DIAMETER OF LESS THAN OR EQUAL TO 2" IS R-4, FOR LARGER THAN 2" DIAMETER IS R-6.
I. ALL OUTDOOR INSULATION SHALL BE PROTECTED WITH ALUMINUM JACKET.

2.09 CLEANOUT

A. ACCESSIBLE CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH WASTE STACK AND RAINWATER LEADERS. ADDITIONAL CLEANOUT SHALL BE PROVIDED IN A DRAINAGE LINE FOR EACH HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135 DEGREES. CLEANOUT MUST BE PROVIDED ON A HORIZONTAL DRAIN LINE EXCEEDING 8FT OR MORE IN LENGTH SERVING SINKS OR URINALS. AN APPROVED TYPE OF 2-WAY CLEANOUT FITTING SHALL BE INSTALLED OUTSIDE OF A BUILDING AT THE LOWER END OF A BUILDING DRAIN AND EXTENDED TO GRADE.

2.10 WATER HEATER

- A. PROVIDE ANCHORS AND STRAPS TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.
B. STRAPPING SHALL BE LOCATED UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. STRAPS SHALL BE A MINIMUM 2"x16 GAGE PROPERLY SECURED TO WALL STUDS. ELEVATE WATER HEATER AT LEAST 4" MINIMUM ABOVE THE FINISHED FLOOR WITH AN APPROVED BASE. PROVIDE A 22 GAGE WATER TIGHT DRAIN PAN, CORROSION RESISTANT, AT THE BOTTOM OF THE WATER HEATER. DRAIN PAN SHALL HAVE A 3/4" DRAIN LINE TO BE DISCHARGED INTO AN APPROVED RECEPTOR BY MEANS OF AN AIR GAP. A PROPERLY SIZED THERMAL EXPANSION TANK SHALL BE PROVIDED AT THE WATER HEATER. HOT WATER SUPPLY FOR THE LAVATORIES AND HAND SINKS SHALL NOT EXCEED 110°F TEMPERATURE.

2.11 TRENCHING

A. ALL TRENCHES DEEPER THAN THE FOOTING OF ANY BUILDING OR STRUCTURE AND PARALLELING THE SAME SHALL BE AT LEAST 45 DEGREES THEREFROM.

3.00 - INSTALLATION AND EXECUTION

3.01 GENERAL

A. CAST-IRON HUBLESS WITH STAINLESS STEEL SHIELDED COUPLING SHALL BE SUPPORTED HORIZONTALLY AT EVERY OTHER JOINT, UNLESS OVER 4 FEET, THEN SUPPORT EACH JOINT ADJACENT TO JOINT, NOT TO EXCEED 18", BRACE AT NOT MORE THAN 40FT INTERVALS, SUPPORT AT EACH HORIZONTAL BRANCH CONNECTION. HANGERS SHALL NOT BE PLACED ON THE COUPLING. SUPPORT VERTICAL PIPES AT THE BASE AND EACH FLOOR NOT TO EXCEED 15FT. HANGERS AND SUPPORTS FOR ALL PIPING SHALL COMPLY WITH THE CPC 2013 TABLE 3-2.

3.02 SPECIAL REQUIREMENTS, RESPONSIBILITIES AND TESTING

- A. INSTALL PIPING GENERALLY LEVEL, FREE OF TRAPS AND UNNECESSARY BENDS, TO CONFORM WITH BUILDING REQUIREMENTS. PIPE TO BE FREE OF DEFECTS, AND INSTALLED TO AVOID ANY POSSIBLE GALVANIC ACTION BY ISOLATING DISSIMILAR METALS.
B. TEST AND RECORD AVAILABLE DOMESTIC WATER PRESSURE IN STATIC AND DYNAMIC CONDITIONS FOR DYNAMIC TESTING RECORD PRESSURE AND FLOW RATE IN GALLONS PER MINUTE. TRANSMIT THIS INFORMATION TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
C. PROVIDE ALL TESTS SPECIFIED HEREINAFTER AND AS OTHERWISE REQUIRED. PROVIDE ALL TEST EQUIPMENT, INCLUDING TEST PUMPS, GAUGES, INSTRUMENTS AND OTHER EQUIPMENT REQUIRED. PRESSURE GAUGES USED SHALL BE GRADUATED IN INCREMENTS NOT GREATER THAN 5 POUNDS PER SQUARE INCH.. NO PLUMBING OR DRAINAGE SYSTEM OR PART THEREOF SHALL BE COVERED, CONCEALED, OR PUT INTO USE UNLESS IT HAS BEEN SPECIFIED. CONDUCT ALL TESTS IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, AND OBTAIN THE NECESSARY JURISDICTIONAL AUTHORITY INSPECTIONS.
D. APPLY A WATER TEST TO THE WASTE, AND VENT SYSTEMS WHETHER IN ITS ENTIRETY OR IN SECTIONS; IF APPLIED TO THE ENTIRE SYSTEM, TIGHTLY CLOSE ALL OPENINGS IN THE PIPING EXCEPT THE HIGHEST OPENING, AND FILL THE SYSTEM WITH WATER TO THE POINT OF OVERFLOW. IF THE SYSTEM IS TESTED IN SECTIONS, TIGHTLY PLUG EACH OPENING EXCEPT FOR THE HIGHEST OPENING OF THE SECTION UNDER TEST, AND FILL EACH SECTION WITH WATER, BUT TEST WITH NO LESS THAN A 10" HEAD OF WATER. IN TESTING SUCCESSIVE SECTIONS, TEST AT LEAST THE UPPER 10' OF THE NEXT PRECEDING SECTION SO THAT NO JOINT OR PIPE IN THE BUILDING (EXCEPT THE UPPERMOST 10' OF THE SYSTEM) SHALL HAVE BEEN SUBMITTED TO A TEST OF LESS THAN A 10' HEAD OF WATER. KEEP WATER IN THE SYSTEM OR IN THE PORTION UNDER TEST FOR AT LEAST 24 HOURS BEFORE INSPECTION STARTS, WITH THE SYSTEM TIGHT AT ALL POINTS.
E. DOMESTIC WATER PIPING SYSTEM SHALL BE TESTED AND PROVED TIGHT UNDER A PRESSURE OF NOT LESS THAN 120 PSI. PIPING MUST STAND THE TEST FOR A PERIOD OF 24 HOURS WITHOUT LEAKING.
F. CHLORINATION OF THE DOMESTIC COLD AND HOT WATER PIPING SYSTEMS IN ACCORDANCE WITH STANDARD TESTING PROCEDURES AND LOCAL HEALTH DEPARTMENT REQUIREMENTS. TESTING BY A FIRM SUCH AS BENNET-MARINE OR EQUAL. SUBMIT CERTIFICATE OF SATISFACTORY TEST RESULTS.
G. UPON COMPLETION OF TESTING, CERTIFY TO THE ARCHITECT, IN WRITING THAT THE SPECIFIED TESTS HAVE BEEN PERFORMED AND THAT THE INSTALLATION COMPLIES WITH THE SPECIFIED REQUIREMENTS.
H. GAS PIPING SYSTEM SHALL BE TESTED WITH 10 PSIG AIR FOR EIGHT HOURS.

3.03 PIPING INSTALLATION

FLUID TEMP (°F)	NOMINAL PIPE DIAMETER (IN)				
	<1	1 TO<1.5	1.5 TO<4	4 TO<8	>=8
INSULATION THICKNESS REQ. (IN)					
HEATING SYSTEM					
ABOVE 350	4.5	5.0	5.0	5.0	5.0
251-350	3.0	4.0	4.5	4.5	4.5
201-250	2.5	2.5	2.5	3.0	3.0
141-200	1.5	1.5	2.0	2.0	2.0
105-140	1.0	1.5	1.5	1.5	1.5
COOLING SYSTEM					
40-60	0.5	0.5	1.0	1.0	1.0
BELOW 40	1.0	1.5	1.5	1.5	1.5

- A. MAKE CHANGES IN SIZE OF PIPE WITH REDUCING FITTINGS; BUSHINGS WILL NOT BE PERMITTED EXCEPT FOR BELL SHAPED COPPER BUSHINGS.
- B. INSTALL DIELECTRIC INSULATING UNIONS IN WATER PIPING BETWEEN COPPER PIPING AND FERROUS PIPING OR EQUIPMENT - EPCO, OR EQUAL.
- C. INSTALL EXPOSED POLISHED CHROME CONNECTIONS FROM FIXTURES OR EQUIPMENT WITH SPECIAL CARE. SHOW NO TOOL MARKS OR THREADS AT FITTINGS.
- D. CAP OPENINGS IN PIPING DURING CONSTRUCTION.
- E. PROVIDE 85% RED BRASS PIPE, IPS, IN CONNECTION TO FAUCETS, FLUSH VALVES, HOSE BIBBS OR SIMILAR ITEMS REQUIRING RIGID PIPING. EXTEND BRASS PIPE FROM FIXTURE TO POINT WHERE PIPING CAN BE SECURELY FASTENED TO BUILDING CONSTRUCTION. ALL EXPOSED PIPING AND FITTINGS IN CONNECTION TO FIXTURES SHALL BE CHROME PLATED BRASS.
- F. INSTALL UNIONS ADJACENT TO VALVES AND WHERE NECESSARY TO FACILITATE DISASSEMBLY OF PIPING.
- G. ESCUTCHEONS: FIT EXPOSED PIPES PASSING THROUGH FLOORS, WALLS OR CEILINGS WITH ESCUTCHEONS. MANUFACTURE SPECIAL SIZES OF ESCUTCHEONS FROM STEEL AND PRIME COAT SAME, CUT IN ROUND, RECTANGULAR OR SQUARE SPACE TO PROVIDE A CLEAN APPEARANCE ACCEPTABLE TO THE ARCHITECT.
- H. SUPPORT PIPING INDEPENDENTLY OF EQUIPMENT TO WHICH IT IS CONNECTED.
- I. MAKE COPPER SOLDER JOINTS WITH 95/5 SOLDER, OR SILFOS; CLEAN SURFACES TO BE JOINED FREE OF OIL, GREASE, RUST OR OXIDES AND APPLY FLUX TO EACH JOINT BEFORE HEATING ASSEMBLY.
- J. ROUGH-IN AND MAKE FINAL CONNECTIONS TO ALL OTHER EQUIPMENT FURNISHED UNDER OTHER DIVISIONS, REQUIRING PLUMBING CONNECTIONS.

3.04 SUBSTITUTIONS

- A. ONE OR MORE MAKES OF MATERIALS AND METHODS MAY HAVE BEEN SPECIFIED TO ESTABLISH THE STANDARD OF QUALITY, WORKMANSHIP, FINISH AND DUTY. IF OTHER MATERIALS OR METHODS EQUAL OR BETTER IN QUALITY, WORKMANSHIP, FINISH, DESIGN, AND GUARANTEED PERFORMANCE, MAY BE SUBMITTED FOR REVIEW AND APPROVAL AS SUBSTITUTION. ALL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ARCHITECT, ENGINEER, AND OWNER.
- B. SUBSTITUTIONS SHALL BE REQUESTED IN A WRITTEN FORM AND SHALL BE ACCOMPANIED WITH A SIGNED STATEMENT THAT PROPOSED SUBSTITUTION IS EQUAL, OR BETTER THAN SPECIFIED. ADDITIONAL DOCUMENTATION TO SUBSTANTIATED PROPOSED SUBSTITUTION MAY BE REQUIRED BY OWNER, ARCHITECT, AND ENGINEER. CONTRACTOR SHALL SUBMIT AS DIRECTED.
- C. CONTRACTOR SHALL ACCOMPANY REQUEST FOR SUBSTITUTION LETTER WITH A COMPLETED CSI SUBSTITUTION FORM INCLUDE THE COMPARISON FOR FOLLOWING:
1. PERFORMANCE DATA
 2. DIMENSIONS
 3. COSTS AND DELIVERY SCHEDULE
 4. LISTED AND APPROVED
- D. A WRITTEN SIGNED STATEMENT FROM THE GENERAL CONTRACTOR SHALL ACCOMPANY SUBSTITUTION REQUEST FORM ASSURING THAT:
1. DIMENSIONS HAS BEEN VERIFIED WITH PROJECT CONDITIONS AND HAS COORDINATED WITH OTHER TRADES. SUBSTITUTION DOES NOT AFFECT DIMENSIONS SHOWN ON DRAWINGS.
 2. HE SHALL PAY AND BURDEN THE COSTS FOR CHANGES TO THE PROJECT INCLUDING REDESIGN, REENGINEERING AND REVIEW OF SUBSTITUTION. ONLY ONE ENGINEERING REVIEW TIME IS ALLOWED FOR EACH PRODUCT SUBSTITUTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL REVIEW TIME AND SHALL PAY ARCHITECT AND ENGINEER'S TIME AT THEIR PROFESSIONAL RATE SCHEDULE.
 3. HE HAS CONFIRMED THAT THE PROPOSED SUBSTITUTION WILL HAVE NO ADVERSE EFFECT ON OTHER TRADES, THE CONSTRUCTION SCHEDULE, OR SPECIFIED WARRANTY REQUIREMENTS.
 4. HE HAS CONFIRMED THAT MAINTENANCE AND SERVICE PARTS WILL BE LOCALLY AVAILABLE FOR THE PROPOSED SUBSTITUTION.
- E. COST SAVINGS RESULTING FROM SUBSTITUTION SHALL BE RETURNED TO THE CONTRACT OR THE OWNER IF THE SUBSTITUTION IS PERMITTED.
- F. NO WORK INVOLVING MATERIALS SUBMITTED FOR SUBSTITUTION SHALL PROCEED UNTIL WRITTEN ACCEPTANCE IS RECEIVED FROM THE OWNER. THE OWNER IS THE FINAL JUDGE OF ACCEPTABILITY OF PREFERRED SUBSTITUTIONS.

- A. COORDINATE WORK WITH OTHER TRADES TO AVOID CONFLICT AND TO PROVIDE CORRECT INSTALLATION AND CONNECTION FOR EQUIPMENT FURNISHED UNDER OTHER TRADES THAT REQUIRE PLUMBING CONNECTIONS. INFORM CONTRACTORS OF OTHER TRADES OF THE REQUIRED ACCESS TO AND CLEARANCES AROUND EQUIPMENT TO MAINTAIN SERVICE ABILITY AND CODE COMPLIANCE.
- B. VERIFY EQUIPMENT DIMENSIONS AND REQUIREMENTS WITH PROVISIONS SPECIFIED UNDER THIS SECTION. CHECK ACTUAL JOB CONDITIONS BEFORE FABRICATING WORK. REPORT NECESSARY CHANGES IN TIME TO PREVENT NEEDLESS WORK. CHANGES OR ADDITIONS, SUBJECT TO ADDITIONAL COMPENSATION, WHICH ARE MADE WITHOUT WRITTEN AUTHORIZATION AND AN AGREED PRICE, SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE.

3.06 MARKING AND IDENTIFICATION

A. ALL DOMESTIC COLD WATER, HOT WATER, SANITARY SEWER, SANITARY VENT, CONDENSATE DRAIN, AND NATURAL GAS PIPING SHALL HAVE VISIBLE PERMANENT LABELS AT EVERY 20 FEET, THE DIRECTION OF NORMAL FLOW SHALL BE CLEARLY SHOWN, AT LEAST ONCE PER ROOM, AND SHALL BE VISIBLE FROM THE FLOOR LEVEL. THE MINIMUM SIZE OF THE LETTERS SHOWN ON TABLE 6-1 BELOW. VALVES SHALL BE LABELED WITH STENCILED OR STAMPED METAL TAGS BEARING THE NAME OF THE SYSTEM THEY CARRY.

TABLE 6-1

PIPE SIZE (INCHES)	SIZE OF LETTER (INCHES)
1/2 - 1 1/4	1/2
1 1/2 - 2	3/4
2 1/2 - 6	1 1/2
8 - 10	2 1/2

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PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA
FILE NUMBER:
214086

DATE ISSUE

SEAL/SIGNATURE

DRAWING DESCRIPTION

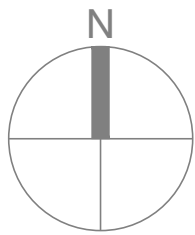
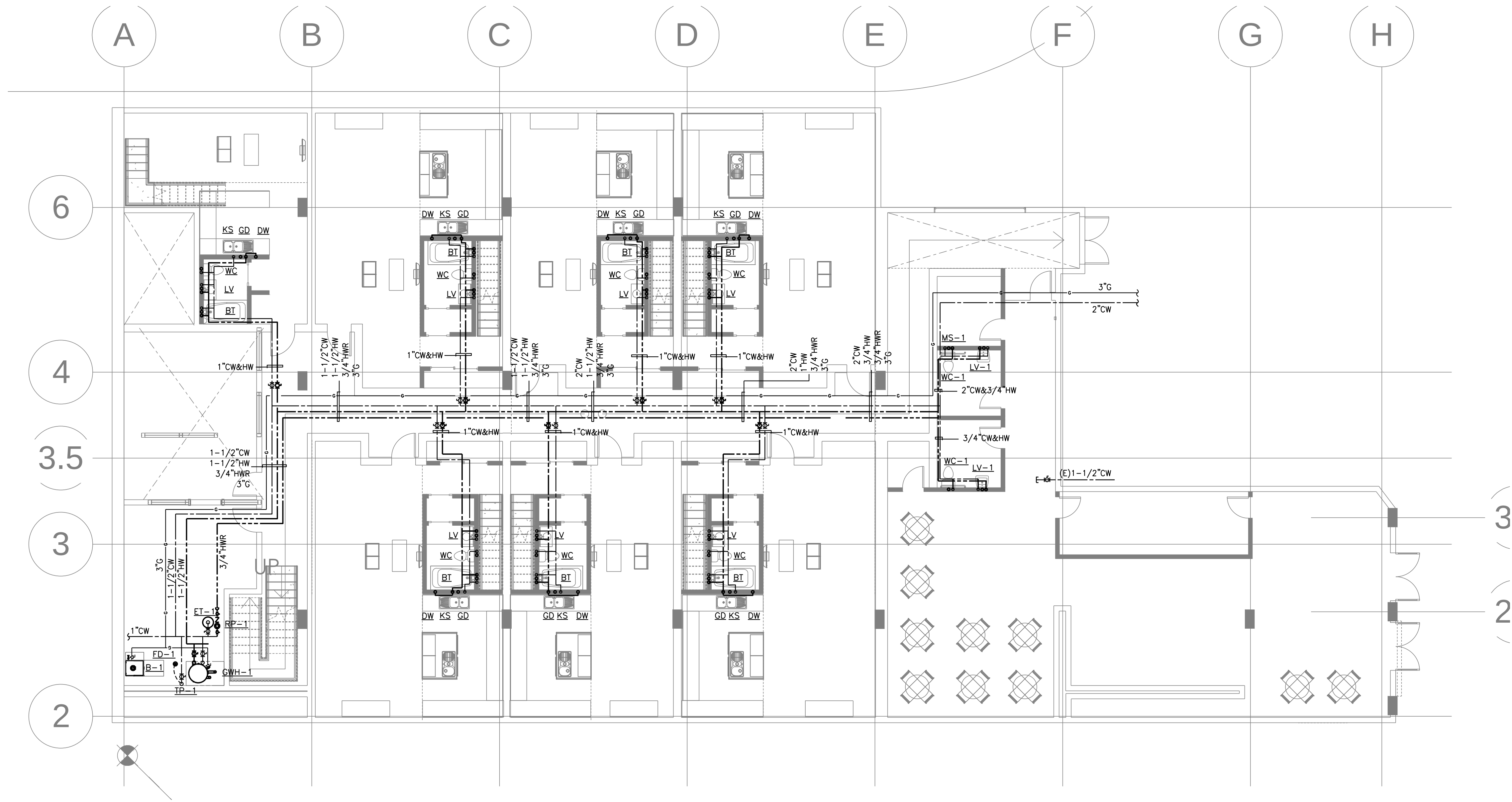
PLUMBING
SPECIFICATIONS
SCALE

AS SHOWN

SHEET NUMBER

P-0.3

Plot Date: Mar 18, 2016 - 9:11am Plotted by: Keith Filename: P1.0 P2.0.dwg



PLUMBING PLAN - WATER & GAS

SCALE
1/8"=1'-0"

1

DATE ISSUE

- ① 1/2"CW&HW TO KITCHEN SINK.
PROVIDE WATER HAMMER ARRESTOR(WHA) AT
HOT WATER SUPPLY OF DISH WASHER.
- ② 1/2"CW&HW TO BATHTUB.
- ③ 1/2"CW&HW TO LAVATORY.
- ④ 1/2"CW TO WATER CLOSET.
- ⑤ 1/2"CW TO ICE MAKER BOX. PROVIDE WATER HAMMER
ARRESTOR(WHA)
- ⑥ 3/4"CW&HW TO MOP SINK.
- ⑦ 1/2"CW DOWN TO TRAP PRIMER WITH ACCESS.
- ⑧ EXTEND & CONNECT 2"CW TO (E)4"CW MAIN IN PARKING
GARAGE. VERIFY THE LOCATION OF (E)4"CW MAIN.
- ⑨ EXTEND & CONNECT 3G TO (E)4"G MAIN IN (E)GAS METER
ROOM. VERIFY THE LOCATION OF (E)4"G MAIN.
- ⑩ 1-1/2"CW&HW TO GAS WATER HEATER.
PROVIDE 2"GAS PIPE WITH SHUT-OFF VALVE.
P&T RELIEF VALVE TO FLOOR DRAIN WITH AIR GAP.
- ⑪ 1"CW TO SPACE HEATING BOILER.
PROVIDE 2"GAS PIPE WITH SHUT-OFF VALVE.
P&T RELIEF VALVE TO FLOOR DRAIN WITH AIR GAP.

KEY NOTES

GENERAL SHEET NOTES

CEILING LEGEND

PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA

FILE NUMBER:
214086

DRAWING DESCRIPTION
PLUMBING PLAN
- WATER & GAS
SCALE

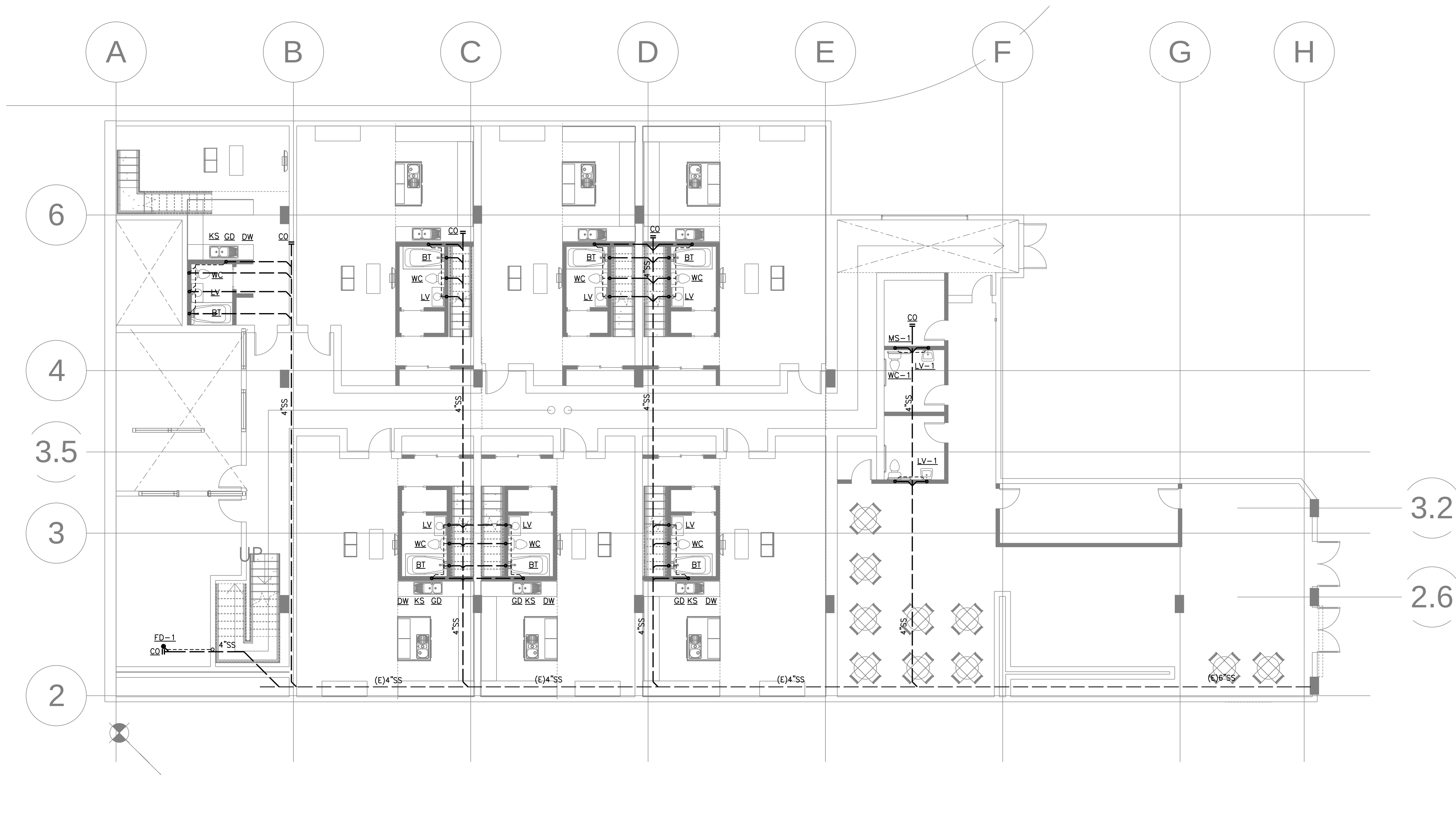
AS SHOWN
SHEET NUMBER

P-1.0

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PLUMBING PLAN - SEWER & VENT

SCALE
1/8"=1'-0"

1

DATE
ISSUE

- 1 2"SS, 2"V TO KITCHEN SINK WITH GARBAGE DISPOSAL.
- 2 2"SS, 2"V TO BATHTUB.
- 3 2"SS, 2"V TO LAVATORY.
- 4 3"SS, 2"V TO WATER CLOSET.
- 5 2"SS, 2"V TO MOP SINK.
- 6 2"SS, 2"V TO FLOOR DRAIN.
- 7 SPARE NUMBER.
- 8 P.O.C.
- 9 EXTEND & CONNECT 2"V TO (E)VENT BELOW CEILING.
VERIFY THE LOCATION & SIZE OF (E)VENT.

KEY NOTES

GENERAL SHEETS NOTES

CEILING LEGEND

DRAWING DESCRIPTION

PLUMBING PLAN
- SEWER & VENT
SCALE

AS SHOWN

SHEET NUMBER

P-2.0

PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA
FILE NUMBER:
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Pacific Place
2665 Geneva Avenue
Daly City, CA

Project Narrative

The Pacific Place project site is 1.05 acres and located at 2665 Geneva Avenue on the corner of Calgary Street in Daly City, CA (APN 005-064-250). The site is occupied by the Pacific Place Apartment Homes where there are currently 72 fully occupied apartments, 2 retail tenants (Subway and Domino's) and one unoccupied 9,736 square foot retail space. Ample on-site parking is allocated between an underground parking garage and surface parking.

The project proposes to convert the existing 9,756 square foot retail space into one additional retail space and seven residential condominium units at the ground floor level along Geneva Avenue (Project).

The referenced unoccupied retail space has been vacant since the Project's initial development. Previous and current ownership have diligently and continuously marketed the vacant retail space for various retail users. The space has remained vacant because the vehicular access is challenging for the majority of "traditional" commercial uses and the loading/unloading layout for the site is difficult for retail users.

Due to the above primary design issues coupled with the immediate area's abundant commercial vacancies, the Project has experienced consistent obstacles in attracting viable retail tenants. The Project now seeks to provide one additional retail space and much-needed residential units to support the housing demand in the immediate area.

The proposed conversion of the existing vacant commercial space to additional residential units will also serve to complement the City's affordable housing initiatives and further supports the City's intent of encouraging further Geneva street activation objectives.

The Project will require a rezoning of the existing PD zoning (PD-58A), an amendment to the existing tentative subdivision map, a use permit, and design review.

Attached find detailed City application requests completed in detail.
Feel free to contact us should there be any questions related to our application.

Thank you in advance for your time and consideration in this matter..

LOUIS CORNEJO
PRINCIPAL



April 18, 2016

Mr. Marc Wing
MG Properties Group
10505 Sorrento Valley Road, Suite 300
San Diego, CA 92121

RE: 2665 Geneva Avenue

Dear Marc,

In my professional opinion there are numerous reasons as to why it has been a challenge for retail at your 2665 Geneva Avenue location:

- The space is too large for local small businesses.
- Without the ability for a dedicated shipping/receiving area, it is difficult for a 10,000 square foot retail user to operate.
- The immediate area does not make economic sense for a retailer to make a significant capital investment. As the main commercial corridor for Geneva Avenue is located at Geneva Avenue and Mission Street.
- Demographics in the subject area are not as strong as ¼ mile West.
- The parking is problematic for retail – daily trips would deadlock the area.
- Your economic incentives have not proven to be effective, leading me to believe location is the deciding issue for retailers.

I suggest a kiosk use on the corner while converting the balance of the space to residential in order to optimize the space.

If you have any further questions, please contact me at 415.863.1775.

Sincerely yours,

Urban Group Real Estate, Inc.

Louis Cornejo
Principal

DRAFT
Planned Development Standards for PD-58~~B~~C

The purpose and intent of these Planned Development Standards for PD-~~58B~~-58C is to establish a Planned Development Zoning District for property located north of Geneva Avenue, between Calgary and Rio Verde Streets, containing approximately 63,150 square feet and consisting of Assessor's Parcel Numbers is 005-064-230 and 240.

General

1. When these Planned Development Standards conflict with other sections of the Zoning Ordinance, these standards prevail only to the extent of the conflict. Where these Planned Development Standards do not provide regulations, the Zoning Ordinance shall apply as to the most similar land use or standard.
2. Any modifications to plans approved by the City Council shall require an amendment of the original PD approval and shall be subject to separate approval by the Planning Commission and City Council. Minor changes of the approved plans due to code requirements or conditions of approval may be approved by the Planning Division.
3. All structures, landscape areas, required facilities and amenities shall be maintained in a neat, safe, and healthful condition, subject to improvement and upgrading of plans as required by this Planned Development approval.

Uses Permitted

4. The following uses are permitted as part of PD-58A:

a. 79 residential condominiums.

~~a.b.~~ Single family homes on the nine (9) lots designated for such use, including accessory uses such as home occupations.

~~b.c.~~ Generally recognized retail businesses where all business, servicing or processing, except for 'walk-up' services, off-street parking or off-street loading, is conducted within completely enclosed buildings, except where written permission has been granted by the Design Review Committee.

~~c.d.~~ Personal service establishments which perform services on the premises, including but not limited to: barber and beauty shops, photographic studios, tailors, repair shops, video rentals, banking and credit union establishments, coffee shops, etc.

~~d.e.~~ Offices including administrative, business and professional offices, medical and dental offices, title companies, insurance offices, etc.

Conditional Uses

5. The following uses require a use permit:
 - a. Liquor stores

- b. Bars and cocktail lounges
- c. Pawn shops
- d. Convenience food stores
- e. Child care centers
- f. Uses is not specifically listed, may be permitted upon issuance of a Use Permit.

Prohibited Uses

- 6. The following uses shall not be permitted:
 - a. Secondary units are prohibited in the single family houses
 - b. Churches and other religious institutions
 - c. Designated commercial spaces shall not be used for residential purposes
 - d. Massage establishments
- 7. The following square footages and unit counts are permitted as a part of PD-58A:
 - a. Approximately ~~13,108~~ 4,948 square feet of ground floor commercial space
 - b. A maximum of ~~7279~~ condominium units
 - c. A maximum of nine (9) single-family homes; seven (7) on Calgary Street and two (2) on Rio Verde Street.
- 8. The Planning Division may approve minor modifications in floor area, whereas major modifications shall be subject to the approval of a use permit. The Planning Division shall determine, at the time an application is submitted, whether the proposal is a major or minor floor area addition for the use.

Site Plan

- 9. All site improvements shall conform to plans approved as part of the Precise Plan with the following revised requirements:
 - a. Curb cuts shall be placed and sized so as to maximize on-street parking spaces.
 - b. Any major site modifications shall require an amendment of the original PD approval and shall be subject to approval by the Planning Commission and City Council except that minor changes may be approved by the Planning Division.
- 10. Landscaping shall be installed in accordance with approved plans and maintained in a neat, clean, and healthy growing condition. Damaged plants shall be replaced within 30 days.

Development Regulations for Single Family Homes

11. The following development standards apply:
- a. Minimum lot size for lots fronting on Rio Verde Street shall be 2,500 square feet, and a minimum lot size of 1,750 square feet for lots fronting on Calgary Street
 - b. Maximum square footage for houses, including garage area, on Rio Verde Street shall be 2,925 square feet, and the maximum square footage for houses, including garage area, on Calgary Street shall be square feet 2,175 square feet
 - c. Maximum lot coverage for lots fronting on Rio Verde Street shall be 55 percent and 72 percent for lots fronting on Calgary Street.
 - d. Minimum yard requirements shall be as follows for lots fronting on Rio Verde Street: front yard – 15 feet, side yards – 0 feet required, and rear yard – 20 feet;
 - e. Minimum yard requirements shall be as follows for lots fronting on Calgary Street: front yard shall be the predominate setback for adjacent homes as provided in 17.38.090 - Front, side and rear yard exceptions; side yards – 0 feet required; and rear yard – 20 feet.
 - f. Room additions and modifications to single family homes shall be in accordance with the requirements for such within the R-1 zone

Lighting

12. All exterior lighting shall be in accordance with plans approved by the Design Review Committee and shall be adequately maintained according to approved standards. Broken or faulty lights must be replaced immediately. All exterior lights, including freestanding fixtures and lights on the exterior walls of buildings, shall be directed and/or shielded in such a manner as to prevent glare or direct illumination onto public streets or adjacent properties and shall be maintained as installed.

Architecture & Design

13. Architectural design of proposed structures and facade changes of existing structures shall comply with plans approved by a Design Review Committee appointed by the Mayor.
14. Once approved, any major architectural modification shall be treated as an amendment of the original approval and shall be subject to approval by the designated Design Review Committee, except that minor changes may be approved administratively by the Planning Division.
15. All roof equipment shall be screened from view from the surrounding streets.
16. The design and location of all trash, recycling, or storage enclosures or other proposed fencing or wall shall be approved by the Design Review Committee.

Parking & Circulation

17. The parking lot shall conform to plans approved as part of the Precise Plan and shall be maintained in accordance with City standards.
18. Each house shall provide, at a minimum of two off-street parking spaces.
19. All parking area dimensions, including stall size, shall be in accordance with Chapter 17.34. "Off-Street Parking and Loading," of the Daly City Ordinance.

Signage

20. All signage shall comply with plans approved by a Design Review Committee appointed by the Mayor. Minor modifications to signage may be approved by the Planning Division.

Site Maintenance

21. All trash shall be confined to approved receptacles and enclosures.
22. All trash, recycling, and storage enclosures shall be properly maintained according to approved plans.
23. All landscaping at points of ingress and egress shall be maintained at a height no greater than 30 inches. Trees must be trimmed in a manner to maintain a site clearance underneath the branches of five feet from grade.
24. Landscaping and open space shall be maintained in a neat, clean and healthful manner.
25. No inoperable vehicles shall be stored at the site.

Parking Management Plan

26. The applicant shall develop a parking management plan for City review and approval. The plan shall identify specific mechanisms to maximize parking for project residents and patrons of the commercial businesses. The plan shall be continually enforced by a Homeowners' Association or other entity acceptable to the City.

AFFORDABLE HOUSING PLAN

Required by Chapter 17.47 of the Daly City Municipal Code

For

Pacific Place, 2665 Geneva Avenue, Daly City, CA

Developer: MG Properties Group

Contact: Jennifer Renk

Date Submitted: February 14, 2017

- 1) Describe the location, structure (attached, semi-attached, or detached), proposed tenure, and size of the proposed Project.

The proposed project involves the re-zoning, subdivision and conversion of an existing 9,736 square foot retail space on the first (1st) floor of the existing Pacific Place Apartment Homes project (located at 2665 Geneva Avenue) into one (1) retail unit and seven (7) condominium units. The total gross square footage of the seven (7) condominium units will equal approximately 6,629 square feet.

- 2) Specify which of the following the Affordable Housing Plan proposes, and provide the required information:

Developer intends to reserve 1.4 units within the project as affordable (or one affordable unit with the remainder .4 paid in lieu), which will satisfy the requirements of the Daly City Municipal Code.

a) Build the Required Affordable Units [17.47.050 B]

- i) Describe the basis for calculating the number of Affordable Units.
If a developer of a new ownership project elects to dedicate units within a proposed project as affordable units, Daly City Municipal Code Section 14.47.050(C)(1)(a) requires the developer to reserve at least twenty percent (20%) of the project's total units as affordable units. Because the proposed project will include seven (7) units, Developer would be required to reserve 1.4 units within the project as affordable units.
- ii) Provide a floor or site plan depicting the location of the Affordable Unit.
See Attached
- iii) Describe the income levels to which each Affordable Unit will be made affordable.
Moderate level, 60% AMI
- iv) Describe the mechanisms that will be used to assure that the units remain affordable for the desired term, such as resale and rental restrictions, deeds of trust, and rights of first refusal and other documents.
Affordable Housing Agreement with the City
- v) For phased Development, provide a phasing plan that provides for the timely development of the number of Affordable Units proportionate to each proposed phase of development as required by Section 17.47.050(B) of ordinance.
N/A

b) Pay the Impact Fee [17.47.050 B]

- i) Describe the basis for calculating the Impact Fee.

Payment of fees alone would be $6629 * \$22/\text{sf} = \$145,838$. 1 unit of the 1.4 unit requirement is 71.43% of total unit requirement. A remainder of 28.57% is unmet. Therefore, the fee for the fractional unit is calculated as $.2857 * \$145,838 = \$41,666$.

c) Propose an alternative [17.47.090]

- i) Describe any alternative means designated in Section 17.47.090 proposed for the Development along with information necessary to support the findings required by Section 17.47.090 for approval of such alternatives
- ii) For Affordable Units proposed in the alternative, provide information as required in a).

N/A

- 3) If the Affordable Housing Plan proposes something other than the building of the required Affordable Units, please describe the benefit(s) of your proposal compared to provision of the Affordable Units.

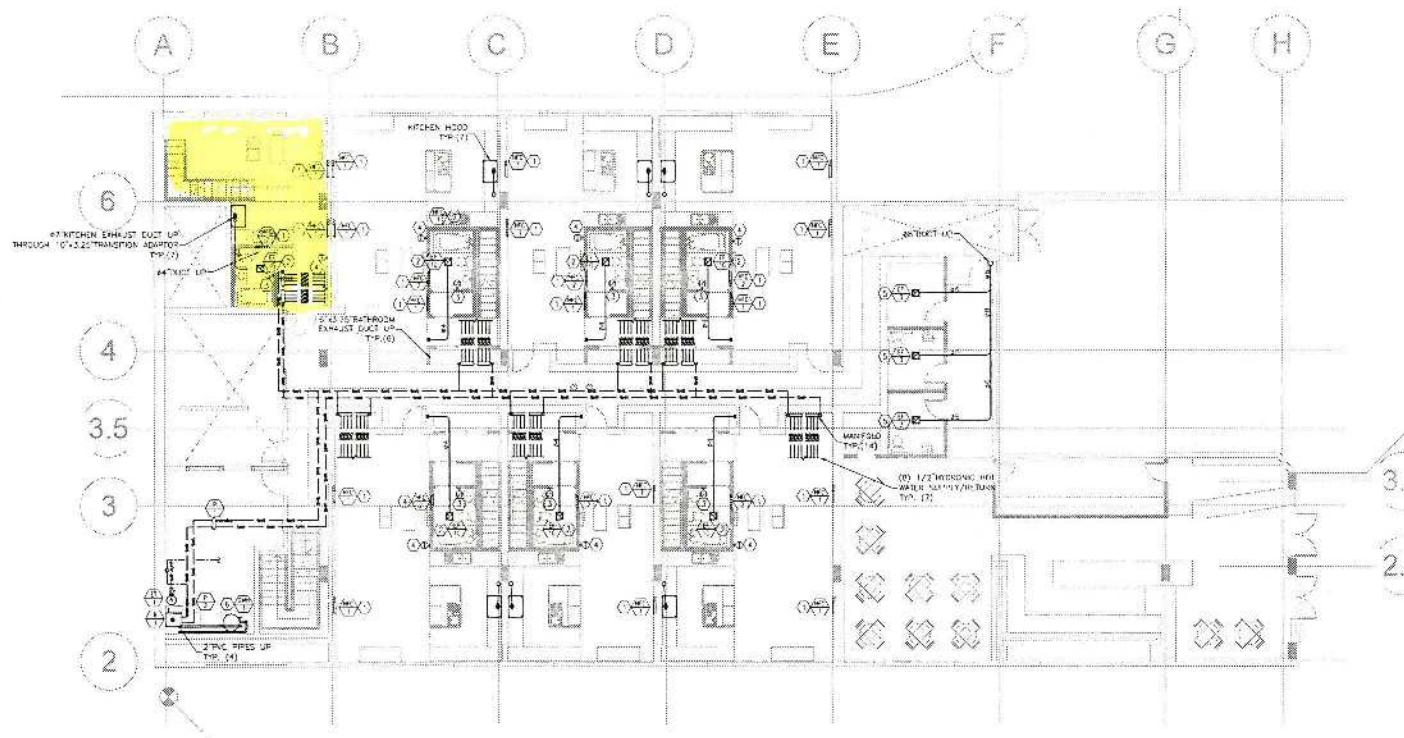
N/A

- 4) Provide any other information reasonably requested by the City Manager to assist with evaluation of the Plan under the standards of the ordinance.

N/A

NOTE: An approved Affordable Housing Plan is required for project approval. An Affordable Housing Agreement executed between City and Developer is required for issuance of building permit. The Affordable Housing Agreement shall stipulate that the City will choose a BMR administrator to administer the sale of BMR units for the project, and the Developer shall cover the cost of the BMR administrator.

Plot Date: Mar 18, 2016 - 8:11am. Plotted by: Keith F. Fennema: M1.9 M2.0 M3.0.dwg



GROUND FLOOR PLAN

SCALE
1/8" = 1'-0"

1

DATE: _____ DESIGNED BY: _____

1. HYDRONIC FAN CONNECTOR. INSTALL PER MANUFACTURER'S RECOMMENDATION.
2. EXHAUST FAN FOR INDOOR AIR QUALITY. EXHAUST FAN SHALL BE OPERATE CONTINUOUSLY WITH MIN. 42 CFM ACCORDING TO ASHRAE 62.2. PROVIDE MANUAL SWITCH FOR TIMED OVERRIDE.
3. MANUAL SWITCH FOR BATHROOM EXHAUST FAN.
4. THERMOSTAT TO BE MOUNTED ON WALL 48" AFF. COORDINATE LOCATION OF THERMOSTAT WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
5. CEILING EXHAUST FAN.
6. DOMESTIC HOT WATER HEATER. SEE PLUMBING PLAN FOR DETAIL.

KEY NOTES

1. CONTRACTOR SHALL VERIFY THE DISTANCE FROM THE EXHAUST OUTLETS TO THE INTAKES OR OPENING OF THE BUILDINGS. MINIMUM DISTANCE FROM THE EXHAUST OR VENT OUTLETS TO THE AIR INTAKES OR OPENING SHALL BE AS FOLLOWING:
 - 1) KITCHEN HOOD EXHAUST OUTLET : MIN. 3'-0"
 - 2) BATHROOM EXHAUST OUTLET : MIN. 3'-0"
2. ALL OF EXHAUST DUCTS SHALL BE 26 GA. SHEET METAL.
3. PROVIDE 3/4" UNDERCUT BY GENERAL CONTRACTOR FOR ALL DOORS OF BATHROOM.
4. FIRE DAMPERS ARE REQUIRED AT PENETRATIONS OF RATED FLOOR CEILING ASSEMBLY. PROVIDE ACCESS PANELS AS REQUIRED.

GENERAL NOTES

1. DROP CEILING AREA

CEILING LEGEND

DRAWING DESCRIPTION

GROUND FLOOR PLAN

SCALE

AS SHOWN

SHEET NUMBER

M-1.0

SIGNATURE

DATE

FILE NUMBER
C16007

PACIFIC PLACE
2665 GENEVA AVENUE
DALY CITY, CALIFORNIA

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CEQA Environmental Checklist

PROJECT DESCRIPTION AND BACKGROUND

Project Title:	2665 Geneva Ave – Conversion of Retail Space to Seven Residential Condominiums
Project File Numbers:	Zone Change ZC-4-16-12036, Major Subdivision SUB-4-16-12037; Use Permit UP-4-16-12038, Design Review DR-4-16-12040, and Negative Declaration CEQA-4-16-12039
Lead agency name and address:	City of Daly City 333 90 th Street ECD Department, Daly City, CA 94015
Contact person and phone number:	Michael VanLonkhuysen Planning Manager (650) 991-8158
Project Location:	2665 Geneva Avenue (APN 005-054-250)
Project sponsor's name and address:	McCall Design Group 550 Kearny Street, Suite 950 San Francisco, CA 94108
General Plan description:	C-MU Commercial Mixed Use
Zoning:	C-1 Light Commercial
Description of project: (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation.)	The proposal is the conversion of a portion of the vacant 9,736 square foot retail space at the street level of the existing building at 2665 Geneva Avenue to seven residential condominiums and one 1,950 square foot retail space. PD zoning amendment required.
Surrounding land uses and setting; briefly describe the project's surroundings:	The project site is surrounded by predominantly single-family residential, retail, and service commercial development. The Cow Palace is located across Geneva Avenue from the proposal.
Other public agencies whose approval is required (e.g. permits, financial approval, or participation agreements):	Bayshore Sanitary District

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

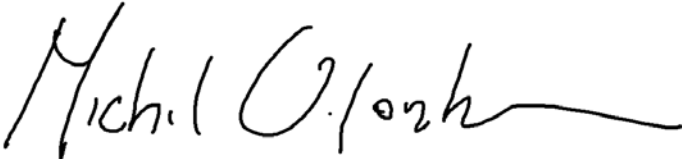
The environmental factors checked below would be potentially affected by this project. Please see the checklist beginning on page 3 for additional information.

☐	Aesthetics	☐	Agriculture and Forestry	☐	Air Quality
☐	Biological Resources	☐	Cultural Resources	☐	Geology/Soils
☐	Greenhouse Gas Emissions	☐	Hazards and Hazardous Materials	☐	Hydrology/Water Quality
☐	Land Use/Planning	☐	Mineral Resources	☐	Noise
☐	Population/Housing	☐	Public Services	☐	Recreation
☐	Transportation/Traffic	☐	Utilities/Service Systems	☐	Mandatory Findings of Significance

DETERMINATION:

On the basis of this initial evaluation:

☒	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
☐	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
☐	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
☐	I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
☐	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required

Signature: 	Date: 2/17/2017
Printed Name and Title: Michael VanLonkhuysen, Planning Manager	

INITIAL STUDY CHECKLIST:

This checklist identifies physical, biological, social and economic factors that might be affected by the proposed project. In many cases, background studies performed in connection with the projects indicate no impacts. A NO IMPACT answer in the last column reflects this determination. Where there is a need for clarifying discussion, the discussion is included either following the applicable section of the checklist or is within the body of the environmental document itself. The words "significant" and "significance" used throughout the following checklist are related to CEQA, not NEPA, impacts. The questions in this form are intended to encourage the thoughtful assessment of impacts and do not represent thresholds of significance.

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
I. AESTHETICS: Would the project:				
a) Have a substantial adverse effect on a scenic vista	☐	☐	☐	☒
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway	☐	☐	☐	☒
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	☐	☐	☐	☒
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	☐	☐	☐	☒

Discussion of Evaluation:

As proposed, exterior modifications to the building's exterior elevations would be minimal and in keeping with the design concept initially approved for the building. All of the seven proposed condominiums would be accessible from within the residential portions of the building or from the building exterior. No primary access shall be provided from the remaining retail space. Although new windows are proposed, the new elevation appears very similar to the existing building design.

Mitigation: None required.

II. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and the forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	☐	☐	☐	☒
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	☐	☐	☐	☒
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	☐	☐	☐	☒
d) Result in the loss of forest land or conversion of forest land to non-forest use?	☐	☐	☐	☒

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	☐	☐	☐	☒

Discussion of Evaluation: The project is located in an existing building. There is no evidence of any agricultural activities on the site, nor within the surrounding vicinity of the site. The proposed project would not convert farmland to non-agricultural use. There is no Williamson Act contract for the site. The project site is not considered forest land as defined in Public Resources Code section 12220(g), or timberland as defined in Public Resources Code section 4526. The proposed development will not result in the loss of forest land or conversion of forest land to non-forest use.

Mitigation: None required.

III. AIR QUALITY: Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	☐	☐	☐	☒
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	☐	☐	☒	☒
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	☐	☐	☐	☒
d) Expose sensitive receptors to substantial pollutant concentrations?	☐	☐	☐	☒
e) Create objectionable odors affecting a substantial number of people?	☐	☐	☐	☒

Bay Area Air Quality Management District (BAAQMD) adopted, *California Environmental Quality Act Air Quality Guidelines* in June, 2010 (Guidelines), to assist lead agencies in evaluating air quality impacts of projects and plans proposed in the San Francisco Bay Area Air Basin (SFBAAB). The Guidelines provides BAAQMD-recommended procedures for evaluating potential air quality impacts during the environmental review process consistent with CEQA requirements. Furthermore, the Guidelines contain instructions on how to evaluate, measure, and mitigate air quality impacts generated from land development construction and operation activities.

Operational-Related Impacts: In 2011, BAAQMD developed screening criteria to provide lead agencies and project applicants with a conservative indication of whether the proposed project could result in potentially significant air quality impacts. The screening criteria identified by BAAQMD are not thresholds of significance, but instead are generally representative of new development on greenfield sites without any form of mitigation measures taken into consideration. In addition, the screening criteria do not account for project design features, attributes, or local development requirements, such as Green Building requirements, that could also result in lower emissions.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of seven condominium units that would be constructed within the shell of an existing retail space, none of the screening criteria identified in the BAAQMD guidelines are exceeded by the project.

Community Risk and Hazard Impacts: To assist lead agencies in evaluating air quality impacts at the neighborhood scale, *Thresholds of Significance* have been established for local community risks and hazards associated with Toxic Air Contaminants (TACs) and Fine Particulate Matter (PM_{2.5}) with respect to siting a new source and/or receptor; as well as for assessing both individual source and cumulative multiple source impacts. The Guidelines recommend methods whereby local community risk and hazard impacts from projects for both new sources and new receptors can be determined based on comparison with applicable thresholds of significance and screening criteria and the Guidelines recommend mitigation measures for these impacts.

BAAQMD provides a Risk and Hazard Screening analysis process, to assist lead agencies in deciding whether there should be further environmental review. The process involves identifying emission sources within 1,000 feet of a project's fence line, conducting initial conservative screening, conducting advanced screening for more refined estimates, and conducting refined modeling analysis. Each step of the process either results in an assumption that the project will not have significant impact for risk and hazards and no further analysis is required, or the requirement to pursue the next step in the analysis process. If the risk and hazard estimates are not below the thresholds, after conducting the final step of refined modeling analysis, the project would have to implement risk reduction strategies.

There is no permitted emission sources within 1,000 feet of the project boundary.

Local Carbon Monoxide Impacts: The Guidelines contain a preliminary screening methodology that provides lead agencies with a conservative indication of whether the implementation of the proposed project would result in CO emissions that exceed the *Thresholds of Significance* shown in Table 2-1 of the Guidelines. The Guidelines state that a

proposed project would result in a less-than-significant impact to localized CO concentrations if the following screening criteria is met: 1. Project is consistent with an applicable congestion management program established by the county congestion management agency for designated roads or highways, regional transportation plan, and local congestion management agency plans; 2. The project traffic would not increase traffic volumes at affected intersections to more than 44,000 vehicles per hour; and 3. The project traffic would not increase traffic volumes at affected intersections to more than 24,000 vehicles per hour where vertical and/or horizontal mixing is substantially limited (e.g., tunnel, parking garage, bridge underpass, etc.). According to the City's Traffic Engineer, a traffic study was not warranted due to the size of the project. The proposed project would not generate more than 100 net PM peak trips (it generates seven peak hour trips) and therefore is consistent with the congestion management plan and all of the aforementioned preliminary screening criteria.

Construction Related Impacts:

Construction-related activities are those associated with the building of a project. Construction activities are typically short-term or temporary in duration; however, project-generated emissions could represent a significant impact with respect to air quality and/or global climate change.

The first step in determining the significance of construction-related criteria air pollutants and precursors is to compare the attributes of the proposed project with the applicable *Screening Criteria* listed in Section 3.5.1 of the Guidelines. If all of the *Screening Criteria* are met, construction of the proposed project would result in a less-than-significant impact to air quality. If not, then construction emissions need to be quantified. The construction of the seven condominiums in the shell of an existing retail space does not meet such criteria and would not require significant demolition. The applicant would nonetheless be required to obtain any appropriate permits from the BAAQMD.

The second step in determining the significance of construction-related criteria air pollutants and precursors is to quantify the construction emissions. Staff utilized the BAAQMD's recommended URBEMIS (version 9.2.4) modeling program to quantify construction emissions for the proposed land use development project.

The daily average emissions of construction-related criteria air pollutants or precursors of the proposed seven condominium subdivision will not exceed any of the *Thresholds of Significance*, and the project therefore, would result in a less-than-significant impact to air quality.

All *Basic Construction Mitigation Measures* will be included in the design of the project design and implemented during construction. The project will not include uses or activities expected to create any objectionable odors affecting a substantial number of people. The project will not result in any significant deterioration of air quality.

Mitigation: None.

IV. BIOLOGICAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
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a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	☐	☐	☐	☒
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	☐	☐	☐	☒
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	☐	☐	☐	☒
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	☐	☐	☐	☒
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	☐	☐	☐	☒
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	☐	☐	☐	☒

Discussion of Evaluation: The project is located within an existing building and would therefore not impact species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or United States Fish and Wildlife Service located on or near the subject property. There are no riparian habitats or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service located on or near the subject property.

There are no federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) that will be adversely affected through direct removal, filling, hydrological interruption, or other means, by the development of this project.

This project will not interfere with the movement of any native resident or migratory fish or wildlife species, as there are none present on or near this site; or with established native resident or migratory wildlife corridors, as there are none on this site; or impede the use of native wildlife nursery sites, as there are none in the project's vicinity.

There are no habitat areas on or bordering the site. The City has no tree preservation policies or ordinances. There is no adopted Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional or state habitat conservation plan at this site.

Mitigation: None required.

V. CULTURAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	☐	☐	☐	☒
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	☐	☐	☐	☒
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	☐	☐	☐	☒
d) Disturb any human remains, including those interred outside of formal cemeteries?	☐	☐	☐	☒

Discussion of Evaluation: The project is located within an existing building and would therefore not impact archaeological resources or sites, as defined by §15064.5, on the subject site or within the immediate vicinity. There are also no known paleontological resources or unique geologic features on the subject site or within the immediate vicinity.

The project does not have the potential to cause a physical change, which would affect unique ethnic cultural values. Should evidence of cultural or historic artifacts be uncovered during subsequent development, work shall be halted in the area of the find. An archaeologist or historian, selected by the City, shall be consulted and shall determine the significance of the find; identify feasible mitigation measures to preserve, recover or document the find pursuant to the California Environmental Quality Act; and at that time the City shall specify the measures to be taken.

Mitigation: None required.

VI. GEOLOGY AND SOILS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42?	☐	☐	☐	☒
ii) Strong seismic ground shaking?	☐	☐	☐	☒

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction?	☐	☐	☐	☒
iv) Landslides?	☐	☐	☐	☒
b) Result in substantial soil erosion or the loss of topsoil?	☐	☐	☐	☒
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	☐	☐	☐	☒
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	☐	☐	☐	☒
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	☐	☐	☐	☒

Discussion of Evaluation: The site is not within a State of California designated Alquist-Priolo Earthquake Fault Zone, but is located in the San Francisco Bay Area, considered one of the most seismically active regions in the United States. Significant earthquakes have occurred in the Bay Area, and will continue to occur, with intensities varying, depending upon the magnitude of earthquake, the distance of the site from the causative fault, and the type of materials underlying the site.

According to the Safety Element of the Daly City General Plan, the subject site could experience "Very Strong" ground shaking intensity from an earthquake on the San Andreas Fault. Otherwise, according to more recent data prepared by the Association of Bay Area Governments (ABAG), "*On Shaky Ground, 2010*," there are three different types of ground shaking intensities shown in the project area: high, moderately high, and moderate. These intensities are projected from earthquakes on the San Andreas or other faults in the region.

No known active faults or fault traces are known to traverse the subject site. However, due to the proximity of the nearest active fault line, the San Andreas fault, approximately three miles west, the proposed development, along with all of the City of Daly City, engenders risk of seismic instability. Due to its proximity to the San Andreas Fault and the generally seismically active region, severe ground shaking is likely during the life of the structure(s), particularly during a major seismic event.

Another recently discovered fault, named the Mussel Rock fault, located about two miles southwest of the San Andreas fault, extending offshore at Mussel Rock, was identified in 1998. Although not extensively studied, this fault is not presently classified as active. Compared to the nearby San Andreas Fault, the Mussel Rock Fault is not currently considered to be a significant seismic hazard for the City of Daly City.

The project site is a previously developed public intermediate school, surrounded by existing residential development in a fully urbanized area. Soils reports are typically required wherever future development is intended, prior to grading or issuance of a building permit, as determined by the Building Official and/or City Engineer. The proposed buildings on the site will be subject to the building and safety requirements of the City of Daly City and the Uniform Building Code of the State of California, and based upon the observed geologic conditions of the site. No significant impact is expected.

Mitigation: No mitigation required beyond compliance with the Uniform Building Code.

VII. GREENHOUSE GAS EMISSIONS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	☐	☐	☐	☒
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	☐	☐	☐	☒

Discussion of Evaluation: BAAQMD's approach to developing a *Threshold of Significance* for Greenhouse Gas (GHG) Emissions is to identify the emissions level for which a project would not be expected to substantially conflict with existing California legislation adopted to reduce statewide GHG emissions needed to move us toward climate stabilization. If a project would generate GHG emissions above the threshold, it would be considered to contribute substantially to a cumulative impact and would be considered significant. The *Thresholds of Significance* for operational-related GHG emissions for land use development projects are either compliance with a qualified GHG Reduction Strategy; or annual emissions less than 1,100 metric tons per year (MT/yr) of CO₂ e; or 4.6 MT of CO₂ e/SP/yr (residents + employees). Land use development projects include residential, commercial, industrial, and public land use facilities. The City of Daly City has not adopted a qualified GHG Reduction Strategy.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of seven condominiums, none of the screening criteria identified in the BAAQMD guidelines are exceeded by the project.

Additionally, the City of Daly City adopted a Green Building Ordinance in December, 2010 that requires all new residential construction to meet minimum requirements for Build It Green, LEED, or an equivalent third party rating system certification. Compliance with certification requirements of one of the aforementioned third party rating systems will translate into building energy efficiency above what is required by Code, greater resource conservation in the

demolition, construction and operation of the site, and healthier interior and exterior materials. According to the U.S. Environmental Protection Agency (EPA), buildings account for 38.9% of the nation's total carbon dioxide emissions—a major contributor to GHG emissions. Mandating green building practices in new residential construction will result in increased energy efficiency that can ultimately contribute toward lower GHG emissions and other pollutants.

Mitigation: None.

VIII. HAZARDS AND HAZARDOUS MATERIALS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	☐	☐	☐	☒
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	☐	☐	☐	☒
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	☐	☐	☐	☒

h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	☐	☐	☐	☒
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Discussion of Evaluation: As part of the building permit process, all plans are reviewed for compliance with applicable Building and Fire Department requirements, pursuant to the Uniform Building and Fire Codes, and all other related City requirements. The referenced codes prescribe types of construction to protect safety.

The proposed seven unit condominium construction would not involve the routine transport, use, or disposal of hazardous materials. As such, there would be no risk of significant hazard to the public or the environment involving the release of hazardous materials into the environment. While the construction vehicles would typically use gas and diesel fuel, Best Management Practices (BMPs) would be utilized to ensure that no construction-related fuel hazards occur. No hazardous materials are currently present at the site. The proposed project would not result in the emission of hazardous materials, substances or hazardous waste.

The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

The site is not located within an airport land use plan, and would not result in a safety hazard for people residing or working in the project area. The site is not located within a private airstrip. The proposed project would not impair implementation or physically interfere with an adopted emergency plan or emergency evacuation plan.

The site is not within an area that is subject to wildland fires.

Mitigation: None required.

IX. HYDROLOGY AND WATER QUALITY: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?	☐	☐	☐	☒
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☐	☐	☒

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	☐	☐	☐	☒
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	☐	☐	☐	☒
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	☐	☐	☐	☒
f) Otherwise substantially degrade water quality?	☐	☐	☐	☒
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐	☐	☐	☒
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	☐	☐	☐	☒
j) Inundation by seiche, tsunami, or mudflow	☐	☐	☐	☒

Discussion of Evaluation: The project is within the jurisdiction of the City of Daly City and will be subject to compliance with San Mateo County Wide Water Pollution Program. As a requirement of Building Permit issuance, the project will be required to demonstrate compliance with program requirements.

There are no known subsurface water supplies in the project area. The City of Daly City Department of Water and Wastewater Resources is charged with all the City water quality compliances and has provided appropriate conditions of approval for the proposed project. The project will not draw on or deplete groundwater supplies.

The project does not involve grading. Nevertheless, the project will be subject to the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit, intended to control pollution in storm water associated with construction activities. The project would not degrade water quality due to the implementation of BMPs to control pollution in runoff. These measures would reduce water runoff to a less than significant level.

The site is not located in a portion of Daly City that is within a 100-year flood hazard area. The project would not impede or redirect flood flows. Proposed ground elevations on the subject site

are in excess of 200 feet above sea level. There are no impacts from flooding as a result of the proposed project. The project site located upland from the Pacific Ocean and San Francisco Bay, and is not likely subject to the potential effects of a seiche, tsunami (seismic wave) or volcanic hazard. No significant impact upon water resources would be anticipated.

Mitigation: None required.

X. LAND USE AND PLANNING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Physically divide an established community?	☐	☐	☐	☒
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	☐	☐	☐	☒
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	☐	☐	☐	☒

Discussion of Evaluation: The project is proposed within an existing building and there is therefore no potential that the project, as it is situated, to physically divide an established community.

There is no habitat conservation plan or natural community or natural community conservation plan adopted for this site or the near vicinity.

Mitigation: None Required.

XI. MINERAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	☐	☐	☐	☒
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	☐	☐	☐	☒

Discussion of Evaluation: No known mineral resources are located on the site, nor has the site been used for mineral resource extraction.

Mitigation: None Required.

XII. NOISE: Would the project result in:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	☐	☐	☒	☒
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	☐	☐	☐	☒
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☐	☒
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☐	☒
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒
) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒

Discussion of Evaluation: According to the Daly City General Plan Noise Element existing and projected noise contour maps, the project site is located in an area with Community Noise Equivalent Level (CNEL) of less than 60. According to the noise model developed for the City's General Plan in 2013, future noise levels are not expected to increase for this area. Within this noise contour, residential condominiums, such as those proposed, are considered "Normally Acceptable" and therefore no additional noise mitigation is required.

Construction noise will occur during project construction, as with all new construction projects, resulting in increased exterior noise levels within the project vicinity. Noise levels associated with construction activities such as excavation, ground clearing and finishing work range from 78

to 89 dBA at 50 feet from the noise source (Bolt, Beranek & Newman, "Noise from Construction Equipment and Operation, Building Equipment and Home Appliances", 1971). This impact, however, would be temporary only, limited in area, and would be diminished via implementation of Best Management Practices (BMP's). BMPs are required at the time of building permit issuance for all new development and would reduce any impacts of additional noise level exposure to insignificance. Such BMPs include, as standard conditions of approval for all new construction include requirements for construction vehicles and equipment to be properly muffled. Construction hours will be limited to 8:00 a.m. to 5:00 p.m. Mondays through Fridays and construction on weekends and holidays will be prohibited to avoid inconveniencing neighbors.

The project site is not located within an airport land use plan or, within two miles of a public airport or public use airport

The proposed project is not within the vicinity of a private airstrip.

Mitigation: None required.

XIII. POPULATION AND HOUSING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	☐	☐	☐	☒
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒

Discussion of Evaluation: The project is located within an existing building, surrounded by existing residential, retail and service commercial development in a fully urbanized area. Therefore, the project has no potential for displacement of existing residents or the potential to induce population growth beyond the project boundary. The project infrastructure is also limited to the property proposed for development and provides no substantial capacity increases to water, sewer, or wastewater facilities that would allow the accommodation of additional population growth in the immediate vicinity. The project does not include any improvements to sub-regional or regional roadway networks that would induce population growth.

Mitigation: None required

XIV. PUBLIC SERVICES:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:	☐	☐	☐	☒
Fire protection?	☐	☐	☐	☒
Police protection?	☐	☐	☐	☒
Schools?	☐	☐	☐	☒
Parks?	☐	☐	☐	☒
Other public facilities?	☐	☐	☐	☒

Discussion of Evaluation:

As part of the building permit review process, all departments and agencies responsible for providing services are consulted to determine their ability to provide services to proposed development projects. Such services within the project area may include, but not be limited to fire and police protection, schools, maintenance of public facilities including roads, and other governmental services as anticipated by the City's General Plan. Based on distribution of preliminary plans, all applicable agencies have indicated they would be able to provide the needed public services at acceptable service levels to this project. Park impacts are the subject of the subsequent impact section analysis.

Mitigation: None required.

XV. RECREATION:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	☐	☐	☒	☐
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	☐	☐	☐	☒

Discussion of Evaluation: The proposed project consists of a condominium subdivision that would allow seven new condominiums. Prior to project completion, the project applicant will be required to pay park in-lieu fees, Per the Parkland Dedications Ordinance, park in-lieu fees would be required for park or recreational purposes.

Mitigation: None required.

XVI. TRANSPORTATION/TRAFFIC: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	☐	☐	☐	☒
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	☐	☐	☐	☒
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	☒

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	☐	☐	☐	☒
e) Result in inadequate emergency access?	☐	☐	☐	☒
f) Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	☐	☐	☐	☒

Discussion of Evaluation:

The proposed project consists of the conversion of a portion of the vacant 9,736 square foot retail space at the street level of the existing building at 2665 Geneva Avenue to seven residential condominiums and one 1,950 square foot retail space. Based on traffic generation rates for condominiums, the project is expected to generate fewer than 10 peak hour traffic trips which is not considered a significant traffic impact. Due to the low number of units, a traffic study was not required for the project.

Mitigation: None.

XVII. UTILITIES AND SERVICE SYSTEMS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	☐	☐	☐	☒
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☐	☐	☒

e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	☐	☐	☒	☐
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	☐	☐	☐	☒
g) Comply with federal, state, and local statutes and regulations related to solid waste?	☐	☐	☐	☒

Discussion of Evaluation: As part of the building permit review process, all departments and agencies responsible for providing utilities are consulted to determine their ability to provide water, sewer, and stormwater facilities to proposed development projects. Based on distribution of preliminary plans, all applicable agencies, i.e., the City of Daly City and Bayshore Sanitary District, have indicated they would be able to provide the necessary utilities required to this project. Furthermore, the project is consistent with the Daly City Water Master Plan, Waste Water Master Plan, other long-range master plans and Capital Improvement Program in terms of future growth anticipated in the project area. The developer will be assessed any necessary fees to cover these services at the time the City issues building permits for the project.

The project will be required to comply with federal, state, and local statutes and regulations related to solid waste, per the City of Daly City's standards. Electric, gas, water, storm, and sewer lines exist within close proximity of the project site however, there may be upgrades to existing facilities required, per Department of Water and Wastewater Department, Engineering Division and the North County Fire Authority. All facilities will be required to be constructed in compliance with pertinent Codes and standard specifications.

The project will be connected to existing improved drainage facilities and, prior to any issuance of permits, the developer will be required to submit a storm drain analysis for existing and proposed drainage improvements; existing improvements shall be upgraded in compliance with City standards and as required by the impacts of the proposed improvements. The developer may be required to submit a Sewer Flow Study to ensure the existing system is capable of handling the additional flow of this development. The developer shall bear all costs for any water and/or sewer infrastructure improvements that may be necessary and will be designed to meet the current edition of the City of Daly City Standard Specifications and Drawings, or those of the Bayshore Sanitary District.

Mitigation: None required.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	☐	☐	☐	☒
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	☐	☐	☐	☒
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	☐	☐	☐	☒

Discussion of Evaluation: The project would not have significant environmental impacts to air quality, greenhouse gas emissions, and traffic.

Mitigation: Nione.

LIST OF REFERENCES AND CONTACTS

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4. CH2Mhill. Daly City Collection System Master Plan, 1993.
5. Brown and Caldwell. Daly City Water Master Plan, 1991.
6. Association of Bay Area Governments. On Shaky Ground, Earthquakes and Hazards Program, 2010.
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11. California Department of Conservation, Division of Land Resource Protection, Williamson Act Program. San Mateo County Williamson Act 2006, 2006.
12. California Department of Conservation. State of California Special Studies Zones San Francisco South, Revised Official Map, January 1, 1982.
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14. United States Department of Fish and Wildlife Service. National Wetlands Inventory, Wetlands Data.KMZ (Keyhole Markup Language file accessed via Google Earth), May 20, 2010.
15. Bay Area Air Quality Management District. California Environmental Quality Act Air Quality Guidelines, June 2010.
16. Bay Area Air Quality Management District. BAAQMD CEQA Guidelines Risk and Hazard Screening Analysis Process Flow Chart. May, 2010.
17. Bay Area Air Quality Management District. Stationary Source Screening Analysis Tool, San Mateo May 2011, Google Earth KMZ file, accessed February, 2011.
18. Bay Area Air Quality Management District. Roadway Screening Analysis Tables, Roadway Screening Tables. April, 2011.
19. Bay Area Air Quality Management District. GHG Plan Level Quantification Guidance. April 15, 2011.
20. Bay Area Air Quality Management District. Screening Tables for Air Toxics Evaluation During Construction, Version 1.0, May, 2010.
21. Section 503 of the Uniform Housing Code.
22. City/County Association of Governments of San Mateo County. Final San Mateo County Congestion Management Program 2009, September, 2009.
23. Padre and Associates, Inc. Phase I Environmental Site Assessment and Title V Environmental Hazards Evaluation for the Robertson Intermediate School Reconstruction Project, 1 Martin Street, Daly City, San Mateo County, California, September 2014.

24. Institute of Transportation Engineers. TRIP GENERATION, 8TH Edition, Volume 2 of 3, 2008.
25. California Department of Public Health, California Environmental Health Tracking Program (CEHTP). Traffic Volume Linkage Tool, accessed February 15, 2011, www.ehib.org
26. United States Environmental Protection Agency. Buildings and their Impact on the Environment: A Statistical Summary. April 22, 2009.
27. Transportation Impact Analysis Report – Martin Street Residential, Hexagon Transportation Consultants, August 17, 2015.

EXHIBITS

- Site Location Map
- Reduced Plan(s) (8-1/2" x 11")

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF DALY CITY
AMENDING THE DALY CITY ZONING MAP BY AMENDING ORDINANCE NO. 1398
RE: PLANNED DEVELOPMENT STANDARDS FOR PD-58B

Parcels located north of Geneva Avenue, between Calgary and Rio Verde Streets,
Daly City, California

Section 1. Findings. The City Council of the City of Daly City finds that, as conditioned, Zone Change ZC-10-13-8105, amending Planned Development PD-58A, is in accordance with Chapter 17 of the Daly City Municipal Code. Approval of the proposed project will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the vicinity. . The City Council further finds that the amendment to allow the number of permissible condominiums in the building from 72 to 79 and to reduce the maximum permissible retail on the site from to 13,108 to 4,948 square feet will not be detrimental to the surrounding areas or result in substantial environmental damage or disturbance.

BE IT ORDAINED by the City Council of the City of Daly City, as follows:

Section 2. Zoning Reclassification. The zoning as designated under Ordinance No. 1309 regarding Planned Development Standards for PD-58B is hereby amended. All improvements shall comply with the approved amended Planned Development Standards adopted for PD-58C, as amended.

**PLANNED DEVELOPMENT STANDARDS
PLANNED DEVELOPMENT ZONE PD-58C**

The purpose and intent of these Planned Development Standards for PD-58C is to establish a Planned Development Zoning District for property located north of Geneva Avenue, between Calgary and Rio Verde Streets, containing approximately 63,150 square feet and consisting of Assessor's Parcel Numbers is 005-064-230 and 240.

General

1. When these Planned Development Standards conflict with other sections of the Zoning Ordinance, these standards prevail only to the extent of the conflict. Where these Planned Development Standards do not provide regulations, the Zoning Ordinance shall apply as to the most similar land use or standard.
2. Any modifications to plans approved by the City Council shall require an amendment of the original PD approval and shall be subject to separate approval by the Planning Commission and City Council. Minor changes of the approved plans due to code requirements or conditions of approval may be approved by the Planning Division.
3. All structures, landscape areas, required facilities and amenities shall be maintained in a neat, safe, and healthful condition, subject to improvement and upgrading of plans as required by this Planned Development approval.

Uses Permitted

4. The following uses are permitted as part of PD-58C:
 - a. 79 residential condominiums.
 - b. Single family homes on the nine (9) lots designated for such use, including accessory uses such as home occupations.
 - c. Generally recognized retail businesses where all business, servicing or processing, except for 'walk-up' services, off-street parking or off-street loading, is conducted within completely enclosed buildings, except where written permission has been granted by the Design Review Committee.
 - d. Personal service establishments which perform services on the premises, including but not limited to: barber and beauty shops, photographic studios, tailors, repair shops, video rentals, banking and credit union establishments, coffee shops, etc.
 - e. Offices including administrative, business and professional offices, medical and dental offices, title companies, insurance offices, etc.

Conditional Uses

5. The following uses require a use permit:
 - a. Liquor stores
 - b. Bars and cocktail lounges
 - c. Pawn shops
 - d. Convenience food stores
 - e. Child care centers
 - f. Uses is not specifically listed, may be permitted upon issuance of a Use Permit.

Prohibited Uses

6. The following uses shall not be permitted:
 - a. Secondary units are prohibited in the single family houses
 - b. Churches and other religious institutions
 - c. Designated commercial spaces shall not be used for residential purposes
 - d. Massage establishments
7. The following square footages and unit counts are permitted as a part of PD-58A:
 - a. Approximately 4,948square feet of ground floor commercial space
 - b. A maximum of 79 condominium units
 - c. A maximum of nine (9) single-family homes; seven (7) on Calgary Street and two (2) on Rio Verde Street.
8. The Planning Division may approve minor modifications in floor area, whereas major modifications shall be subject to the approval of a use permit. The Planning Division shall determine, at the time an application is submitted, whether the proposal is a major or minor floor area addition for the use.

Site Plan

9. All site improvements shall conform to plans approved as part of the Precise Plan with the following revised requirements:
 - a. Curb cuts shall be placed and sized so as to maximize on-street parking spaces.

- b. Any major site modifications shall require an amendment of the original PD approval and shall be subject to approval by the Planning Commission and City Council except that minor changes may be approved by the Planning Division.
10. Landscaping shall be installed in accordance with approved plans and maintained in a neat, clean, and healthy growing condition. Damaged plants shall be replaced within 30 days.

Development Regulations for Single Family Homes

11. The following development standards apply:
- a. Minimum lot size for lots fronting on Rio Verde Street shall be 2,500 square feet, and a minimum lot size of 1,750 square feet for lots fronting on Calgary Street
 - b. Maximum square footage for houses, including garage area, on Rio Verde Street shall be 2,925 square feet, and the maximum square footage for houses, including garage area, on Calgary Street shall be square feet 2,175 square feet
 - c. Maximum lot coverage for lots fronting on Rio Verde Street shall be 55 percent and 72 percent for lots fronting on Calgary Street.
 - d. Minimum yard requirements shall be as follows for lots fronting on Rio Verde Street: front yard – 15 feet, side yards – 0 feet required, and rear yard – 20 feet;
 - e. Minimum yard requirements shall be as follows for lots fronting on Calgary Street: front yard shall be the predominate setback for adjacent homes as provided in 17.38.090 - Front, side and rear yard exceptions; side yards – 0 feet required; and rear yard – 20 feet.
 - f. Room additions and modifications to single family homes shall be in accordance with the requirements for such within the R-1 zone

Lighting

12. All exterior lighting shall be in accordance with plans approved by the Design Review Committee and shall be adequately maintained according to approved standards. Broken or faulty lights must be replaced immediately. All exterior lights, including freestanding fixtures and lights on the exterior walls of buildings, shall be directed and/or shielded in such a manner as to prevent glare or direct illumination onto public streets or adjacent properties and shall be maintained as installed.

Architecture & Design

13. Architectural design of proposed structures and facade changes of existing structures shall comply with plans approved by a Design Review Committee appointed by the Mayor.

14. Once approved, any major architectural modification shall be treated as an amendment of the original approval and shall be subject to approval by the designated Design Review Committee, except that minor changes may be approved administratively by the Planning Division.
15. All roof equipment shall be screened from view from the surrounding streets.
16. The design and location of all trash, recycling, or storage enclosures or other proposed fencing or wall shall be approved by the Design Review Committee.

Parking & Circulation

17. The parking lot shall conform to plans approved as part of the Precise Plan and shall be maintained in accordance with City standards.
18. Each house shall provide, at a minimum of two off-street parking spaces.
19. All parking area dimensions, including stall size, shall be in accordance with Chapter 17.34. "Off-Street Parking and Loading," of the Daly City Ordinance.

Signage

20. All signage shall comply with plans approved by a Design Review Committee appointed by the Mayor. Minor modifications to signage may be approved by the Planning Division.

Site Maintenance

21. All trash shall be confined to approved receptacles and enclosures.
22. All trash, recycling, and storage enclosures shall be properly maintained according to approved plans.
23. All landscaping at points of ingress and egress shall be maintained at a height no greater than 30 inches. Trees must be trimmed in a manner to maintain a site clearance underneath the branches of five feet from grade.
24. Landscaping and open space shall be maintained in a neat, clean and healthful manner.
25. No inoperable vehicles shall be stored at the site.

Parking Management Plan

26. The applicant shall develop a parking management plan for City review and approval. The plan shall identify specific mechanisms to maximize parking for project residents and patrons of the commercial businesses. The plan shall be continually enforced by a Homeowners' Association or other entity acceptable to the City.

Section 3. Summary Publication: Pursuant to the provisions of Government Code Section 36933, a summary of this Ordinance shall be prepared by the City Attorney. At least five (5) days prior to the Council meeting at which this Ordinance is scheduled to be adopted, the City Clerk shall (1) publish the summary, and (2) post in the City Clerk's office a certified copy of this Ordinance. Within fifteen (15) days after the adoption of this ordinance, the City Clerk shall (1) publish the summary, and (2) post in the City Clerk's office a certified copy of the full text of this Ordinance along with the names of those City Council members voting for and against this ordinance or otherwise voting. This Ordinance shall become effective thirty (30) days from and after its adoption.

Section 4. Environmental Determination: The City Council finds, pursuant to Title 14 of the California Code of Regulations, Section 15378, that this Ordinance is exempt from the requirements of the California Environmental Quality Act (CEQA) in that it is not a project as provided by the Act, in that it does not have a potential for resulting in a detrimental physical change in the environment, directly or ultimately, as provided in Title 14, Section 15378(a), and that it is also exempt under the definition of "project" in Section 15378(b)(3) in that it concern general policy and procedure making.

Section 5. Severability: If any section, subsection or sentence of this Ordinance is found by a court of competent jurisdiction to be invalid or unlawful, the City Council finds and declares that the remainder of this Ordinance would be and is enforceable and would have been adopted notwithstanding the finding of invalidity as to any section, subsection or sentence.

Introduced this _____ day of _____ 2017.

Passed and adopted as an Ordinance of the City of Daly City at a regular meeting of the City Council of the City of Daly City held on the _____ day of _____ 2017, by the following vote:

AYES, Councilmembers _____

NOES, Councilmembers _____

Absent, Councilmembers: _____

CITY CLERK OF THE CITY OF DALY CITY

APPROVED:

MAYOR OF THE CITY OF DALY CITY



City Council Agenda Report

Item # _____

Meeting Date: April 24, 2017

Subject: Award a contract to Stoloski & Gonzalez, Inc. for the Beechwood Drive Emergency Storm Drain Repair Project, Appropriate Public facility Fees and authorize the City Manager to execute the contract on behalf of the City.

Recommended Action

Authorize the execution of a contract for storm drain replacement behind 729 Beechwood Drive to Stoloski & Gonzalez, appropriate Public Facility Fees to fund the project and authorize the City Manager to execute the contract on behalf of the city.

Background

On March 3, 2017, the City received a report of a sinkhole behind 729 Beechwood Drive. Upon investigation by the City, it was determined that a 12 feet long by 10 feet wide by 10 feet deep sink hole had formed due to a collapsed the storm drain pipe. The failed section is an 18 inch corrugated metal pipe (CMP), approximately 115 feet long and buried approximately 10 feet deep. Video inspection obtained on March 7th and March 8th confirmed that the pipe had separated and collapsed, resulting in uncontrolled drainage into the ground. Storm water has and continues to wash away the surrounding soil and increasing the size of the sinkhole at the location of the failed storm drain.

Discussion

Heavy winter storms have provided an abundance of storm water and ground water that continues to flow in the storm drains, well after the storms are gone. The separated and collapsed storm drain failure will allow storm water to continually drain into the surrounding soil, causing further erosion and potentially threatening private property and homes downhill from the sinkhole location. Due to the emergency nature of the situation and the escalating cost to repair with each successive rain event, expedited repair of the storm drain is required. Any delay in repairing the storm drain will increase the risk of flooding to nearby properties and damage to the surrounding private properties. The City obtained 2 quotes for the replacement of the 18" CMP with 18" Corrugated Plastic Pipe (CPP) and repair of the sinkhole. The following table summarizes the quotes:

Bidder	Quote	Comments
EPS Inc.	\$85,345.00	Minimum cost – small tree removal extra
Stoloski & Gonzalez, Inc.	\$84,000.00	Includes all necessary tree removal

Stoloski & Gonzalez, Inc. of Half Moon Bay, California, has been in business since 1986. They hold the required Class A contractor's license which is current and in good standing.

If the contract is awarded, then construction is anticipated to commence in May 2017 and be substantially complete by June 2017.

Fiscal Impact

The price quote provided by Stoloski & Gonzalez is \$84,000. The total project cost is estimated at \$100,000 (\$84,000 for construction and \$16,000 for contingencies, permits, administration and inspection). As an unplanned/emergency occurrence, this project is not currently budgeted in either the Public Works operating budget or the 2016/2017 Capital Improvement Program budget. Therefore, by approval of this project and award of the contract the City Council will also be appropriating the \$100,000 project budget. Funds will be appropriated from the Public Facilities - Storm Drain Fee Fund.

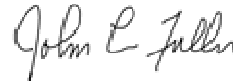
Summary/Conclusion

Staff recommends that the City Council authorize execution of a contract for the storm drain replacement behind 729 Beechwood Drive with Stoloski & Gonzalez, appropriate Public Facility Fees to fund the project and authorize the City Manager to execute the contract on behalf of the city.

Respectfully submitted,



David Rogers
Civil Engineering Associate



John L. Fuller
Director of Public Works

Attachments: Stoloski & Gonzalez quote
Location Map
Photo

STOLOSKI & GONZALEZ, INC.
GENERAL ENGINEERING CONTRACTORS LICENSE NO. 489175
727 MAIN STREET • HALF MOON BAY, CA 94019-1924
PHONE: (650) 726-7119 • FAX: (650) 726-9055

March 27, 2017

ATTN: David Rogers, P.E.
City of Daly City
Dept of Public Works
333 – 90th Street
Daly City, CA 94015

Re: Cost for Beechwood Drive Manhole
Beechwood Drive to Larchmont Drive

Work to Include:

- Remove and replace 111 LF of 18" storm drain with HDPE.
- Remove approximately nine trees.
- Make temporary road to access the site.

Temporary road to remain after work is complete.
Site access through gate at the top of the hill.

Total Cost \$84,000.00

Submitted by: Mark Stoloski

