

CITY OF DALY CITY

Regular Meeting - PLANNING COMMISSION

AGENDA

Tuesday, February 3, 2026 - 7:00 PM
City Hall Council Chambers – 2nd Floor
City Hall 333 – 90th Street
Daly City, CA 94015

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PUBLIC PARTICIPATION

There are three ways to submit public comments: (1) email your comment directly to the Planning Division, (2) submit written comments via the City's website and (3) attend the meeting in person.

1. To email your comment, simply email a comment to the planner identified in the public hearing notice or send the email to mvanlonkhuysen@dalycity.org. Public Comments may also be emailed to mvanlonkhuysen@dalycity.org by including "Planning Commission Public Comment" in the subject line.
2. To submit a comment via the City's website, please visit www.dalycity.org/agendas to complete the Public Comment form. In the comment field box, include the item number and/or title of the item as well as your comments.
3. To speak at the meeting in person, please complete a "Speaker Card" located at the entrance to the Council Chambers and submit it to a staff member as early in the meeting as possible.

Please note: All written comments received by 4:00 pm on the meeting day will be provided to the Planning Commission prior to the meeting. Comments are not read aloud into the record. Any written comments received after 4:00 p.m. on the meeting date are not guaranteed to be received by the Planning Commission prior to the meeting.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should call the office of Michael Van Lonkhuysen at 991-8158 as soon as possible.

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ELECTION OF OFFICERS:

AVAILABILITY OF PUBLIC RECORDS:

All public record to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

ROLL CALL:

APPROVAL OF MINUTES:

1. Approval of Minutes of October 7, 2025 Planning Commission Meeting

PUBLIC HEARINGS:

2. **Major Subdivision SUB-7-24-16596 and Design Review DR-7-24-16609 -**

1. The applicant, Ramon Lei, proposes the subdivision of a 13,051 square foot (sf) lot into four parcels and construct one single-family residential building with one accessory dwelling unit on each lot, totaling eight residential units. The project includes four parking spaces for each residence, new sidewalk, driveways, landscaping, and lighting plan. The project site is in the Single-Family Residential (R1) zone and Medium Density Residential (R-MD) General Plan land use designation. Under the California Environmental Quality Act (CEQA) the project has been determined to be Categorical Exempt, per 15332 In-Fill Development Projects. APN 004-223-110

STAFF: Sam Fielding, Associate Planner

RECOMMENDATION:

3.
 1. **Zone Change ZC 04-24-16507** Creation of Commercial Cannabis Non-Retail (-CCNR) Combining District and Amendments to the Zoning Map Rezoning Parcels to be included in the -CCNR Commercial Cannabis Combining District

STAFF: Michael Van Lonkhuysen, Acting Director Of Economic Development

RECOMMENDATION:

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A)

ADJOURNMENT:

**CITY OF DALY CITY
PLANNING COMMISSION
MEETING
Draft
MINUTES**

333 90th Street

Tuesday, October 7, 2025 – 7:00 PM

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL:

PRESENT: C. Catuar, T. Nuris, R. Satorre

APPROVAL OF MINUTES: June 3, 2025 – Approved 3-0

PUBLIC HEARING:

1. **Use Permit UPR-01-23-016044 and Design Review DR-01-23-016046** – Demolition of an existing service station and new construction of a service station, convenience store and carwash. 101 South Mayfair Avenue – APN 002-072-030

Staff report presented by: Sam Fielding, Associate Planner

On October 7, 2025, the Planning Commission voted 3-0 to recommend that the City Council approve the Use Permit and Design Review Permit for the proposed new service station, convenience store and carwash. Commissioners expressed support for the project and indicated it would benefit the city and community by providing a larger convenience store, more gas station aisles and a carwash. The Commissioners also expressed the positive fiscal impact that the project will have for the city. Staff confirmed that the new commercial uses will have a positive fiscal impact to the city, increasing the property value and generating additional tax revenue from retail sales tax. The applicant requested that use and design review permit entitlements approval be extended beyond the one year as required in the conditions of approval. Staff indicated that the applicant should request the length of extension as needed at the City Council

Moved by Commissioner Satorre, seconded by Commissioner Nuris to adopt the Findings as outlined herein. Motion carried 3-0

Moved by Commissioner Satorre, seconded by Commissioner Nuris to recommend that the City Council to adopt the Categorical Exemption determination for the project. Motion carried 3-0

Moved by Commissioner Satorre, seconded by Commissioner Nuris, to recommend City Council approve **Use Permit UPR-01-23-016044 and Design Review DR-01-23-016046**, subject to Conditions of Approval outlined herein. Motion carried 3-0.

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT: Moved by Commissioner Nuris, seconded by Commissioner Satorre to adjourn the meeting at 8:01 p.m.

For further information regarding the above projects or to obtain staff report for any of the above projects, please contact Michael VanLonkhuysen at mvanlonkhuysen@dalycity.org. Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

Availability of Public Records: All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.



Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: February 3, 2026

Application: Minor Subdivision SUB-07-24-0016596 and
Design Review DR-08-24-016609

Project Planner: Sam Fielding, Associate Planner

Project Location: 933-969 Crocker Avenue (APN 004-223-110)

Project Description: Subdivision of a vacant lot into four parcels and construction of one single-family residential building with one accessory dwelling unit on each lot, totaling eight residential units.

Applicant/Owner: Wing Lee/Raymon Lei
99 Canyon Drive
San Francisco, CA 94112

Environmental Assessment: Categorically Exempt per CEQA Guidelines Section 15332:
In-Fill Development Projects

Applicable Daly City Municipal Code Sections: Title 16 Subdivisions
Chapter 17.45 – Design Review
Citywide Objective Design Standards

Site Information

Property Sizes	Existing Use	Proposed Use	Specific Plan Designation	Current Zoning
.29 acres	Vacant	Single-Family Residents and ADUs	Medium Density Residential (R-MD)	Single Family Residential (R1)

Area Information

Land Use	Zoning
North: Single-Family Residential	R1 Single Family Residential (R1)
South: Planned Development 14	Planned Development (PD14)
East: Single-Family Residential and Multi-Family Residential	Single-Family Residential and Multi-Family Residential (R1 and R3)
West: Single Family Residential	Single Family Residential (R1)

Background

The project site is a 13,051 (0.3 acre) vacant property zoned single-family residential (R1) within the residential medium density (R-MD) land use designation. The lot contains a north facing downhill slope of 25%. The property is located on the north side of Crocker Avenue, between Templeton Avenue and Point Pacific Drive (Attachment A – Location Map). The applicant, Ramon Lei, is requesting approval to subdivide the 0.29-acre vacant lot into four parcels and construct one single-family residence with one accessory dwelling unit (ADU) on each parcel, for a total of eight residential units. The proposed subdivision map would result in each building being situated on four individual parcels.

This application is similar to the proposed four lot subdivision application (SUB-10-10-2809 and design review (DR-10-10-2809) for four single-family homes that the Planning Commission and City Council approved in 2012. The project was ultimately not pursued due to financial constraints (Attachment B – Project Description).

Proposed Project

The applicant, Wing Lee, is requesting to subdivide one lot into four parcels and receive design review approval to construct one single-family residence with accessory dwelling unit on each parcel. Design review includes review of the site plan, architectural building design and materials, and landscape plan.

The proposal is to subdivide an existing vacant 13,051 sf (0.3 acres) lot into four lots fronting Crocker Avenue. The proposed four parcel lot areas would be 3,065 square feet for lot 1 (eastern lot), 2878 square feet for lot 2, 2,773 square feet for lot 3 and 4,334 square feet for lot 4 (western lot). Lot 4 will be larger than the other three lots due to an existing public utility easement along the western edge of the lot.

Once subdivided, the applicant would construct one single-family dwelling with ADU on each lot. Each single-family dwelling will be approximately 2,300 square feet in net area with each ADU about 800 square feet net at the basement two level. Each single-family home will have four parking spaces (two garage spaces and two off-street spaces). Parking is not required for the basement ADUs.

Each single-family building would consist of four stories with backyard access by an exterior stairway located on the east side of each building. The Basement 2 level would include a one-bedroom ADU with deck. Basement 1 would include a kitchen open to dining room, bathroom and deck. The ground floor would consist of a living room, bathroom, closet, deck, primary entry and two car garage. The second floor would include three bedrooms, three-bathroom, laundry closet, a deck and three skylights (located in each bathroom and the interior stairwell). There is an interior stairway to provide access to the three floors of the single-family residence. The access to the Basement 2 ADU is provided by an exterior east side staircase from the front elevation ground level to the rear ADU entry, as well as access to the backyard for both the single-family residence and ADU dwelling (Attachment C – Tentative Map and Plans, Sheets A1.1 to A1.14).

Minor Subdivision and Site Design

The applicant is required to secure a minor subdivision planning entitlement to subdivide the single lot into four parcels fronting Crocker Avenue for the construction of four single family residences with ADUs. Each residence will consist of four stories: basement two, basement one, ground floor and second floor. The building heights at the front are 22'-3" from the ground floor to top of parapet. Due to the steep grade of the lot, the overall building height is approximately 55'-5" at the rear elevation (Attachment C – Tentative Map and Plans, Sheet A2.1). Height is defined as vertical distance from the average of the finished ground level at the center of all walls of the building to the highest point of the flat roof.

The subject site is presently vacant, with a 25 percent slope decline running from southeast to northwest and is accessible from Crocker Avenue, an existing improved public right-of-way. Per the zoning code, the proposed lots meet the 25' minimum lot width and 2,500 square feet minimum lot area standards. The four residences comply with the required 20 feet front setback and 10 feet rear setback and height requirements.

The project site design for the four proposed hillside residential buildings utilizes deep foundations (piers/piles), retaining walls, and terracing for stability. Visually, the building uses a multi-level design, expansive glass (walls/windows), and cantilevered decks/terraces to follow the slope. This design maximizes the panoramic views, natural light, and outdoor living spaces that are integrated with the steep terrain (Attachment C – Tentative Map and Plans, Sheet A0.1).

The applicant completed a geotechnical technical study on January 22, 2024, prepared by Smith-Emery San Francisco for staff review. Smith-Emery concluded that based on field exploration, laboratory testing and engineering analyses and review of related report and data available, the subsurface soils and geologic conditions are suitable for the proposed construction. The project plans and specifications shall comply with the appropriate engineering design recommendations presented by the study. The geotechnical study was reviewed and approved by third party consultants and city staff.

Design Review

The proposed buildings' architectural design underwent staff review for compliance with Daly City's Municipal Code Chapter 17.45 – Design Review standards and Citywide Objective Design Standards.

Through the initial project application review, staff worked with the applicant's architect to develop an architectural concept for the buildings that would be consistent with the design requirements set forth by the Citywide Objective Design Standards and Chapter 17.45 design review standards. The architect's proposed building design is a modern, contemporary design that integrates with the hillside site topography, using terraces, decks, and large windows to take advantage of extensive views and provide additional living spaces. The design also incorporates key architectural vertical and horizontal elements, a variety of exterior materials and colors while being compatible in bulk and mass with the existing two-story homes adjacent to the east and west of the project site.

The applicant has chosen exterior materials and finishes for their sustainability. The new residences feature thermally broken anodized aluminum windows and doors, composite wood panels, and tempered glass railings. Specifically, the exterior materials of the four residences include composite resin panel siding with a combination of black, white and light beige finish, aluminum fin and rails painted with matching finish to adjacent panels and siding, yellow ceramic tile entryways, painted address numbers with illumination from above, dark anodized aluminum doors and windows and 42-inch tempered glass railings with metal cap for the front covered decks (Attachment C – Tentative Map and Plans, Sheet A0.1).

Staff worked with the applicant to refine the building architectural concept with the project architect and conform to the Citywide Objective Design Review standards by incorporating front porches, to provide a setback from the ground and second floor and introduce horizontal overhang and insets as a visual separation between floors. In addition, the design includes a variety of exterior materials, color variation, vertical and horizontal elements and open decks, to reduce the bulk and mass appearance of the home viewed from the street. The side elevations incorporate siding, different colors, vertical and horizontal elements and banding to add visual interest at these elevations (Attachment C – Tentative Map and Plans, Sheet A2.3 and A2.4).

Staff has determined that the proposed architectural residential design complies with the current Daly City Planning Code Chapter 17.45 design review and Citywide Objective Design Standards for single-family residential housing developments including: site design, building design, massing and articulation, windows; building materials, details and color; and hillside design standards.

Landscaping

The landscape plan for the front yard incorporates a permeable grass paver driveway, decomposed gravel, granite pedestrian paver stones and one 15-gallon, Japanese Maple tree in the front of each home. The paved walkway material to the front entrance of each home will be decomposed gravel with granite stone pavers. The overall front design of the development integrates with the surrounding area, enhancing the residential character of the neighborhood. The backyard will consist of a grass lawn and drought tolerant plants adjacent to the fence separating the bio-retention treatment area along the rear property line. The plants located within the bio-retention area will be selected based on the San Mateo County Water Pollution Prevention Program (SMCWPP) appendix A of the Regulated Project Guide (Attachment C – Tentative Map and Plans, Sheet L1.2). Staff supports the proposed landscape plan and the applicant's use of sustainable material and design features that integrate with the surrounding neighborhood and San Bruno Mountain hillside.

Stormwater Management

The project includes the required stormwater treatment plan for the four residential parcels. There are three proposed drainage management areas and one treatment area. Treatment management area #1 is in the rear backyard of each parcel, separated by a fence. There will be a 382 square foot bio-retention area along the rear property line of the backyard of all four parcels. This bio-retention area will be accessed for maintenance, inspections and monitoring by a right of way easement located on the westside of the parcel four. The stormwater management plan

will be subject to separate review and approval by city consultant and staff and is a condition of approval (Attachment C – Tentative Map and Plans, Sheet TM-5.0).

Parking

The zoning regulations require that four parking spaces be provided for each single-family residential unit. The proposed project will include four parking spaces (two garage and two surface spaces) for each single-family unit. Additionally, the applicant has proposed driveways of sufficient length to accommodate two additional space per single-family unit, for a total of 16 on-site parking spaces. Parking for the basement level accessory dwelling units for each parcel are not required. The surface parking driveways for each residence will be 16 feet in length and the driveway will consist of permeable grass pavers, reducing stormwater runoff into the street.

Zoning Ordinance and General Plan Consistency

The site is zoned single-family residential (R1) and designated residential medium density (R-MD) by the General Plan. This zoning and land use designation allows the construction of residential buildings, subject to tentative subdivision map and design review approval. This land use designation applies to those areas that allow two dwelling units per 2,500-3,000 square foot parcel. These areas are primarily dispersed throughout the older portions of Daly City and correspond to areas developed with duplexes and some multi-family areas where there are small multi-unit buildings located on large lots. Accessory Dwelling Units are permitted on lots with proposed single-family dwellings.

Aside from the Housing Element, the General Plan allows infill housing in existing neighborhoods on underutilized sites, where residential development represents the highest and best use, and where public infrastructure exists to support the intensity of the proposed development. The subject site is situated adjacent to single-family homes. Residential development is the highest and best use for the subject property given its size and shape, and adjacent uses.

Staff has reviewed the proposed subdivision of the single lot into four parcels and construction of four single-family residences with accessory dwelling units and determined that the proposed project is consistent with the zoning ordinance and general plan.

Subdivision Requirements

Pursuant to Section 66474 of the Subdivision Map Act, a legislative body of a city or county may approve a parcel map if it makes the following findings:

1. The proposed subdivision and/or design or improvement must be consistent with applicable general and specific plans.
 - Using the density parameters prescribed by the Residential Medium Density General Plan designation, up to two dwelling units could be constructed each 2,500-3000 square foot parcel given the subject parcel size. The project proposal is to subdivide the lot into four parcels and construct one single-family home and one basement level ADU on each parcel for a total of eight dwelling units. ADUs are allowed in all residential zones. The proposed project is consistent with Daly City's General Plan.

2. The site must be physically suitable for the type and density of the proposed subdivision.
 - Within the subject area, there are predominantly single-family residential dwellings. The parcels are in a fully urbanized area with all public services capable of being extended to the new lots.
3. The design of the proposed subdivision or improvements must not cause substantial environmental damage or injure fish or wildlife or their habitat.
 - Staff has determined that the proposed subdivision will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area. A Categorical Exemption per CEQA will be prepared.
4. The design of the proposed subdivision must not cause serious public health problems.
 - The construction of single-family residences on this site must meet Building Code requirements, which set minimum safety standards for new construction. Other City and State regulations will ensure that public health is not at risk.
5. The design of the proposed subdivision or improvements must not conflict with any easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
 - The access to the proposed new lots and utilities for the lots would be available directly from the Crocker Avenue right-of-way. No structures of any kind will be built over easements. Where necessary, permits for utility connections for the newly created lots would be obtained in Daly City.

Utility Providers

The parcel is in a fully urbanized area with all public services capable of being extended to the new lots. Utilities to serve the project are in place within the Crocker Avenue public right-of-way and have the capacity to accommodate additional units. These include electrical, water, sewer, and the availability of telephone internet/cable service and access to public streets.

Fiscal Analysis and Impacts

The construction of one single-family residence with accessory dwelling units on each parcel for a total of eight units will add an incremental demand for City services. Prior to project completion, the project applicant will be required to pay park in-lieu fees as required by Parkland Dedications Ordinance, building permit, plan check, affordable housing, and AB 1600 fees to the city. Upon sale of the residential properties, the future owners will pay property tax to the county, a portion of which will be distributed to the city.

Environmental Assessment

The proposed project is located on a vacant lot in an urban area zoned for residential use. The project is Categorically Exempt per CEQA Guidelines Section 15332: In-Fill Development Projects.

Findings

Staff finds that, as conditioned, the approval of Minor Subdivision SUB-07-24-016596 and Design Review DR-08-24-016609 would comply with all applicable provisions of Title 16 (Subdivisions) and Title 17 (Zoning) of the Daly City Municipal Code. Approval of the proposed project will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the City. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission will conduct a public hearing on February 3, 2026; notice of said hearing was published in a newspaper of general circulation on January 23, 2026, and by posting and first-class mailing to property owners within 300 feet.
2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined that it is Categorically Exempt per CEQA Guidelines Section 15332: In-Fill Development Project. Staff has determined, based on the findings specified herein, that the proposed project would have no significant detrimental effect on the environment.
3. The proposed subdivision, together with any provisions for its improvement, is consistent with the objectives, policies, and general land uses as outlined in the Daly City General Plan. More specifically, applying the density parameters prescribed by the Residential Medium-Low General Plan designation, up to four dwelling units could be constructed on the property given the subject subdivided parcel sizes. The proposed land use conforms to Objective 6 in the General Plan Land Use Element, which states that, a pattern of variety in residential densities; types and tenure should be maintained to provide housing opportunities.
4. The site is physically suitable for the type and density of the proposed subdivision. Within the subject area, there are predominantly single-family residential dwellings. The parcels are in a fully urbanized area with all public services capable of being extended to the new lots.
5. Pursuant to standards set by the California Environmental Quality Act, staff has determined that the proposed subdivision will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area.

6. The design of the proposed subdivision and related improvements will not conflict with any easements, acquired by the public at large, for access through or use of property within the proposed subdivision. Access to the proposed new lots and utilities for the lots would be available directly from the Crocker Avenue right-of-way.
7. The newly created lots are physically suitable for both the type and density of the proposed development.
8. The design of the residential buildings would be required to meet all health and safety requirements of the Uniform Building Code and will not cause serious public health problems.
9. The design of the project will not conflict with any easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
10. Utilities to serve the project are in place within the Crocker Avenue public right-of-way and have the capacity to accommodate additional units. These include electrical, water, sewer, and the availability of telephone service and access to public streets.
11. General site considerations, including site layout, open space and topography, orientation and location of buildings, vehicular access, circulation and parking, setbacks, heights, walls, fences, public safety and similar elements have been designed to provide a desirable environment.
12. General architectural considerations, including the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and similar elements have been incorporated to insure the compatibility of this development with its design concept and the character of other adjacent buildings.
13. The four single-family residential building projects will not have a detrimental effect on sound community planning, the economic, ecological, cultural and aesthetic qualities of the community, and on public health, safety and general welfare.
14. The overall impact on schools, parks, utilities, neighborhood streets, traffic, parking and other community facilities and resources will not be detrimental.

Conditions of Approval

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for Minor Subdivision SUB-07-24-016596 and Design Review DR-08-24-00732188, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The minor subdivision shall be valid only in conjunction with detailed plans submitted and approved by the City Council. Any modifications required due to the Conditions of Approval and changes to the plans shall be treated as an amendment and shall be subject to review by a Council Committee appointed by the mayor.
2. All technical corrections or modifications required by the City Engineer shall be incorporated into the Final maps, and all applicable fees paid prior to approval for recordation.
3. The minor subdivision shall conform to the City Standards Conditions for Minor Subdivisions.
4. The minor subdivision and use permit shall be valid for a period of two years from the date of City Council approval. The subdivision shall lapse if the parcel map is not recorded within two years.
5. The applicant shall pay park-in-lieu fees, in compliance with DCMC Chapter 16.30 Parkland Dedications. Per DCMC Section 16.30.040.A, the required dedication in this specific case is 0.238 acres. Per DCMC Section 16.30.060, the in-lieu fee shall be based upon said dedication requirement. Per DCMC Section 16.30.090, in-lieu fees are required to be paid to the City of Daly City, prior to approval of the Final Map. The project is subject to full compliance with DCMC Chapter 16.30 Parkland Dedications.

Building Design

6. Prior to the issuance of building permits the texture and color of the front elevation veneer will be approved by the Planning Division.
7. Prior to the issuance of building permits the specific garage doors to be used in the project will be approved by the Planning Division.

Landscaping

8. The applicant shall provide substantial, high-quality landscaping. The use of flowering plants and trees shall be used to reinforce the visual character of the area.
9. Landscaping shall be low-maintenance, drought-resistant and adaptive to Daly City climate. A full landscape plan should be submitted and subject to review by the Planning Division.

B. PUBLIC WORKS DEPARTMENT - ENGINEERING

GENERAL

10. Provide a storm drain study (hydrology and hydraulic study) for the project. The study shall include calculations verifying that post-development stormwater flow and volume does not exceed pre-development stormwater flow and volume from the project site. Additional stormwater flow and volume generated as a result of the development shall be retained on-site. Provide plans for the proposed storm drain system (public or private), including any public storm drain system modifications. Identification of existing and proposed drainage patterns on the site will also be required. Stormwater flow and volume shall not exceed pre-development conditions for a 2-hour, 10-year storm event, for a duration of 2-hours. Along with the study, a letter from the Engineer-of-Record indicating that the proposed storm drain system (post-development conditions) does not increase runoff above the pre-development conditions shall be submitted to the City Engineer for review and approval.
11. Grading exceeding 50 cubic yards shall require approval of plans and a grading permit. A licensed Civil Engineer shall prepare any grading plans and erosion control plans in conformance with a soil report prepared by a licensed soil engineer or geologist in compliance with NPDES requirements prior to any development on the property.
12. All project improvements shall be ADA compliant.
13. The applicant shall comply with the applicable requirements of the City of Daly City Standard Details and Specifications.
14. An encroachment permit shall be required to be issued by the Public Works Department for all work proposed within the public right-of-way.
15. Following new utility installation, the applicant shall replace areas of street pavement, sidewalk, curb, and gutter damaged by construction to current City standard details and specifications.
16. All electrical and telecommunications services shall be provided through underground connections. There shall be no overhead drops.
17. Provide erosion and storm water pollution plan incorporating the best management practices, including operation and maintenance provisions per the requirements applicable at the time of construction permit application. During the rainy season between October 1st to April 30th, the developer shall submit a revised erosion control plan as necessary/as requested.
18. Provide “will serve” letters of approval by PG&E.
19. No permanent building encroachment including but not limited to awnings, canopies, marquees, signs, windows, balconies, retaining walls, architectural features and

mechanical equipment shall be allowed in the Right-of-Way without the written authorization of the City Engineer.

20. All curb, gutter and sidewalk improvements in the public right-of-way shall be designed to current ADA standards and current Daly City Standards.
21. Provide a plan review letter by the geotechnical engineer of record indicating that the grading and drainage plans, and foundation plans have been reviewed and is consistent with the recommendations within the geotechnical investigation report prepared by Smith-Emery San Francisco, dated January 22, 2024.
22. Prior to Final Map approval, the applicant shall enter into a Landscape Maintenance Agreement in a form acceptable to the City Attorney to ensure the Property Owners will provide long-term maintenance of all street trees, landscaping, irrigation, and pedestrian-scale lighting installed in the public right-of-way. Design of planting and irrigation system shall minimize the extent of irrigation lines, controllers, and valves in the public right-of-way and shall be reviewed and approved by the City Engineer.
23. The project's electrical transformer shall not be installed within the public right-of-way.
24. Retaining walls for driveways that encroach in the City's right-of-way shall require an encroachment permit issued by the Engineering Division and a Building Permit. The design shall be acceptable to the City.
25. The city has a combined storm/sewer system in the area. City storm drain maps indicate that the 10" line is abandoned. Applicant shall CCTV the 10" line that goes into the PUE to confirm it has been abandoned.

C. PUBLIC WORKS – WATER AND WASTEWATER

26. All water and sewer system construction shall comply with the Daly City Standard Specifications and Drawings.
27. Back flow protection is required on all water services.
28. All water service connections shall be to mains on Crocker Avenue.
29. All sewer discharge shall be to sewer mains on Crocker Avenue.
30. All storm system discharge shall be to mains on Crocker Avenue.
31. Access to the city sewer/storm easement shall be maintained during all phases of construction.
32. The manhole at the northwest corner of the project shall not be impacted at any point during construction.

D. FIRE DEPARTMENT

33. A fire sprinkler system is required. Applicant shall submit plans to NCFA under separate fire permit.
34. Applicant shall provide fire flow information per CFC, Appendix B.
35. Illuminated address identification is required.
36. Utility identification is required.

Recommendation

Staff recommends the Planning Commission forward to the City Council the following recommendations:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment;
3. Approve Minor Subdivision SUB-07-24-016596 and Design Review, DR-08-24-00732188 as conditioned herein.

Staff is available to provide any additional information desired by the Planning Commissioners.

Respectfully submitted,



Sam Fielding
Associate Planner



Tatum Mothershead
Director of Economic and Community
Development

Attachments

Attachment A – Location Map
Attachment B – Project Description
Attachment C – Tentative Map and Project Plans

933-969 Crocker Avenue: Location Map



PROJECT DESCRIPTION OF PROPOSED PROJECT AT 933-969 CROCKER AVENUE

The subject property is a vacant lot measuring approximately 13,051 square feet (about 0.3 acres). Its assessor parcel number is 004-223-110. Zoned R1, the lot features an average downhill slope of 25%.

In 2012, a minor subdivision application (four-lot) with plans for four single-family homes (SUB-10-10-2809, DR-10-10-2809) was approved but was not pursued due to financial constraints. The same owner is now moving forward with a similar project.

The current proposal mirrors the previous application, with plans to subdivide the lot into four parcels. Each parcel will accommodate a single-family home with an attached accessory dwelling unit, resulting in a total of eight units for the entire development. The proposed lot and dwelling breakdown is as follows:

Lot 1 (eastern lot)

Lot area = 3,065 sf
Primary dwelling = 3,373 sf (gross)
ADU = 978 sf (gross)

Lot2:

Lot area = 2,878 sf
Primary dwelling = 3,366 sf (gross)
ADU = 978 sf (gross)

Lot 3:

Lot area = 2,773 sf
Primary dwelling = 3,205 sf (gross)
ADU = 911 sf (gross)

Lot 4 (western lot)

Lot area = 4,334 sf
Primary dwelling = 3,354 sf (gross)
ADU = 877 sf (gross)

Due to an existing public utility easement along the western edge of the lot, the proposed Lot 4 will be larger than the other three lots. Each of the planned dwellings will be four stories high, including a basement. The primary units will each have an approximate area of 2,300 square feet, while the attached accessory dwelling units (ADUs) will each be around 800 square feet.

The proposed design complies with the current Daly City Planning Code regarding building height, setbacks, and parking requirements, and no variance requests are necessary.

The exterior materials and finishes will be chosen for their sustainability. The design will feature thermally-broken anodized aluminum windows and doors, composite wood panels, and tempered glass railings. Grass pavers will be used to ensure a permeable surface for the driveway, complemented by drought-tolerant landscaping. The overall front design of the development will integrate seamlessly with the surrounding area, enhancing the residential character of the neighborhood.

DESIGN REVIEW APPLICATION

SUBDIVISION OF A 13,051-SF LOT INTO FOUR PARCELS WITH REFERENCE TO PREVIOUSLY APPROVED APPLICATION SUB-10-10-2803 AND DR-10-10-2809

EACH LOT IS PROPOSED WITH A NEW 4-STORY SINGLE-FAMILY DWELLING WITH AN ATTACHED ACCESSORY DWELLING UNIT AT THE LOWEST FLOOR.

NEW SIDEWALK PER CITY STANDARDS

PROJECT DIRECTORY

OWNER	ARCHITECT	SURVEYOR	CIVIL ENGINEER
Ramon Lei Far East Realty 1100 Vicente Street San Francisco, CA 94116 T: 415.317.2219 E: fareastrealty2004@yahoo.com	Wing Lee AIA, LEED AP Wing Lee Architects, Inc. 99 Canyon Drive San Francisco, CA 94112 T: 415.297.6493 E: wing@leearchitect.com	Darren Bunting Lea & Braze Engineering, INC. 2495 Industrial Pkwy W Hayward, CA 94545 T 510.887.4086 E: dbunting@leabraze.com	Johnny Chiu PE, QSD Lea & Braze Engineering, INC. 2495 Industrial Pkwy W Hayward, CA 94545 T 510.961.0094 E: jchiu@leabraze.com

GEOTECHNICAL, GEOLOGIST
Patrick Morrison Smith-Emery San Francisco 1940 Oakdale Avenue San Francisco, CA 94124 T 415.642.7326

PLANNING & BUILDING DATA

	PROPOSED
BLOCK / LOT	004-223-1100
ZONING	R1
OCCUPANCY CODE	R3
FIRE SPRINKLER SYSTEM	AUTOMATIC FIRE SPRINKLER
TYPE OF CONSTRUCTION	TYPE V-B

APPLICABLE CODES

ALL CONSTRUCTION SHALL CONFORM:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 DALY CITY MUNICIPAL CODE

DEFERRED PERMIT APPLICATION

FIRE SPRINKLER PERMIT WILL BE FILED SEPARATELY FOR PROPOSED STRUCTURES.

DRAWING INDEX

A0.0 SCOPE OF WORK, PROJECT DIRECTORY, VICINITY MAPS, GENERAL NOTES, DRAWING INDEX, PLANNING / BUILDING DATA

CIVIL	TITLE SHEET
TM 1.0	PARCEL MAP
TM 2.0	PRELIMINARY GRADING & DRAINAGE PLAN
TM 3.0	PRELIMINARY UTILITY PLAN
TM 4.0	PRELIMINARY STORMWATER CONTROL PLAN
TM 5.1	PRELIMINARY STORMWATER CONTROL DETAILS
SU1	TOPOGRAPHIC & BOUNDARY SURVEY
BMP-1	COUNTY BEST MANAGEMENT PRACTICES

LANDSCAPE

L1.1 EXISTING / DEMO LANDSCAPE PLAN
L1.2 PROPOSED LANDSCAPE PLAN

ARCHITECTURAL

A0.1 PROPOSED CONCEPTUAL RENDERINGS
A1.0 PROPOSED SITE PLAN
A1.1 PROPOSED FLOOR PLANS - DWELLING 1 AT LOT 1
A1.2 PROPOSED FLOOR PLANS - DWELLING 1 AT LOT 2
A1.3 PROPOSED FLOOR PLANS - DWELLING 1 AT LOT 3
A1.4 PROPOSED FLOOR PLANS - DWELLING 1 AT LOT 4

A2.1 FRONT ELEVATION (4 DWELLINGS)
A2.2 REAR ELEVATION (4 DWELLINGS)
A2.3 SIDE (NE) ELEVATION - DWELLING 1 AT LOT 1
A2.4 SIDE (SW) ELEVATION - DWELLING 1 AT LOT 1

A3.1 LONGITUDINAL BUILDING SECTION - DWELLING 1 AT LOT 1

AREA TABULATION

Assessor Parcel Number	004-223-110			
Existing lot size	13,050 SF			
Proposed number of lot to be subdivided to	4			
	Lot	Lot	Lot	Lot
Lot designation	1	2	3	4
Proposed lot area	3,065	2,878	2,773	4,334
	Dwelling			
Dwelling	1	2	3	4
	Second floor			
Conditioned space	1,049	1049	1004	919
Deck 2.1	36	36	36	31
Deck 2.2	31	31	31	63
Deck 2.3	52	52	53	60
	Ground floor			
Conditioned space	593	593	547	537
Deck #1	167	167	158	128
Garage	350	350	350	350
Mech / Garbage	72	72	72	85
Common covered entry	211	211	209	228
	B1			
Conditioned space	661	661	592	990
Deck B1	305	305	325	153
Common exterior staircase	79	77	77	76
	B2			
Conditioned space (ADU)	834	834	767	767
Deck B2	107	107	107	88
Exterior utility	37	37	37	22
Common exterior landing	38	38	29	43
	Crawlspace			
Common exterior staircase to rear yard	175	169	168	167
	Primary Residence			
Total conditioned space for Primary Residence	2,303	2,303	2,143	2,446
Total private decks	591	591	603	435
TOTAL proposed area (decks, covered entry, and conditioned)	3,316	3,316	3,168	3,316
	Attached ADU			
Total conditioned space for ADU	834	834	767	767
TOTAL proposed area (including deck)	978	978	911	877
	Common staircases, landings, entry			
Total common staircases, landings	503	495	483	514

EXACT AREA OF EACH PROPOSED DWELLING (AND ADU UNIT) COULD BE REFINED DURING BUILDING PERMIT APPLICATION PHASE

ARCHITECT

WING LEE ARCHITECTS

Wing Lee AIA, LEED AP
99 Canyon Drive
San Francisco CA 94124
T 415.297.6493
www.leearchitect.com

STAMP

CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

ISSUE RECORD / DATE
OWNER MEETING 8/2/2023
REVISED PLANS 8/14/2023
BEDROOM DIMENSIONS 9/6/2023
OWNER CONFIRMED DESIGN 11/18/2023
OWNER'S MODIFICATION ON DWELLING #4 11/30/2023
REVISED FINISH FLOOR ELEVATION 5/30/2024
DESIGN REVIEW APPLICATION 7/18/2024
DESIGN REVIEW APPLICATION REVISION #1 3/18/2025
DESIGN REVIEW APPLICATION REVISION #2 11/20/2025

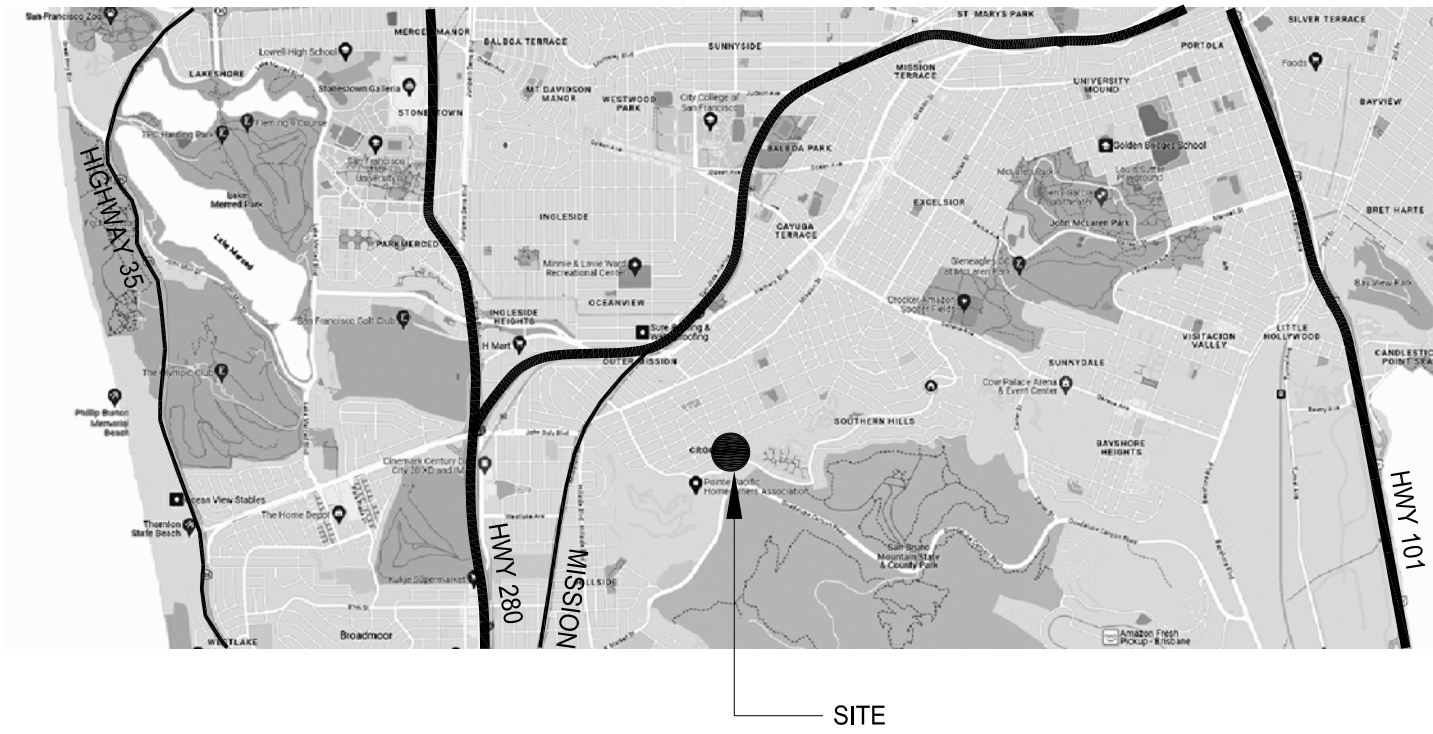
PROJECT

DRAWING TITLE
SCOPE OF WORK,
PROJECT DIRECTORY,
VICINITY MAPS,
SHEET INDEX, AREA
TABULATION

SHEET

A0.0

VICINITY MAP



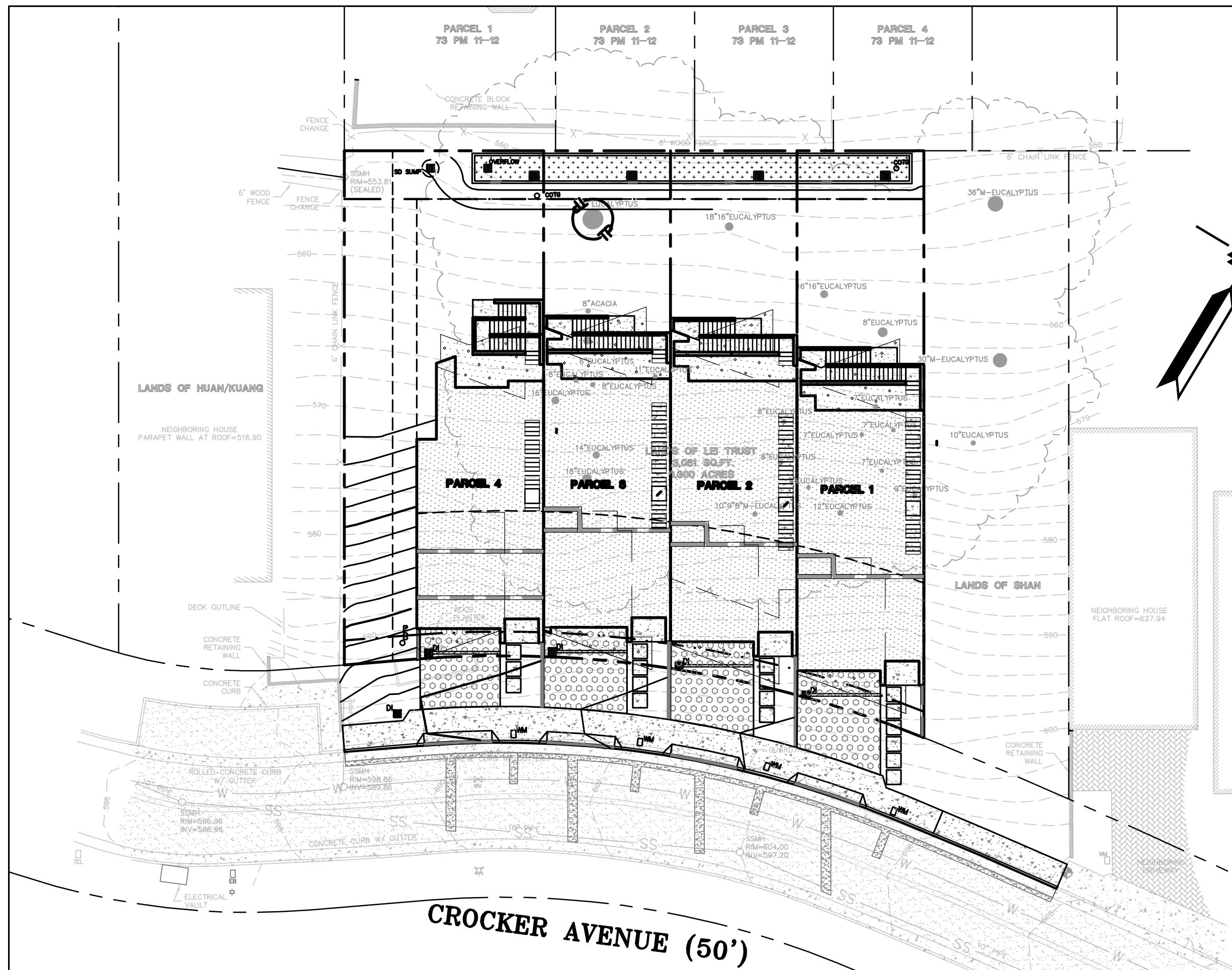
TENTATIVE MAP CROCKER AVENUE DALY CITY, CALIFORNIA

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		RETAINING WALL
		LANDSCAPE RETAINING WALL
		RAINWATER TIGHTLINE
		SUBDRAIN LINE
		TIGHTLINE
		STORM DRAIN LINE
		PERFORATED STORM DRAIN LINE
		SANITARY SEWER LINE
		WATER LINE
		GAS LINE
		PRESSURE LINE
		JOINT TRENCH
		SET BACK LINE
		CONCRETE VALLEY GUTTER
		EARTHEN SWALE
		CATCH BASIN
		JUNCTION BOX
		AREA DRAIN
		CURB INLET
		STORM DRAIN MANHOLE
		FIRE HYDRANT
		SANITARY SEWER MANHOLE
		STREET SIGN
		SPOT ELEVATION
		FLOW DIRECTION
		DEMOLISH/REMOVE
		BENCHMARK
		CONTOURS
		TREE TO BE REMOVED
		TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	NEW	NEW
BSBL	BUILDING SETBACK BOUNDARY LINE	(N)	NUMBER
BUB	BUBBLER BOX	NTS	NOT TO SCALE
BW/FG	BOTTOM OF WALL/FINISH GRADE	O.C.	ON CENTER
CB	CATCH BASIN	O/	OVER
C & G	CURB AND GUTTER	(PA)	PLANTING AREA
C	CENTER LINE	PED	PEDESTRIAN
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PIV	POST INDICATOR VALVE
CO	CLEANOUT	PSS	PUBLIC SERVICES EASEMENT
COTG	CLEANOUT TO GRADE	P	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
CONST	CONSTRUCT or -TION	PUE	PUBLIC UTILITY EASEMENT
CONC COR	CONCRETE CORNER	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	R	RADIUS
D	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	RIM	RIM ELEVATION
DIP	DUCTILE IRON PIPE	RW	RAINWATER
EA	EACH	R/W	RIGHT OF WAY
EC	END OF CURVE	S	SLOPE
EG	EXISTING GRADE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EL	ELEVATIONS	SAN	SANITARY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EQ	EQUIPMENT	SDMH	STORM DRAIN MANHOLE
EW	EACH WAY	SHT	SHEET
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FC	FACE OF CURB	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST	STREET
G	GAGE OR GAUGE	STA	STATION
GA	GRADE BREAK	STD	STANDARD
GB	GRADE BREAK	SUB	SUBDRAIN
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	T	TELEPHONE
HORIZ	HORIZONTAL	TC	TOP OF CURB
HI PT	HIGH POINT	TOW	TOP OF WALL
H&T	HUB & TACK	TEMP	TEMPORARY
ID	INSIDE DIAMETER	TP	TOP OF PAVEMENT
INV	INVERT ELEVATION	TW/FG	TOP OF WALL/FINISH GRADE
JB	JUNCTION BOX	TYP	TYPICAL
JT	JOINT TRENCH	VC	VERTICAL CURVE
JP	JOINT UTILITY POLE	VCP	VITRIFIED CLAY PIPE
L	LENGTH	VERT	VERTICAL
LNDG	LANDING	W/	WITH
		W, WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



KEY MAP

1" = 20'

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, TITLE NO. FSMO-6552300170-HR, DATED AS OF MARCH 22, 2023.

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)

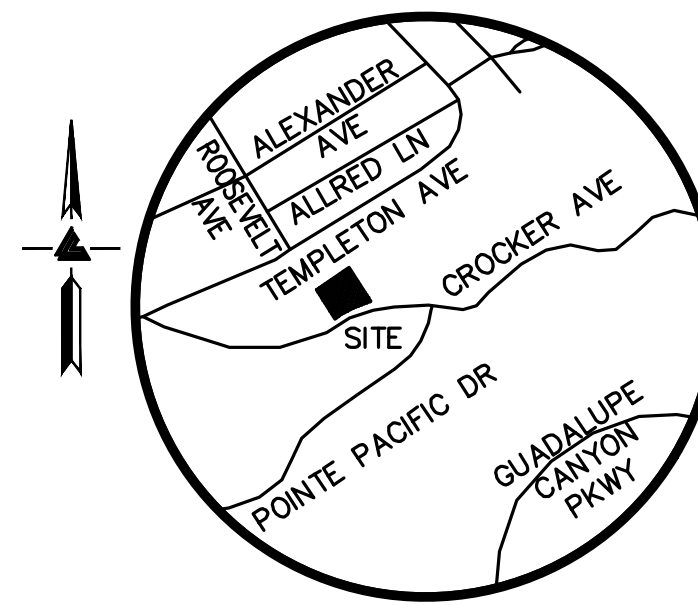
FLOOD INSURANCE RATE MAP (FIRM)
NO.: 06081C0029F
EFFECTIVE DATE: AUGUST 2, 2017

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRIP LINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.



VICINITY MAP
NO SCALE

OWNER'S INFORMATION

OWNER:
RAMON LEI
1100 VICENTE STREET
SAN FRANCISCO, CA

REFERENCES

- THIS TENTATIVE MAP IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING INC., ENTITLED:
"TOPOGRAPHIC SURVEY"
APN: 004-223-110
DALY CITY, CA
DATED: 09-22-23
JOB# 2231392
 - ARCHITECTURAL PLANS BY WING LEE ARCHITECTS ENTITLED:
"CROCKER AVENUE"
APN: 004-223-110
DALY CITY, CA
DATED: 05-30-24
REVISED: 02-13-25
 - SOIL REPORT BY SMITH-EMERY SAN FRANCISCO ENTITLED:
"GEOTECHNICAL ENGINEERING INVESTIGATION"
APN: 004-223-110
DALY CITY, CA
FILE# 74112-1/REPORT# 23-018
DATED: 01-22-24

UTILITIES/SERVICE PROVIDERS

WATER	CITY OF DALY CITY
SEWER	CITY OF DALY CITY
GAS	PACIFIC GAS AND ELECTRIC (PG&E)
ELECTRICITY	PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE	AT&T
FIRE	CITY OF DALY CITY

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 13,051± SQUARE FEET / 0.300± ACRES

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED UPON NAVD88 VERTICAL DATUM, ESTABLISHED VIA CSDS RTN GNSS OBSERVATIONS.

SITE BENCHMARK

SURVEY CONTROL POINT
CUT CROSS SET IN CONCRETE
ELEVATION = 608.30'
(NAVD 88 DATUM)

SHEET INDEX

TM-1.0	TITLE SHEET
TM-2.0	PARCEL MAP
TM-3.0	PRELIMINARY GRADING & DRAINAGE PLAN
TM-4.0	PRELIMINARY UTILITY PLAN
TM-5.0	PRELIMINARY STORMWATER CONTROL PLAN
TM-5.1	PRELIMINARY STORMWATER CONTROL DETAILS
SU1	TOPOGRAPHIC & BOUNDARY SURVEY
BMP-1	COUNTY BEST MANAGEMENT PRACTICES

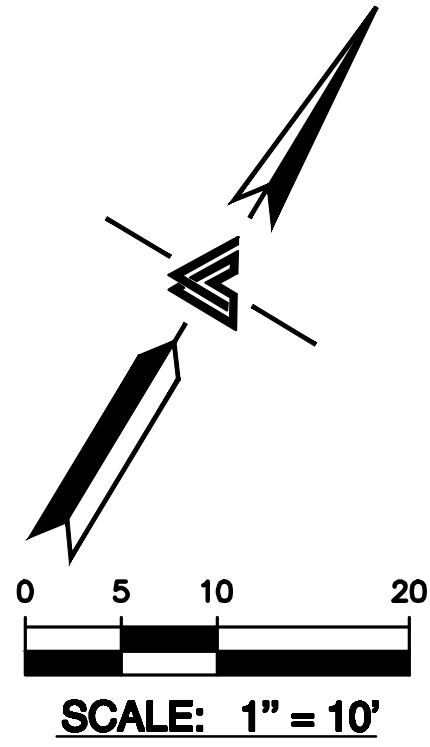
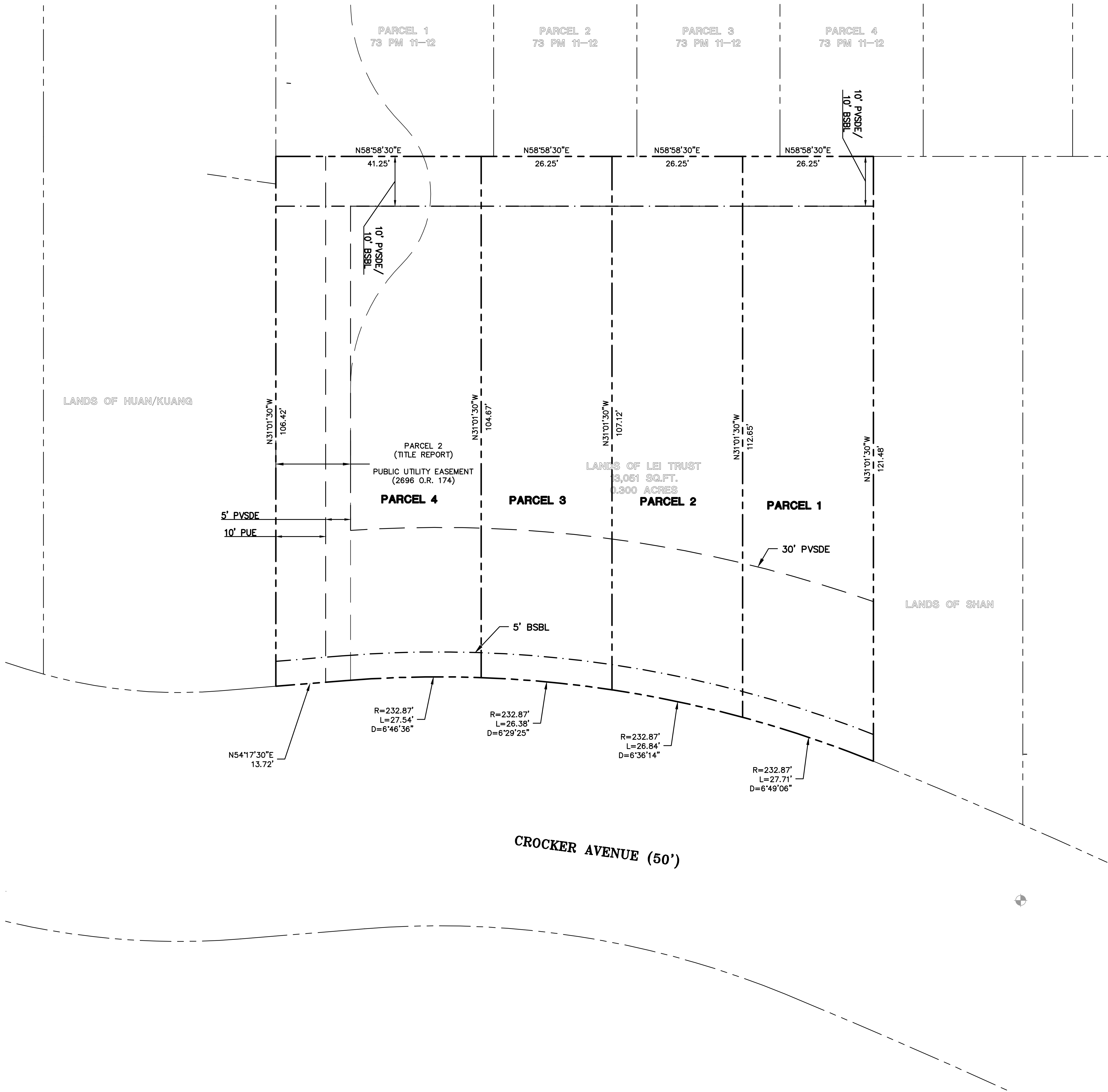
TENTATIVE MAP
CROCKER AVENUE
DALY CITY, CALIFORNIA

TITLE SHEET

2	PLAN CHECK 2	ET
1	PLANNING PC1	ET
	REVISIONS	BY
	JOB NO:	2231368
	DATE:	07-15-24
	SCALE:	AS NOTED
	DESIGN BY:	AV/RW
	CHECKED BY:	JC
	SHEET NO:	

TM-1.0

1 OF 8 SHEETS



LEGEND

--- PROPERTY BOUNDARY
--- PROPOSED EASEMENT LINE
--- EXISTING EASEMENT LINE
--- BUILDING SET BACK LINE

ABBREVIATIONS

PUE PUBLIC UTILITY EASEMENT
BSBL BUILDING SETBACK LINE
PVSDE PRIVATE STORM DRAIN EASEMENT

PARCEL ZONING INFORMATION	
SITE LOCATION	APN: 004-223-110 CROCKER AVENUE DALY CITY, CA
EXISTING ZONING	R1-SINGLE FAMILY
PARCEL #1 ZONING	R1-SINGLE FAMILY
PARCEL #2 ZONING	R1-SINGLE FAMILY
PARCEL #3 ZONING	R1-SINGLE FAMILY
PARCEL #4 ZONING	R1-SINGLE FAMILY

MINIMUM BUILDING/STRUCTURE SETBACK (FT)	
FRONT	5
REAR	10

PARCEL AREA SUMMARY		
PARCEL	GROSS PARCEL AREA (SQFT./ACRES)	NET PARCEL AREA (SQFT./ACRES)
ORIGINAL PARCEL (APN: 004-223-110)	13,050 / 0.300	
PARCEL #1	3,065 / 0.070	2,664 / 0.061
PARCEL #2	2,878 / 0.066	2,481 / 0.057
PARCEL #3	2,773 / 0.064	2,379 / 0.055
PARCEL #4	4,335 / 0.100	3,716 / 0.085

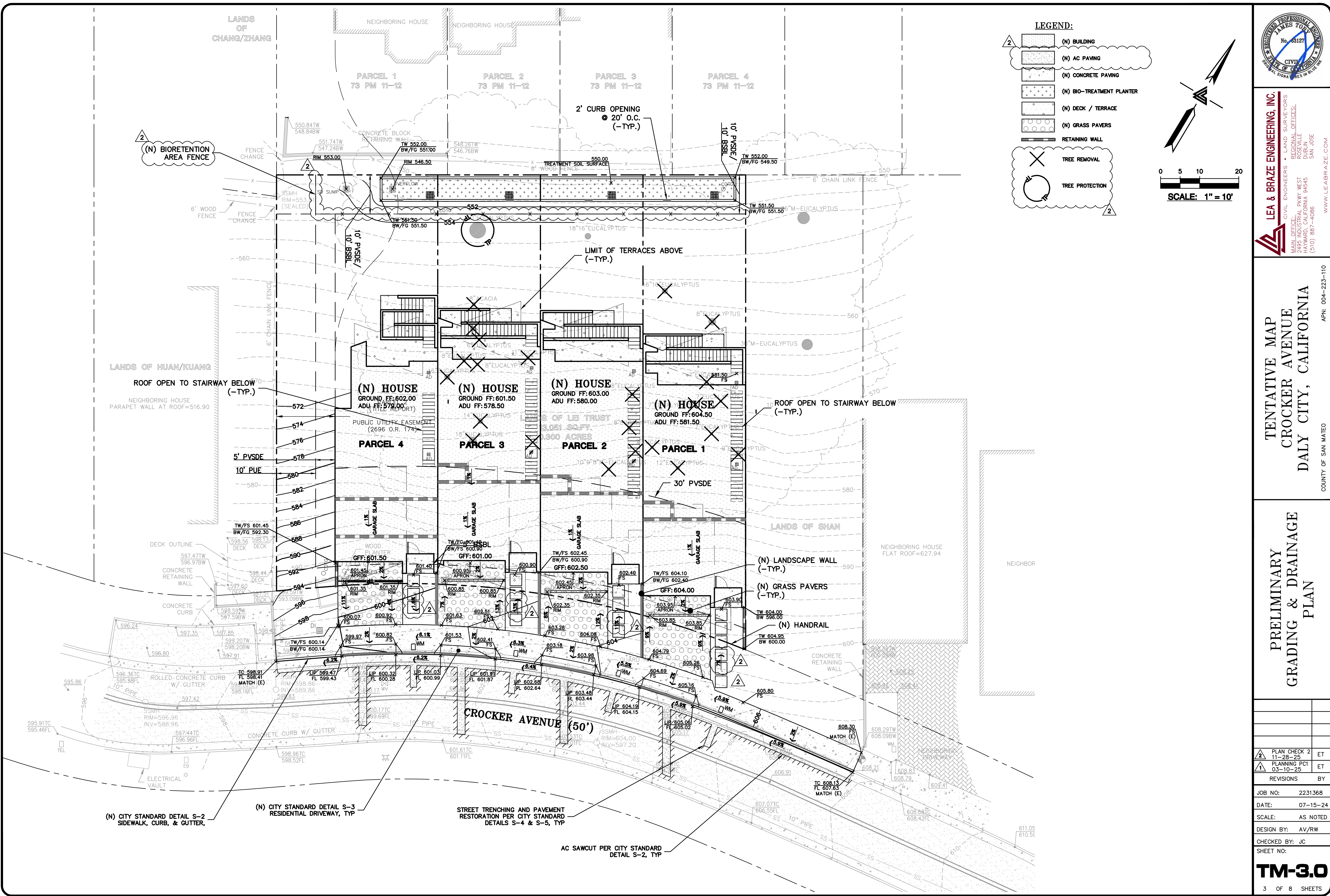


LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
SAN FRANCISCO, CA 94107
SAN JOSE, CA 95128
DUBLIN, CA 94568
SAN JOSE, CA 95128
(510) 887-4066
WWW.LEABRAZE.COM

TENTATIVE MAP
CROCKER AVENUE
DALY CITY, CALIFORNIA
COUNTY OF SAN MATEO
APN: 004-223-110

PARCEL MAP

2	PLAN CHECK 2 11-28-25	ET
1	PLANNING PC1 03-10-25	ET
REVISIONS		BY
JOB NO:		2231368
DATE:		07-15-24
SCALE:		AS NOTED
DESIGN BY:		AV/RW
CHECKED BY:		JC
SHEET NO:		



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TENTATIVE MAP
CROCKER AVENUE
DALY CITY, CALIFORNIA
APN: 004-223-110
COUNTY OF SAN MATEO

PRELIMINARY
GRADING & DRAINAGE
PLAN

2	PLAN CHECK 2	ET
1	PLANNING PC1	ET
REVISIONS		BY
JOB NO:		2231368
DATE:		07-15-24
SCALE:		AS NOTED
DESIGN BY:		AV/RW
CHECKED BY:		JC
SHEET NO:		
TM-3.0		
3 OF 8 SHEETS		

POST CONSTRUCTION BMP MAINTENANCE AND/OR
SOURCE CONTROL MEASURES

FUEL, OIL, PETROLEUM PRODUCTS, PESTICIDES, AND OTHER STORM DRAINAGE POLLUTANT SPILLS NEED TO BE CONTAINED. OWNERS SHALL SE ABSORBMENT MATERIAL ON SMALL SPILLS RATHER THEN HOSING SPILLS DOWN. REMOVE THE ABSORBENT MATERIAL PROMPTLY AND DISPOSE OF PROPERLY, AS REQUIRED BY CITY, STATE AND FEDERAL REGULATIONS.

DRAINAGE INLETS SHALL BE INSPECTED MONTHLY AND KEPT CLEAN OF ANY TRASH THAT MAY HAVE ACCUMULATED. IT IS THE RESPONSIBILITY OF THE PROPERTY MANAGER/OWNER TO HAVE THOSE INSPECTIONS PERFORMED, DOCUMENTED AND ANY REPAIRS MADE.

A. LANDSCAPE MAINTENANCE

LANDSCAPE AREAS SHALL BE COVERED WITH PLANTS OR SOME TYPE OF GROUND COVER TO MINIMIZE EROSION. NO AREAS ARE TO BE LEFT AS BARE DIRT THAT COULD ERODE. MOUNDING SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.

PESTICIDES AND FERTILIZERS SHALL BE STORED AS HAZARDOUS MATERIALS AND IN APPROPRIATE PACKAGING. OVER SPRAYING ONTO PAVED AREAS SHALL BE AVOIDED WHEN APPLYING FERTILIZERS AND PESTICIDES. PESTICIDES AND FERTILIZERS WILL BE PROHIBITED FROM STORAGE OUTSIDE.

THE LANDSCAPE AREAS SHALL BE INSPECTED AND ALL TRASH PICKED UP AND OBSTRUCTIONS TO THE DRAINAGE FLOW REMOVED ON A MONTHLY BASIS MINIMUM. THIS SITE HAS BEEN DESIGNED WITH EFFICIENT IRRIGATION AND DRAINAGE TO REDUCE PESTICIDE USE. PLANTS HAVE BEEN SELECTED BASED ON SIZE AND ARE SITUATED TO REDUCE MAINTENANCE AND ROUTINE PRUNING.

THE INTEGRATED PEST MANAGEMENT INFORMATION ATTACHED WILL BE PROVIDED TO BUILDING MANAGEMENT.

B. DRAINAGE COLLECTION MANAGEMENT

THE STORM DRAINAGE SYSTEM CONSISTS OF AREA DRAINS, CATCH BASINS, BUBBLERS, COLLECTION AND DISTRIBUTION PIPING, SWALES, AND CLEAN OUTS.

THE STORM DRAINAGE COLLECTION SYSTEM SHALL BE CLEANED YEARLY BY THE PROPERTY MANAGER/OWNER. THE INSPECTION SHALL BE PERFORMED DURING THE DRY SEASON. THIS INCLUDES THE FOLLOWING;

*ALL TRASH AND OBSTRUCTIONS SHALL BE REMOVED FROM AREA DRAINS, BUBBLERS, CLEAN OUTS, AND CATCH BASINS.

C. BIO-TREATMENT AREA

MAINTENANCE AGREEMENT
UPON ACCEPTANCE OF THE DESIGN CONCEPT, A MAINTENANCE AGREEMENT WILL BE DEVELOPED REQUIRING THE PROPERTY MANAGER/OWNER TO PROVIDE THE FOLLOWING INFORMATION ON A ROUTINE BASIS. THESE REQUIREMENTS APPLY ONLY TO THE PORTION OF THE FLOW THROUGH PLANTERS USED FOR STORM WATER TREATMENT.

MAINTENANCE STANDARDS:

*SOILS AND PLANTINGS MUST BE MAINTAINED, INCLUDING ROUTINE PRUNING, MOWING, IRRIGATION, REPLENISHMENT OF MULCH, WEEDING, AND FERTILIZING WITH A SLOW-RELEASE FERTILIZER WITH TRACE ELEMENTS. .

*REMOVE OBSTRUCTIONS AND TRASH FROM FLOW THROUGH PLANTER.

*ONLY PESTICIDES AND FERTILIZERS THAT ARE ACCEPTED WITHIN THE INTEGRATED PEST MANAGEMENT APPROACH FOR USE IN FLOW THROUGH PLANTERS SHALL BE USED.

*EROSION AT INFLOW POINTS MUST BE REPAIRED.

FLOW THROUGH PLANTERS SHALL BE INSPECTED AND MAINTAINED MONTHLY TO REVIEW:

*OBSTRUCTION AND TRASH

*IF PONDED WATER IS OBSERVED, THE SURFACE SOILS SHALL BE REMOVED AND REPLACED AND SUBDRAIN SYSTEM INSPECTED.

*CONDITION OF GRASSES.

D. TRAINING PROGRAM

A COPY OF THE STORM WATER MANAGEMENT PLANS (SWMP) WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

MATERIAL PRESENTED IN THE INTEGRATED PEST MANAGEMENT PROGRAM WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

A COPY OF THE YEARLY INSPECTION REPORTS SHALL BE MANAGED BY THE PROPERTY MANAGER/OWNER.

THE PROPERTY MANAGER/OWNER SHALL ARRANGE AND PAY FOR FINAL INSPECTION OF INSTALLED TREATMENT MEASURE BY MUNICIPALITY'S STORMWATER INSPECTOR WITHIN 45 DAYS OF INSTALLATION OR PROJECT CONSTRUCTION COMPLETION, WHICHEVER COMES FIRST.

IDENTIFICATION OF POTENTIAL POLLUTANTS:

POSSIBLE POLLUTANTS FOR THIS SITE INCLUDE TRASH, SEDIMENTS, NUTRIENTS, DUST, CONSTRUCTION DEBRIS, AUTOMOBILE DEBRIS, AND PESTICIDES. THE CONSTRUCTION OF THE PROJECT AND THE LONG TERM MAINTENANCE SHOULD NOT ADD ANY OF THE FOLLOWING: COPPER, NICKEL, DIAZINON, MERCURY, CHLORIDANE, DDT, DIELDRIN, AND PCB'S.

BMP DESCRIPTION

THIS PROJECT USES BMP RECOMMENDATIONS FROM THE SAN MATEO COUNTY CLEAN WATER PROGRAM PUBLIC UTILITIES COMMISSION INCLUDING A FLOW THROUGH PLANTER FOR STORMWATER TREATMENT AND DETENTION.

THE SITE IS APPROXIMATELY 13,051 SF. THE DEVELOPMENT WILL ADD APPROXIMATELY 8,294 SF OF IMPERVIOUS SURFACE. THE SITE WILL RETAIN APPROXIMATELY 36% PERVIOUS SURFACES, INCLUDING LANDSCAPING AREA AND BACK PATIO/YARD.

THE SITE IS DIVIDED INTO 3 DRAINAGE MANAGEMENT AREAS (DMA).
DMA #1 UTILIZES A BIO-RETENTION TREATMENT PLANTER.
DMA #2 CONSISTS OF CONCRETE SIDEWALK, CURB & GUTTER THAT DRAINS TO THE ROADWAY
DMA #3 CONSISTS OF SELF-TREATING LANDSCAPE AREA.

DEVELOPMENT INFORMATION

PARCEL AREA	13,050 SQUARE FEET (0.300 ACRE)			
TOTAL PROJECT AREA	15,733 SQUARE FEET (0.361 ACRE)			
TOTAL DISTURBED AREA	15,733 SQUARE FEET (0.361 ACRE)			
IMPERVIOUS AREA	EXISTING	REMOVED	NEW	PROPOSED
RESIDENCE ROOF*	0	0	6,834	6,834
PATIO, WALKWAY, PADS, ETC.	0	0	444	444
SIDEWALK, CURB & GUTTER	373	373	1,352	1,352
TOTAL IMPERVIOUS AREA	373	373	8,630	8,630
NET CHANGE IN IMPERVIOUS AREA	+8,257 SQUARE FEET (NET INCREASE)			
PERVIOUS PAVING				
GRASSPAVE DRIVEWAY	0	0	939	939
NET CHANGE IN PERVIOUS PAVING AREA	+939 SQUARE FEET (NET INCREASE)			
TOTAL DEVELOPED AREA	373	373	9,569	9,569
NET CHANGE IN DEVELOPED AREA	+9,196 SQUARE FEET (NET INCREASE)			

*HARDSCAPE AREAS BELOW THE RESIDENCE DECKS & ROOF OVERHANG ARE INCLUDED IN THE ROOF AREA

STORMWATER DETENTION INFORMATION

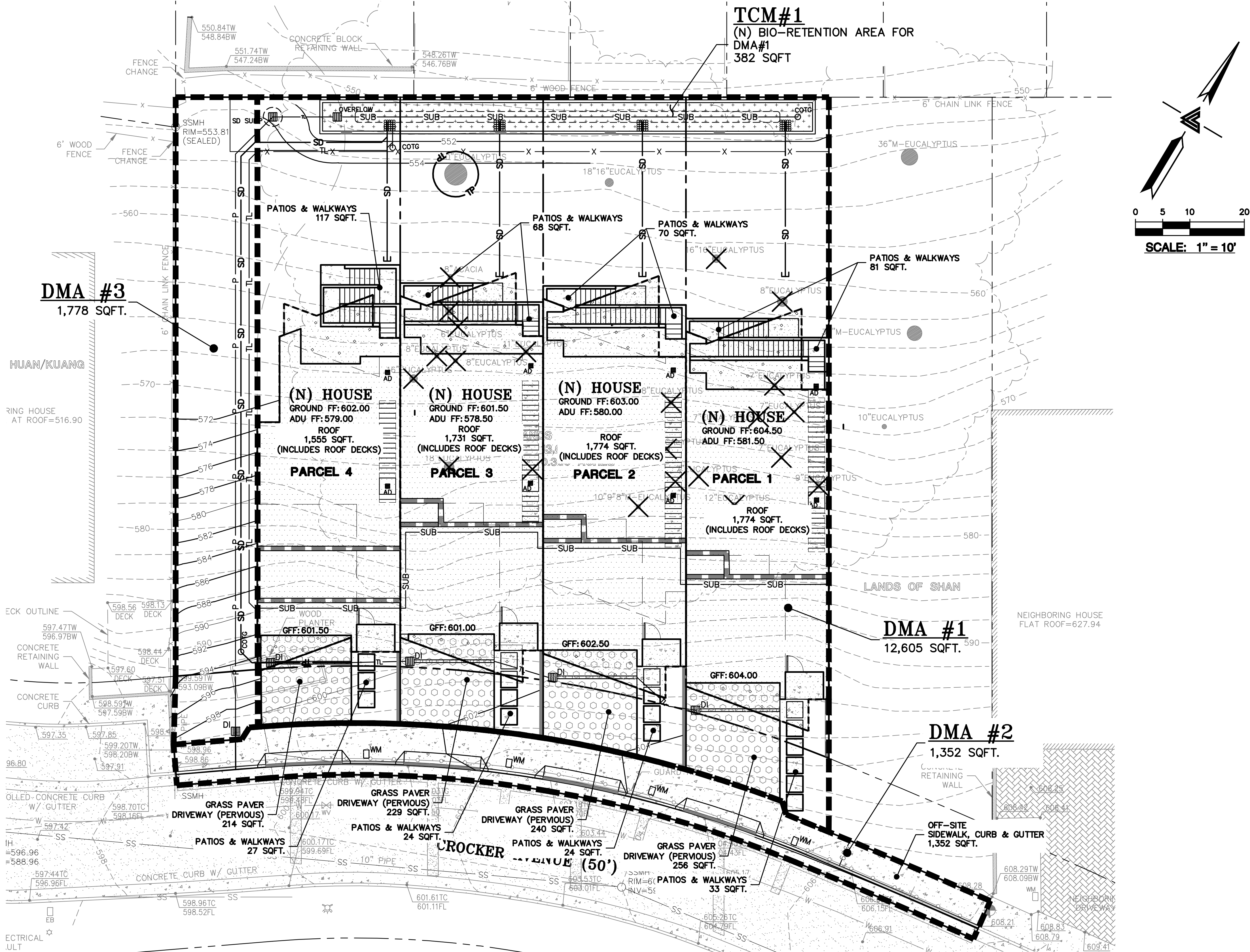
TOTAL PROJECT AREA	15,733 SQUARE FEET (0.361 ACRE)		
AREA SUBJECT TO CAPTURE	12,605 SQUARE FEET (0.289 ACRE)		
IMPERVIOUS AREA	PROPOSED	CAPTURED	UN-CAPTURED
RESIDENCE ROOF*	6,834	6,834	0
PATIO, WALKWAY, PADS, ETC.	444	444	0
SIDEWALK, CURB & GUTTER	1,352	0	1,352
TOTAL IMPERVIOUS AREA	8,630	7,278	1,352
PERVIOUS PAVING			
GRASSPAVE DRIVEWAY	939	939	0
TOTAL DEVELOPED AREA	9,569	8,217	1,352
LANDSCAPE AREA	6,164	4,433	1,731
TOTAL PERVIOUS AREA	7,103	5,372	1,731

STORMWATER RUNOFF INFORMATION

DRAINAGE MANAGEMENT AREA (DMA)	TOTAL DMA AREA (SQ FT)	PRE-CONSTRUCTION RUNOFF (CUFT/SEC)	POST-CONSTRUCTION RUNOFF (WITHOUT METERING) (CUFT/SEC)	POST-CONSTRUCTION RUNOFF (WITH METERING) (CUFT/SEC)
1	12,603	0.073	0.145	0.049
2	1,352	0.008	0.021	0.021
3	1,778	0.010	0.010	0.010
TOTAL	15,733	0.091	0.176	0.080

STORMWATER TREATMENT INFORMATION

DRAINAGE MANAGEMENT AREA (DMA)	TOTAL DMA AREA (SQ FT)	IMPERVIOUS AREA (SQ FT)	TREATMENT AREA REQUIRED (4% OF IMPERVIOUS AREA) (SQ FT)	TREATMENT AREA PROVIDED (SQ FT)	EXCESS TREATMENT AREA (SQ FT)
1	12,603	7,278	292	382	90
2	1,352	1,352	54	0	0
3	1,778	0	SELF-TREATING LANDSCAPE AREA		
TOTAL	15,733	8,630	346	382	36

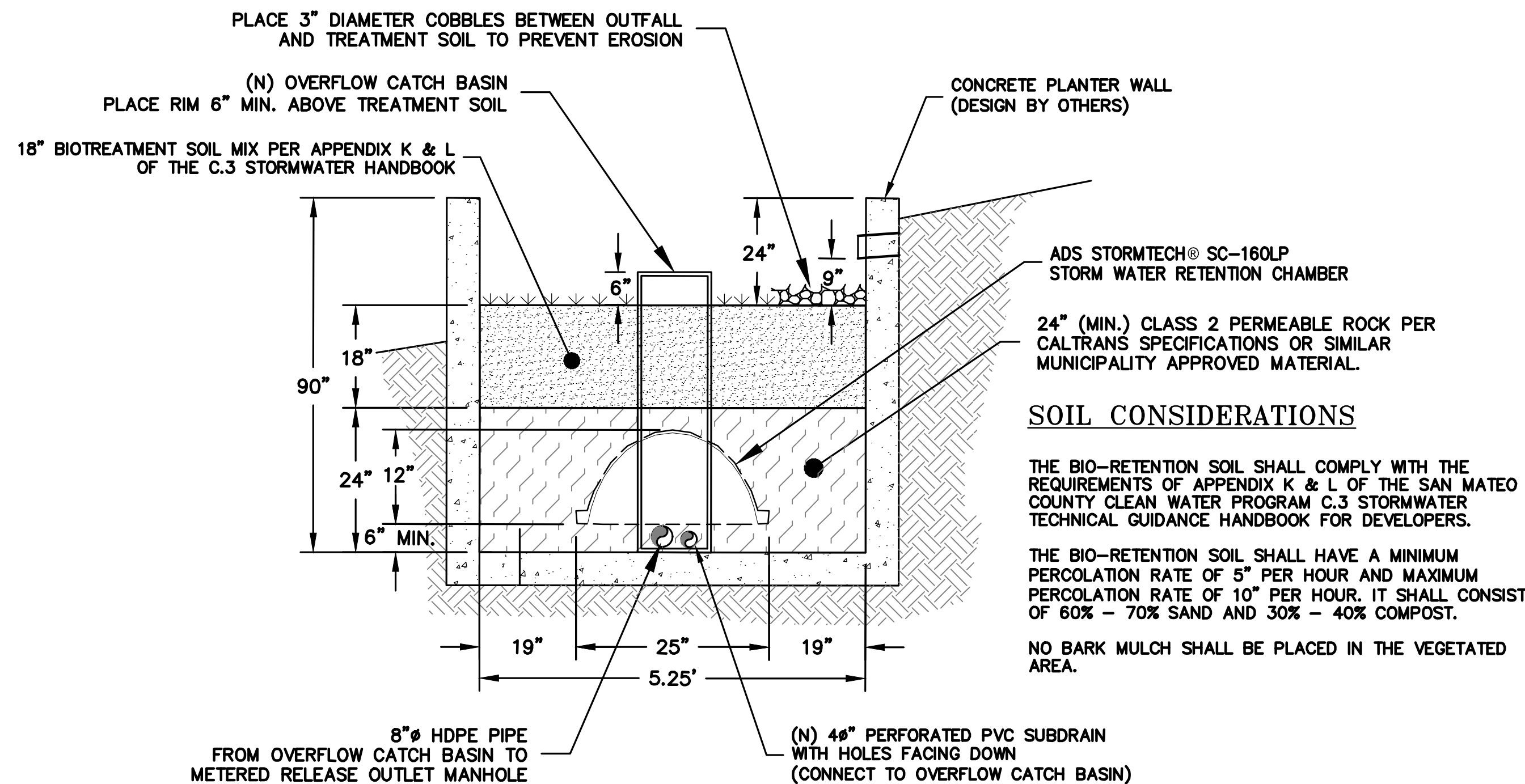
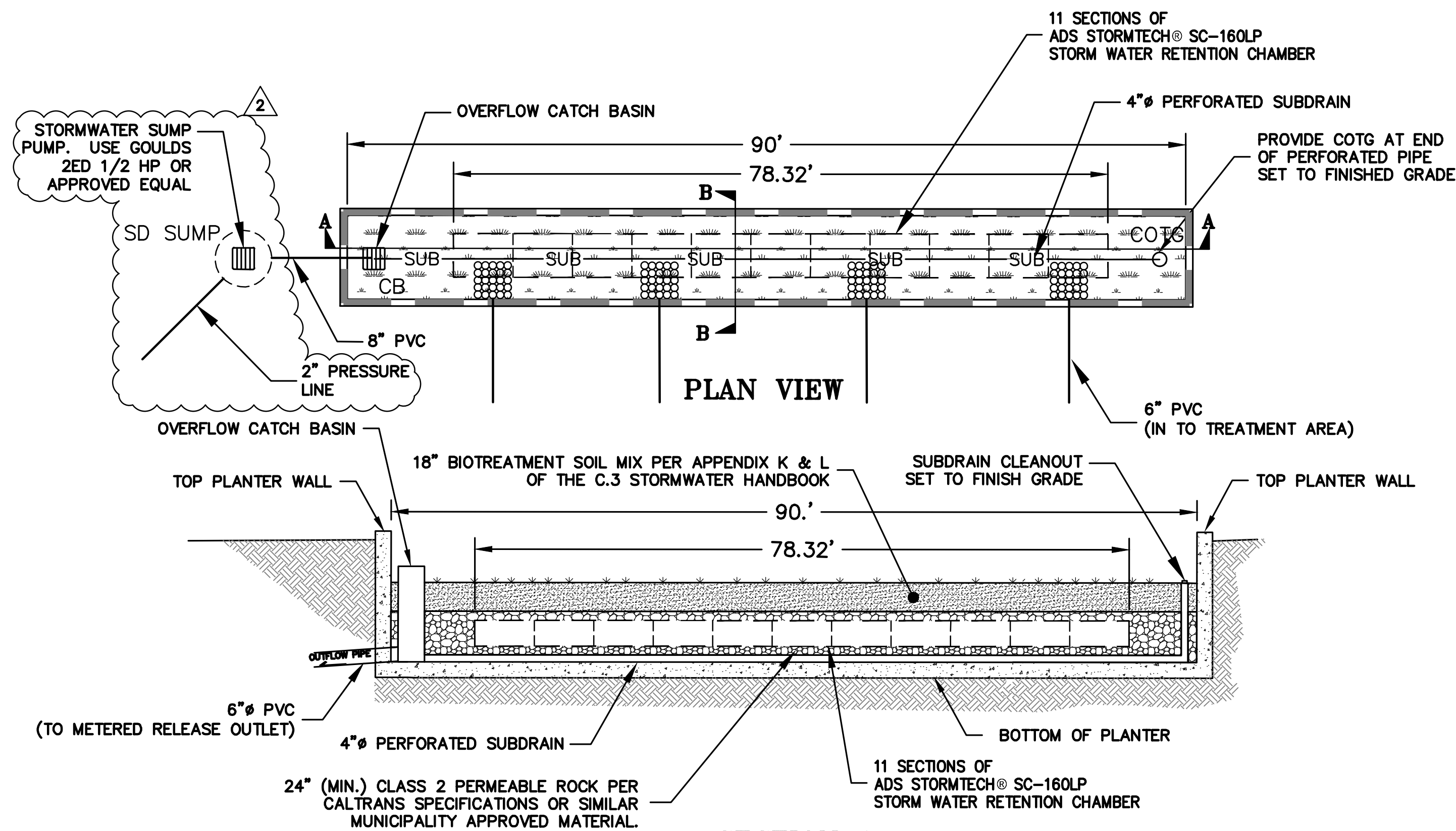


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CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 11500 CROCKER AVENUE, SUITE 100, DUBLIN, CALIFORNIA 94568
SAN JOSE: (510) 887-4086
WWW.LEABRAZE.COM

TENTATIVE MAP
CROCKER AVENUE
DALY CITY, CALIFORNIA
APN: 004-223-110
COUNTY OF SAN MATEO

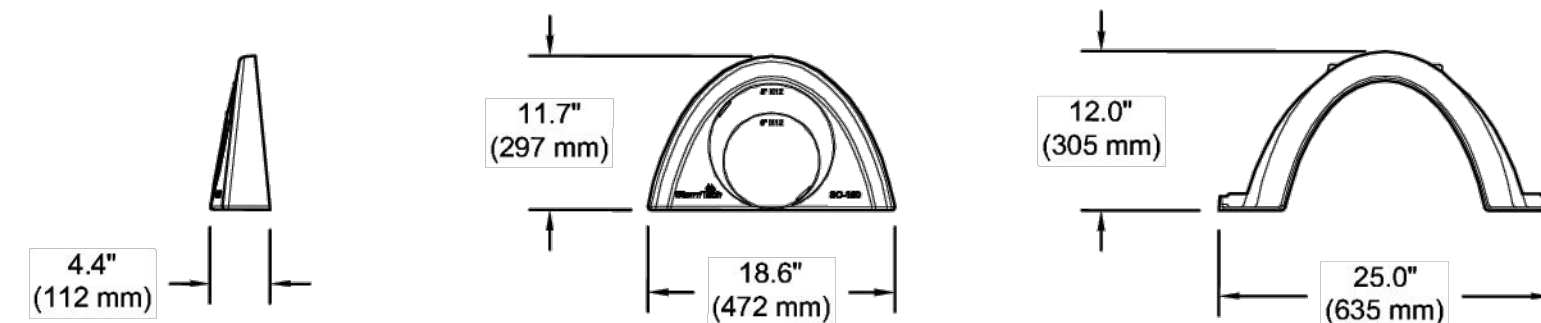
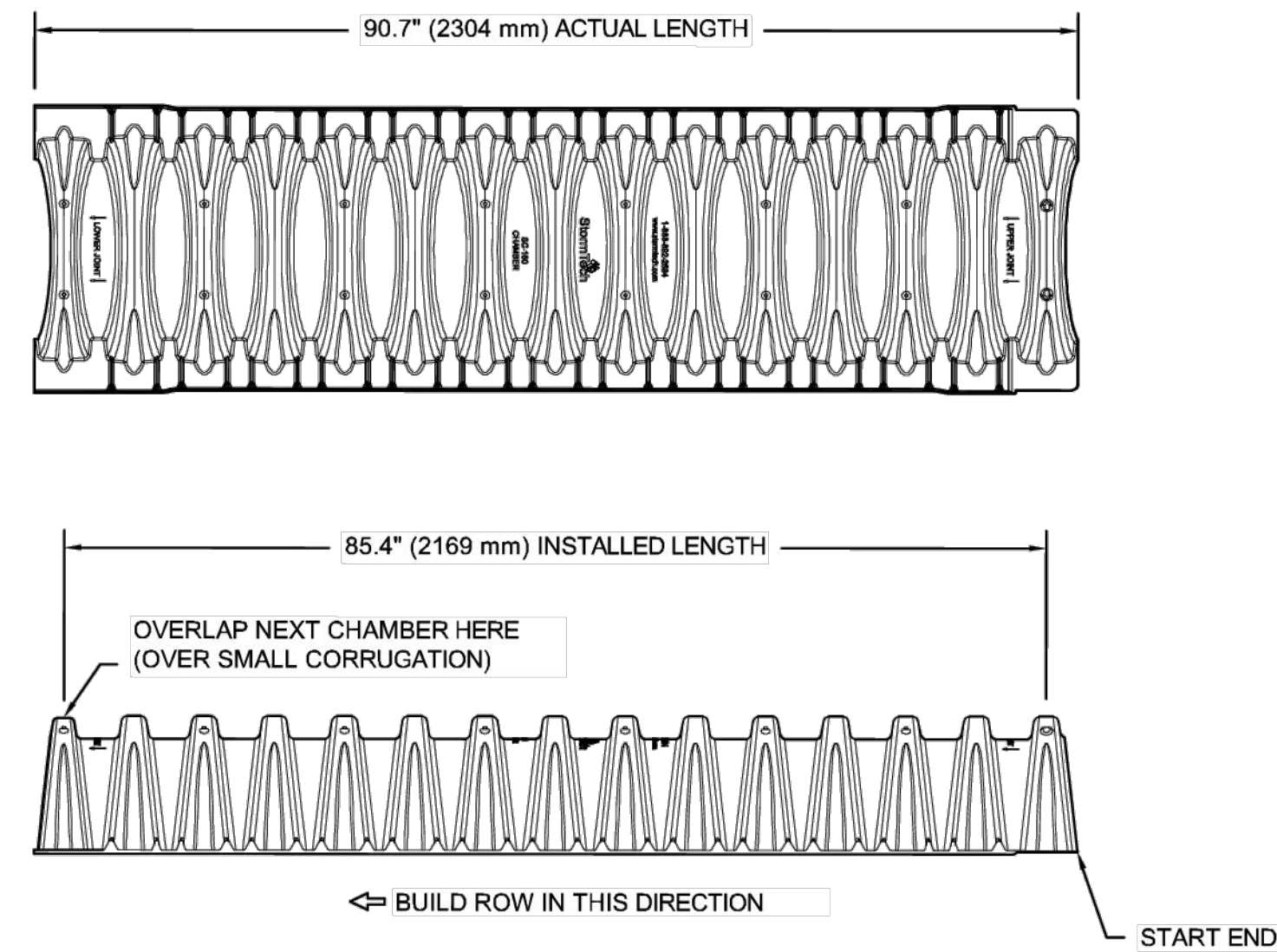
PRELIMINARY
STORMWATER CONTROL
PLAN

2	PLAN CHECK 2 11-28-25	ET
1	PLANNING PC1 03-10-25	ET
REVISIONS		B
JOB NO:	2231368	
DATE:	07-15-24	
SCALE:	AS NOTED	
DESIGN BY:	AV/RW	
CHECKED BY:	JC	
SHEET NO:		
TM-5.0		
5 OF 8 SHEETS		



1 FLOW THROUGH PLANTER DETAIL

TM-5.1 NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	25.0" X 12.0" X 85.4"	(635 mm X 305 mm X 2169 mm)
CHAMBER STORAGE	6.85 CUBIC FEET	(0.19 m³)
MINIMUM INSTALLED STORAGE*	16.0 CUBIC FEET	(0.45 m³)
WEIGHT	24.0 lbs.	(10.9 kg)

*ASSUMES 6" (152 mm) ABOVE, 6" (152 mm) BELOW, AND STONE BETWEEN CHAMBERS WITH 40% STONE POROSITY.

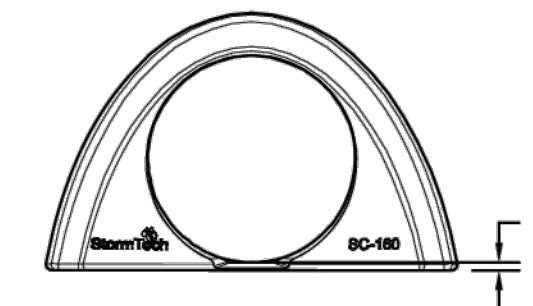
PART #	STUB	A
SC160IEPP	6" (150 mm)	0.66" (16 mm)
	8" (200 mm)	0.80" (20 mm)
SC160IEPP08	8" (200 mm)	0.96" (24 mm)

ALL STUBS ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

NOTE: ALL DIMENSIONS ARE NOMINAL

2 SC-160LP TECHNICAL SPECIFICATIONS

TM-5.1 NTS



3 NOT USED

TM-5.1 NTS



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DUBLIN, SAN JOSE

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TENTATIVE MAP

CROCKER AVENUE

DALY CITY, CALIFORNIA

APN: 004-223-110

COUNTY OF SAN MATEO

PRELIMINARY

STORMWATER CONTROL

DETAILS

2	PLAN CHECK 2	ET
1	PLANNING PC1	ET
	03-10-25	
	REVISIONS	BY

JOB NO: 2231368

DATE: 07-15-24

SCALE: AS NOTED

DESIGN BY: AV/RW

CHECKED BY: JC

SHEET NO:

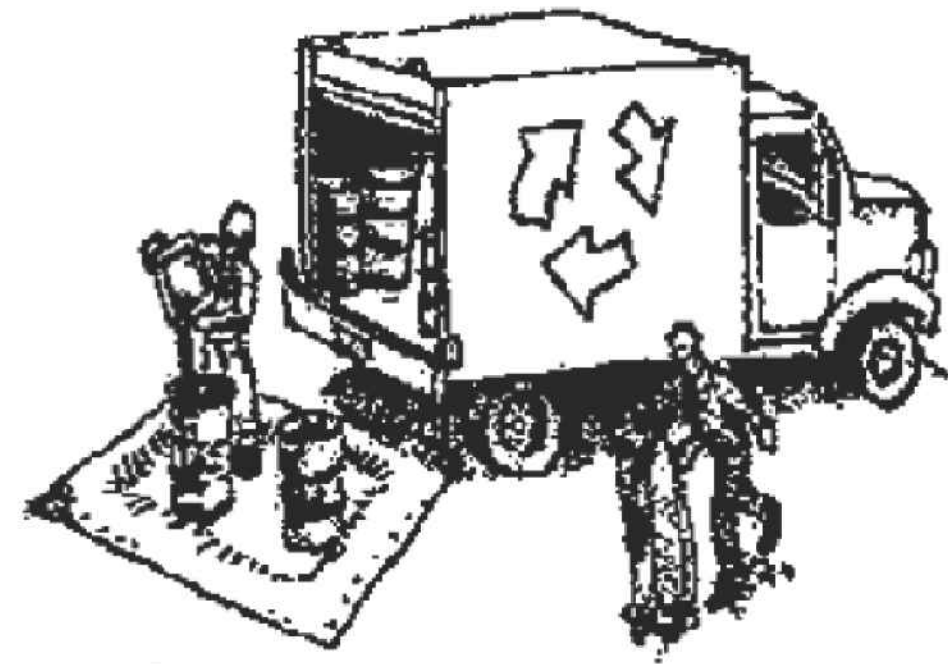
TM-5.1

7 OF 8 SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



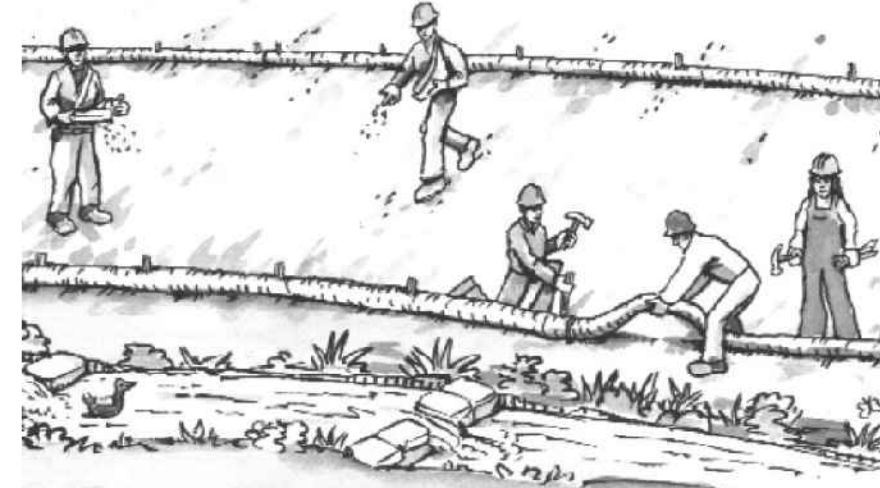
Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

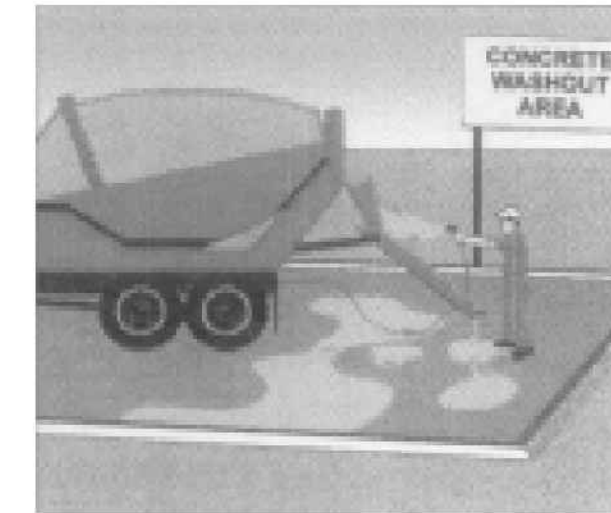
Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



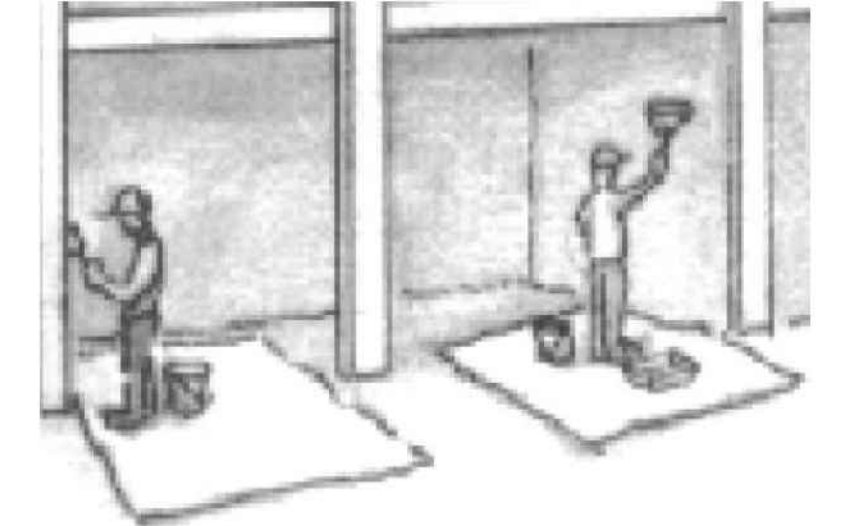
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



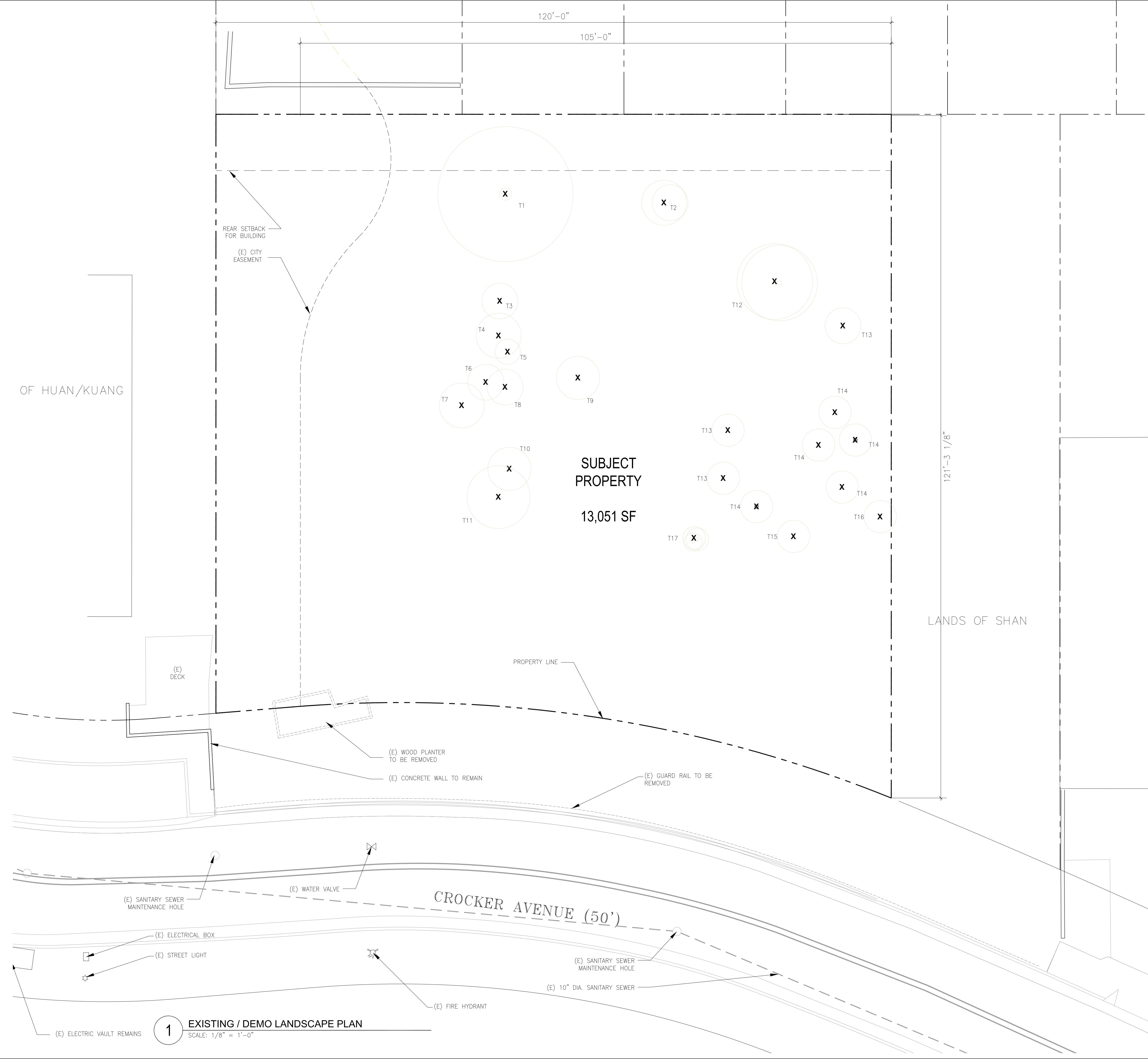
Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley
Urban Runoff
Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!



X EXISTING TREES TO BE REMOVED

SPECIES	LEGEND	SIZE (DIAMETER)
T1	EUCALYPTUS	50"
T2	EUCALYPTUS	18" AND 16"
T3	ACACIA	8"
T4	EUCALYPTUS	16"
T5	EUCALYPTUS	6"
T6	EUCALYPTUS	8"
T7	EUCALYPTUS	16"
T8	EUCALYPTUS	8"
T9	EUCALYPTUS	11"
T10	EUCALYPTUS	14"
T11	EUCALYPTUS	18"
T12	EUCALYPTUS	16" AND 16"
T13	EUCALYPTUS	8"
T14	EUCALYPTUS	7"
T15	EUCALYPTUS	12"
T16	EUCALYPTUS	9"
T17	EUCALYPTUS	8", 9", 10"

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STAMP



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

ISSUE RECORD / DATE

OWNER MEETING

8/2/2023

REVISED PLANS

8/14/2023

BEDROOM DIMENSIONS

9/6/2023

OWNER CONFIRMED DESIGN

11/18/2023

OWNER'S MODIFICATION ON

DWELLING #4

11/30/2023

REVISED FINISH FLOOR

ELEVATION

5/30/2024

DESIGN REVIEW APPLICATION

7/18/2024

DESIGN REVIEW APPLICATION

REVISION #1

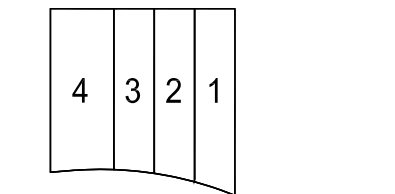
3/18/2025

DESIGN REVIEW APPLICATION

REVISION #2

11/20/2025

PROJECT



DRAWING TITLE

EXISTING / DEMO
LANDSCAPE
PLAN

SHEET

L1.1

7/20/2025



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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OWNER CONFIRMED DESIGN 11/18/2023
OWNER'S MODIFICATION ON DWELLING #4 11/30/2023
REVISED FINISH FLOOR ELEVATION 5/30/2024
DESIGN REVIEW APPLICATION 7/18/2024
DESIGN REVIEW APPLICATION REVISION #1 3/18/2025
DESIGN REVIEW APPLICATION REVISION #2 11/20/2025



1 PROPOSED FRONT VIEW (FROM CROCKER AVENUE)
NTS

BUILDING ENVELOPE

SD-1	COMPOSITE RESIN PANEL / SIDING WITH BLACK FINISH
SD-2	COMPOSITE RESIN PANEL / SIDING WITH WHITE FINISH
SD-3	COMPOSITE RESIN PANEL / SIDING WITH LIGHT BEIGE FINISH
GD-1	EXTRUDED ALUMINIUM RAIL AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-2	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-3	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
VR-1	ALUMINUM FIN WITH PAINTED FINISH TO MATACH ADJACENT PANEL/SIDING FINISH, TYP.
T-1	YELLOW CERAMIC TILE
A-1	PAINTED AND STANDOFF ADDRESS NUMBERS WITH CODE COMPLIANT ILLUMINATION ABOVE
GD-4	DARK ANODIZED ALUMINUM DOOR / WINDOW
R-1	42" TEMPERED GLASS RAIL WITH METAL CAP

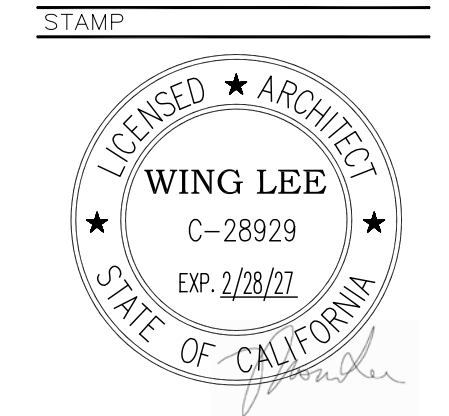
LANDSCAPE FEATURES

GP-1	DRIVABLE GRASS PAVER
GP-2	DECOMPOSED GRANITE
TR-1	15-GALLON JAPANESE MAPLE (ACER PALMATUM) - SEE LANDSCAPE PLAN A



1 PROPOSED SITE PLAN AND LOT SUBDIVISION
SCALE: 1/8" = 1'-0"

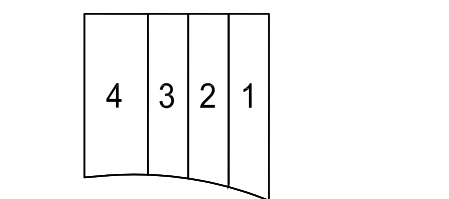
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PROJECT

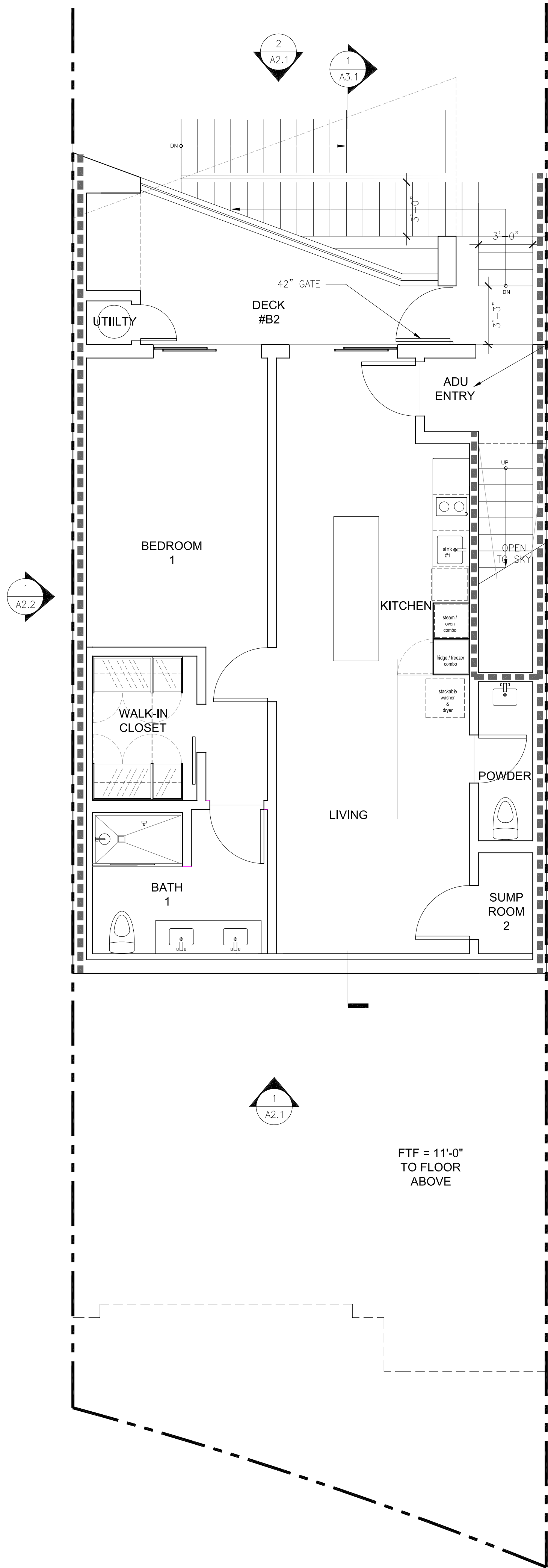


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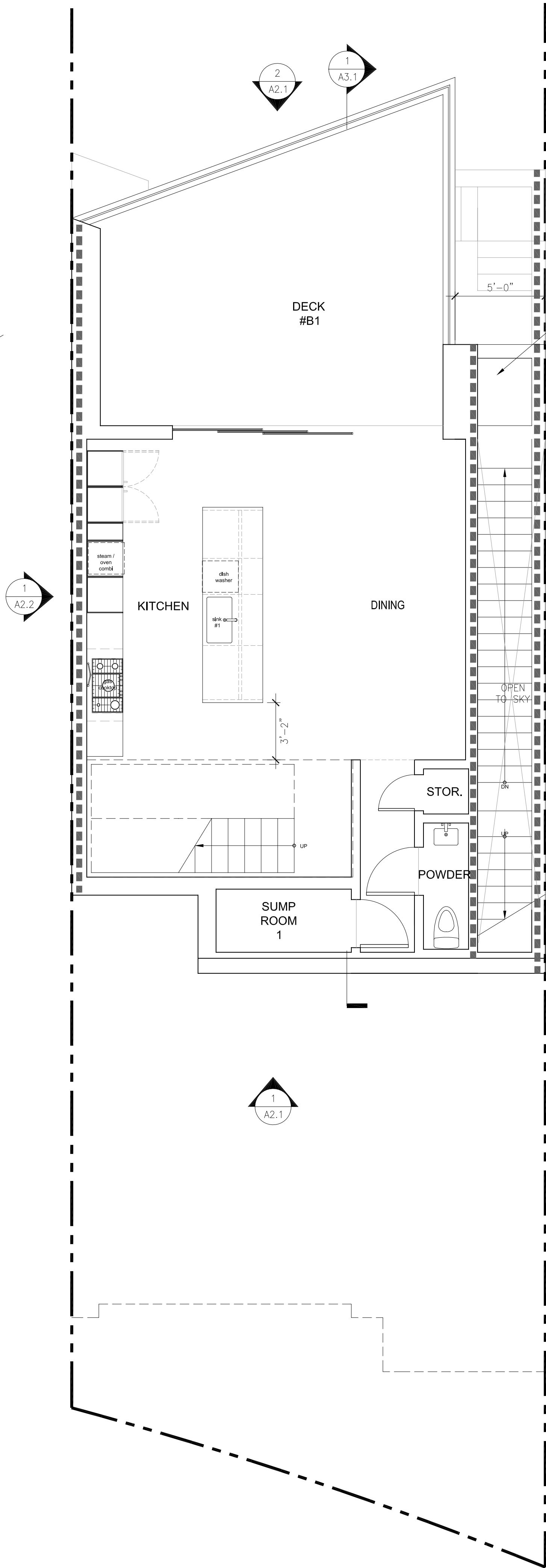
PROPOSED SITE PLAN

SHEET

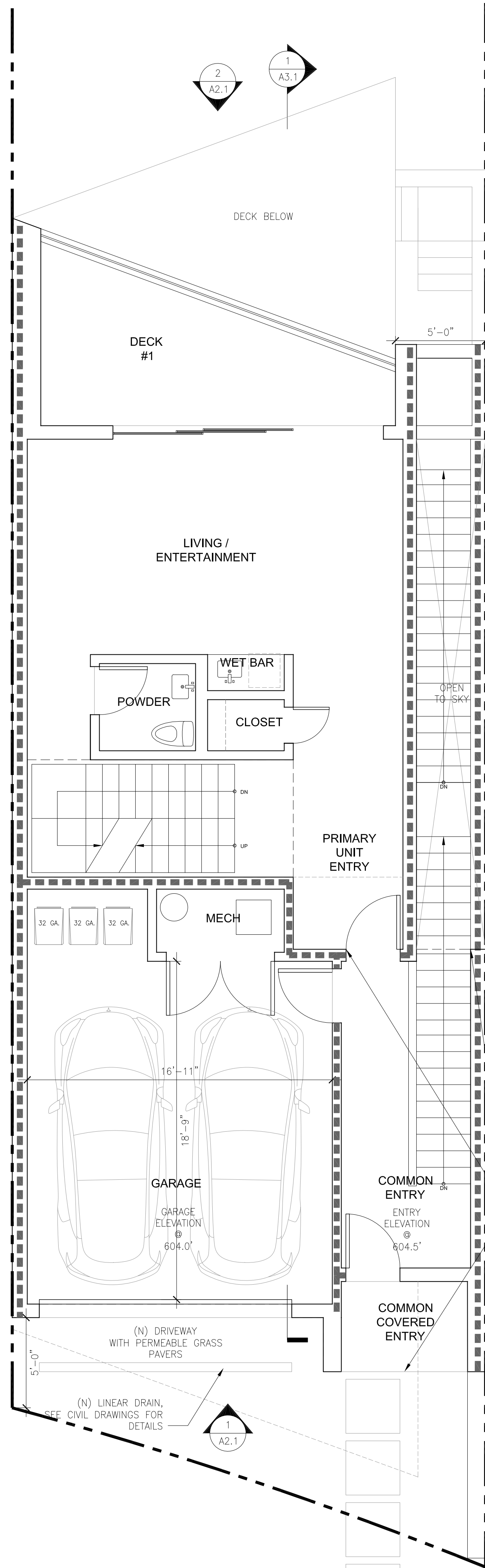
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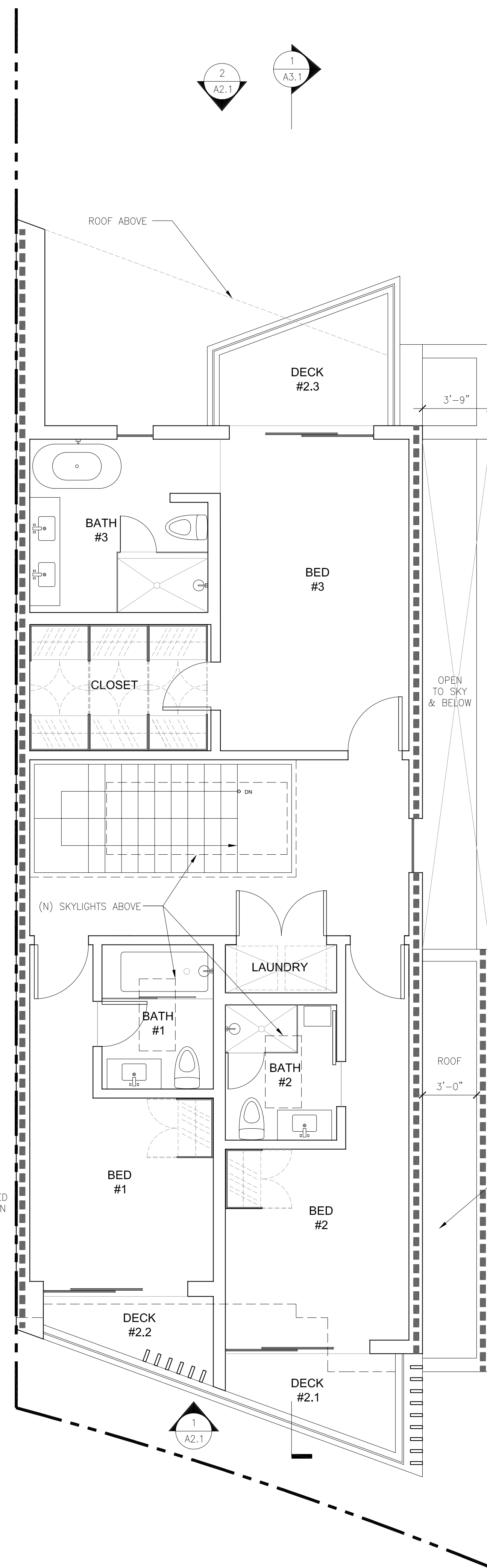
1 BASEMENT 2
SCALE: 1/4" = 1'-0"



2 BASEMENT 1
SCALE: 1/4" = 1'-0"



3 GROUND FLOOR
SCALE: 1/4" = 1'-0"



4 SECOND FLOOR
SCALE: 1/4" = 1'-0"

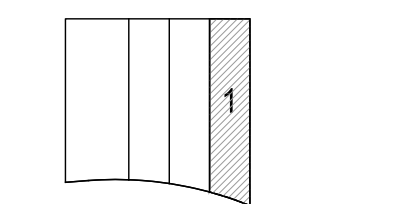
1-HOUR WALL ASSEMBLY

0' 10' 20'

CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
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PROJECT

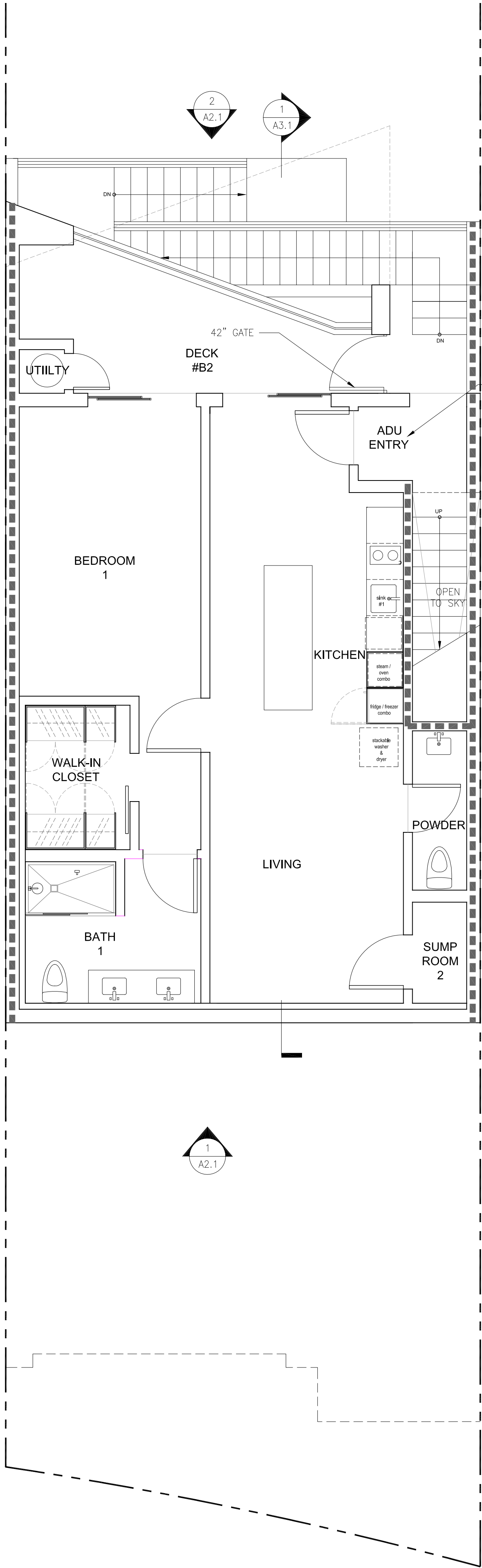


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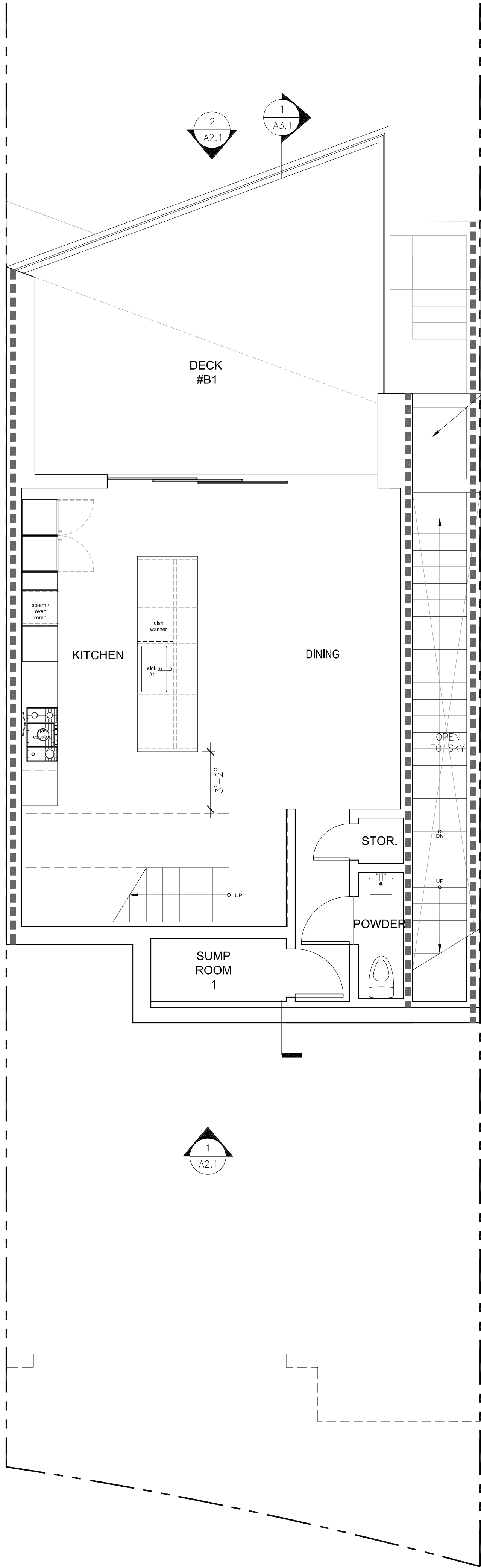
FLOOR PLANS
LOT 1

SHEET

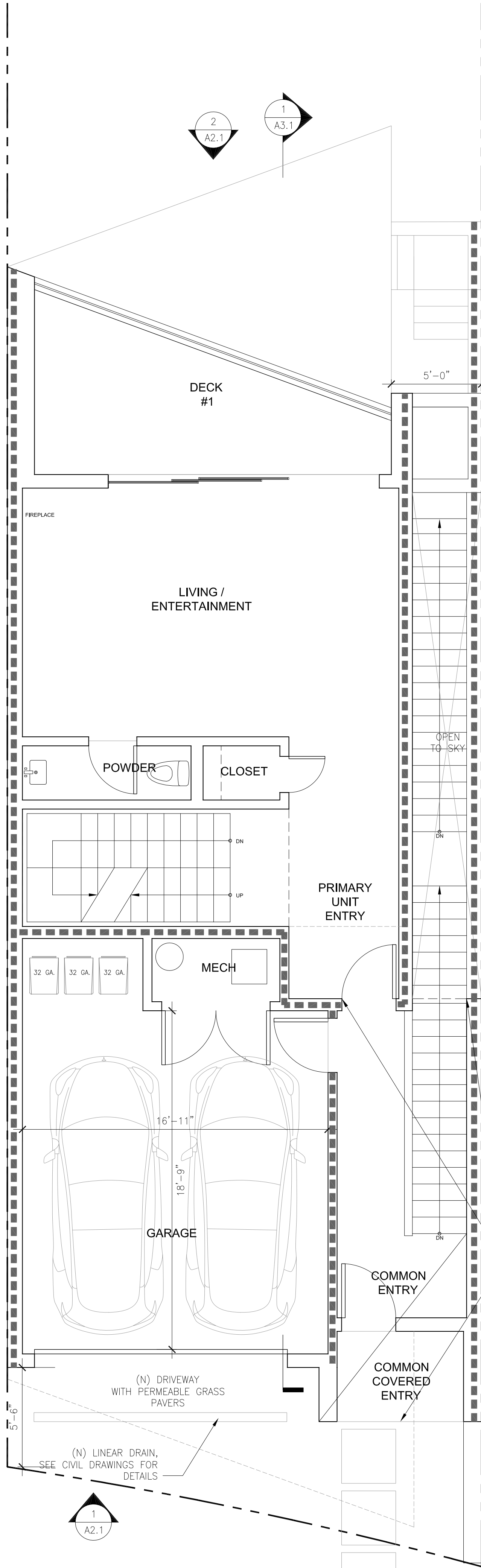
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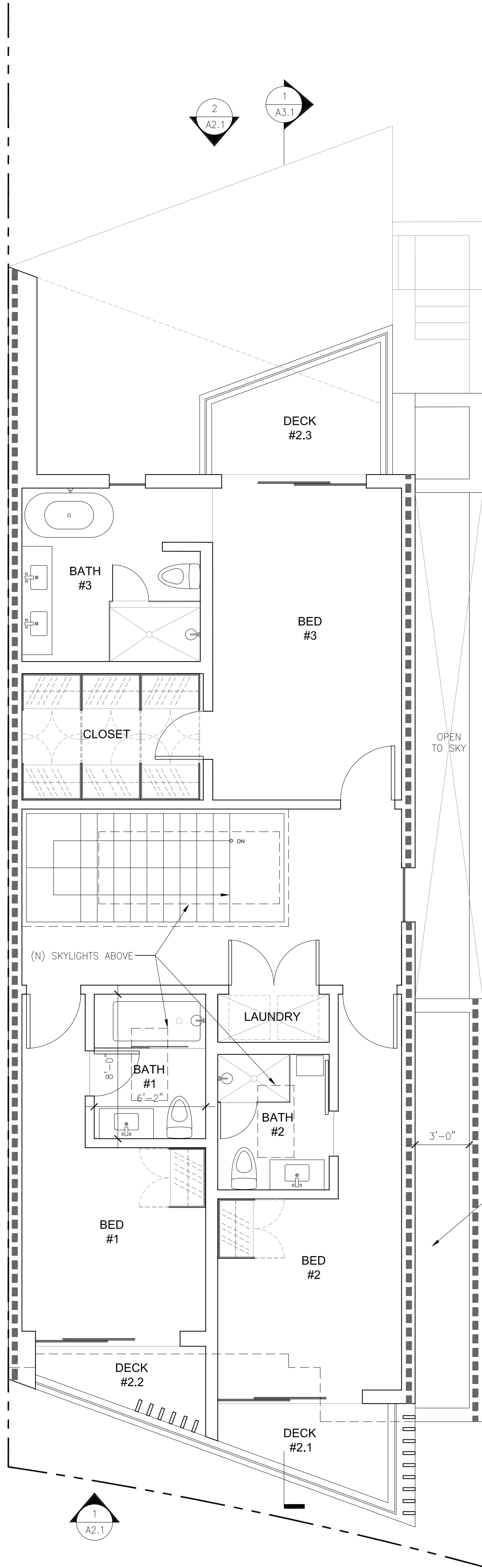
1 BASEMENT 2
SCALE: 1/4" = 1'-0"



2 BASEMENT 1
SCALE: 1/4" = 1'-0"



3 GROUND FLOOR
SCALE: 1/4" = 1'-0"



4 SECOND FLOOR
SCALE: 1/4" = 1'-0"

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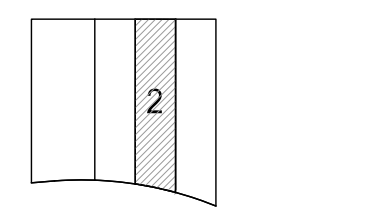
STAMP



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8/14/2023
BEDROOM DIMENSIONS
9/6/2023
OWNER CONFIRMED DESIGN
11/18/2023
OWNER'S MODIFICATION ON
DWELLING #4
11/30/2023
REVISED FINISH FLOOR
ELEVATION
5/30/2024
DESIGN REVIEW APPLICATION
7/18/2024
DESIGN REVIEW APPLICATION
REVISION #1
3/18/2025
DESIGN REVIEW APPLICATION
REVISION #2
11/20/2025

PROJECT

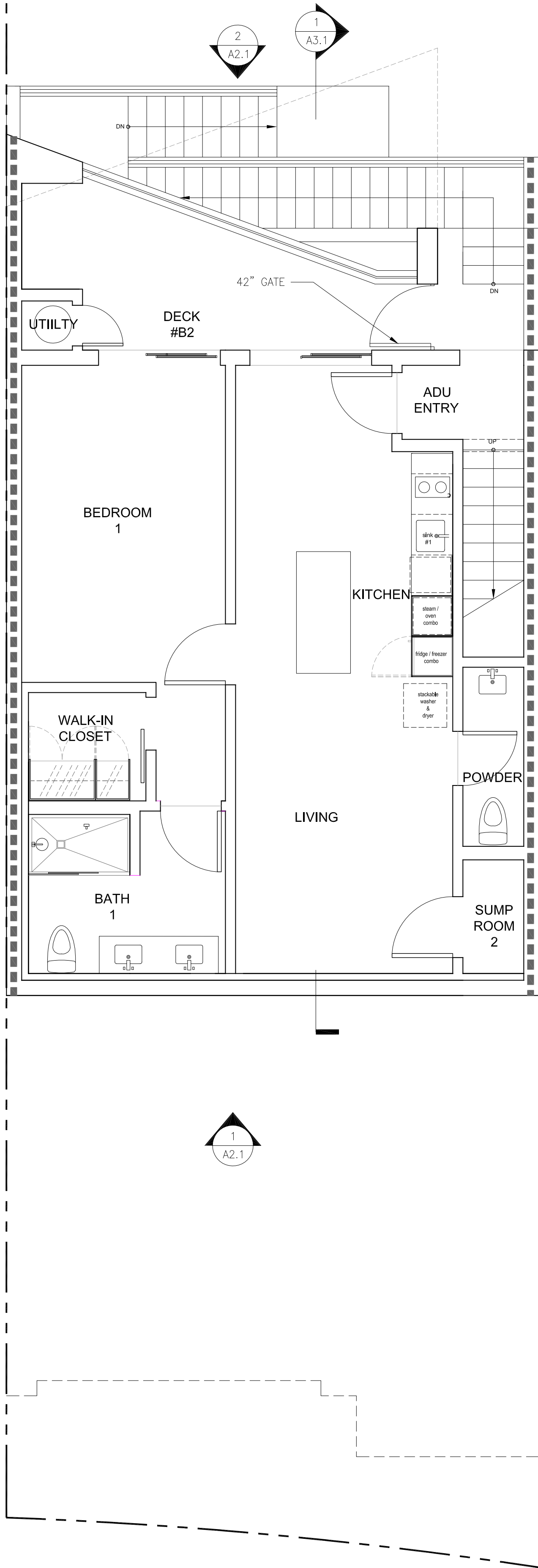


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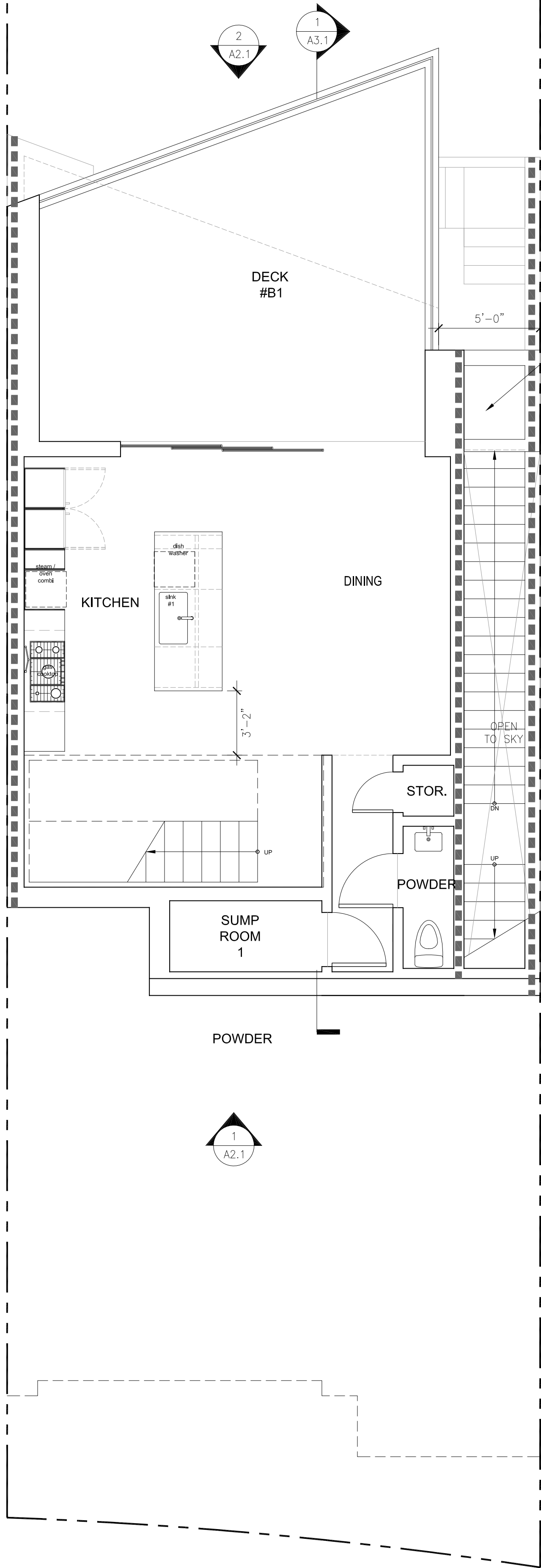
FLOOR PLANS
LOT 2

SHEET

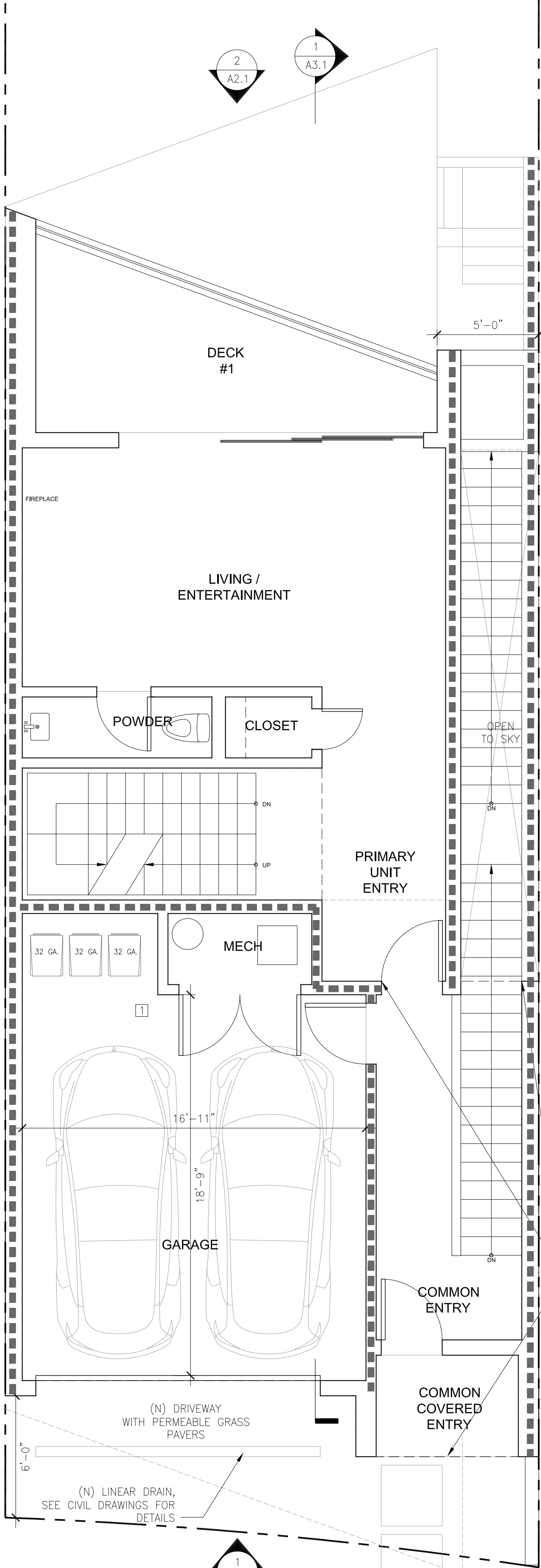
A1.2



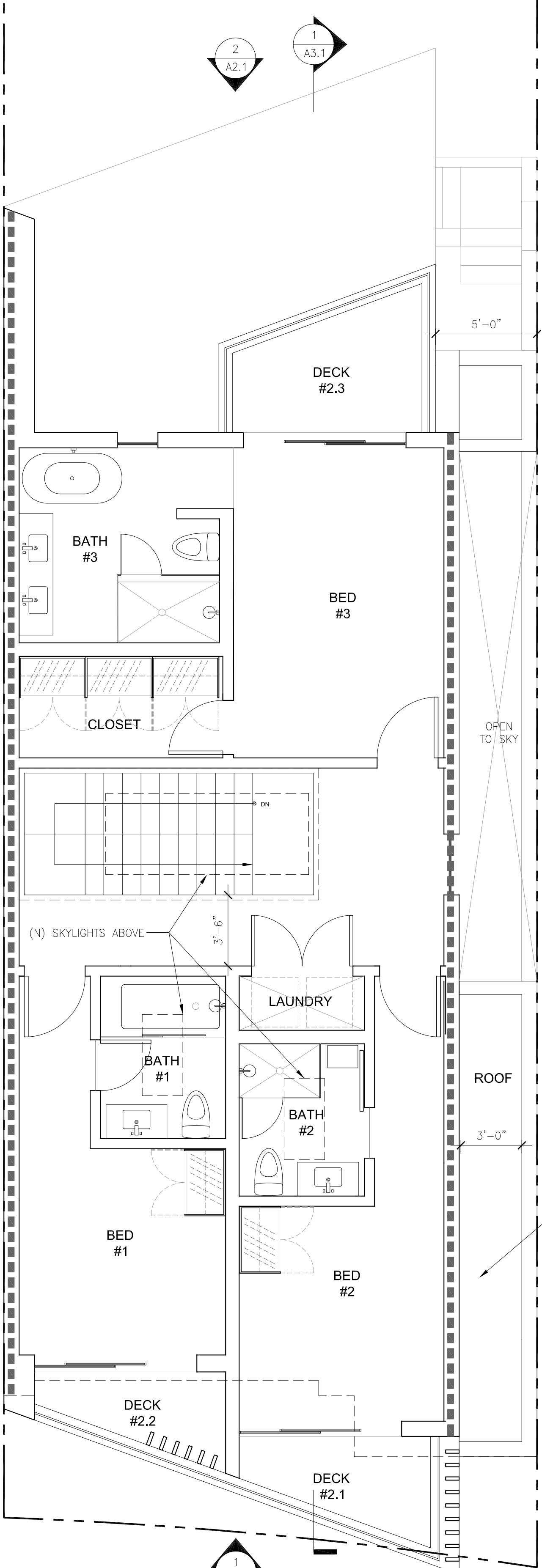
1 BASEMENT 2
SCALE: 1/4" = 1'-0"



2 BASEMENT 1
SCALE: 1/4" = 1'-0"



3 GROUND FLOOR
SCALE: 1/4" = 1'-0"



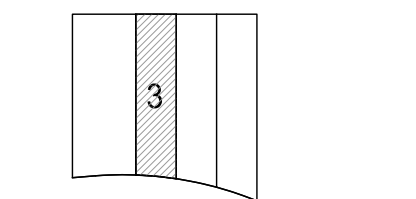
4 SECOND FLOOR
SCALE: 1/4" = 1'-0"



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

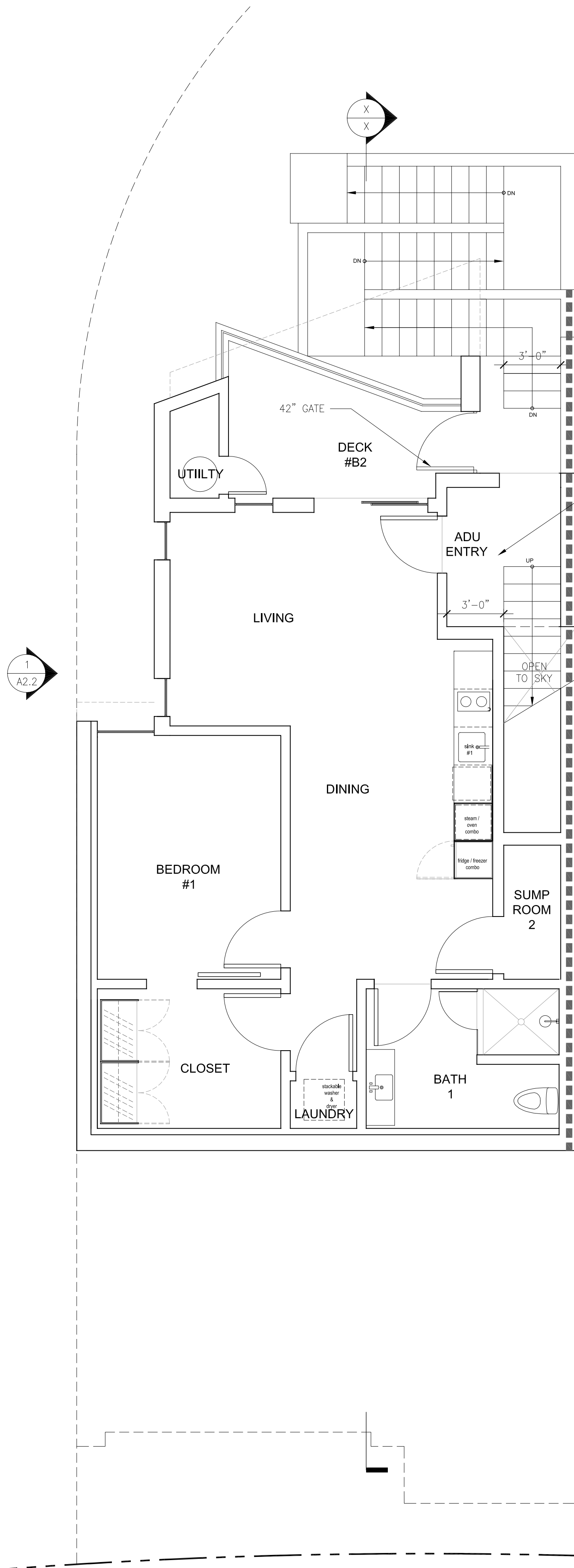
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PROJECT

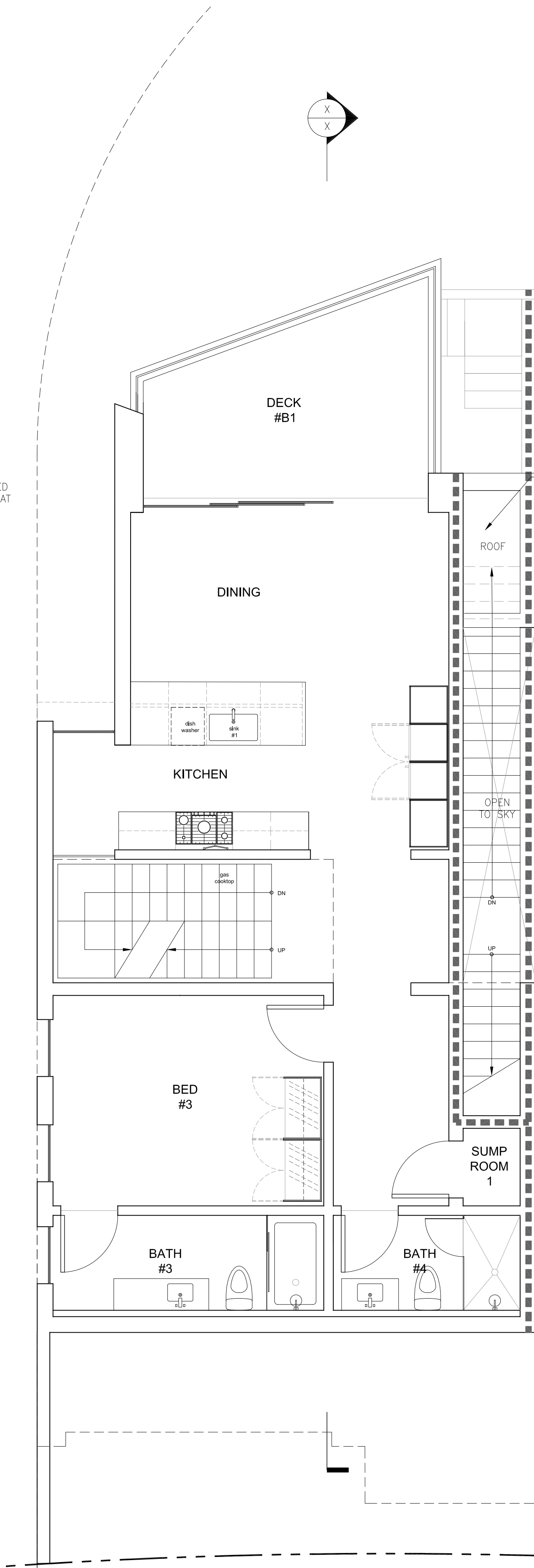


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FLOOR PLANS
LOT 3

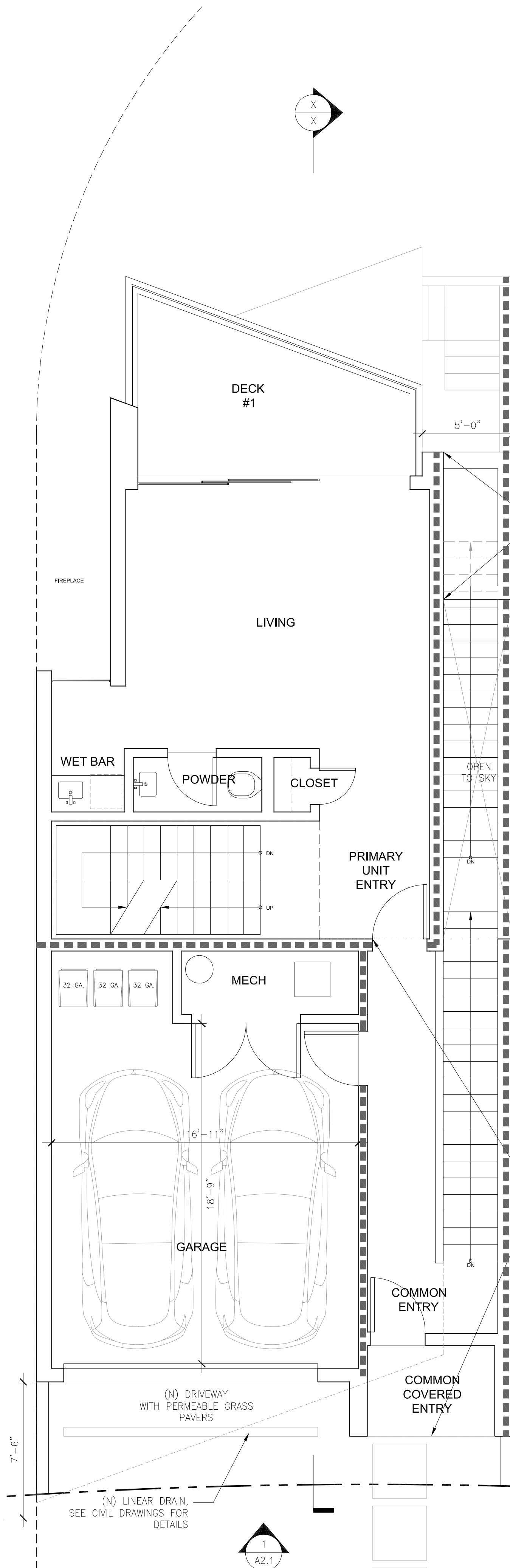
SHEET
A1.3



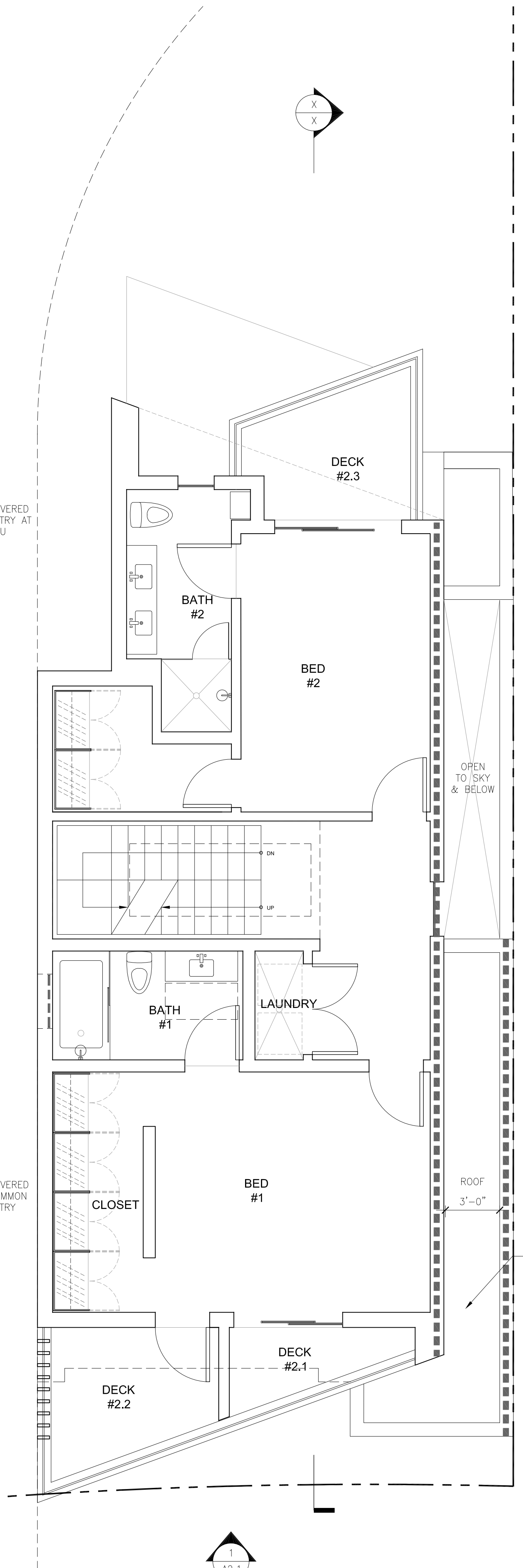
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SCALE: 1/4" = 1'-0"



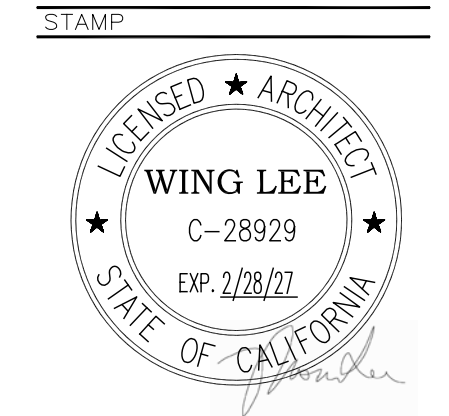
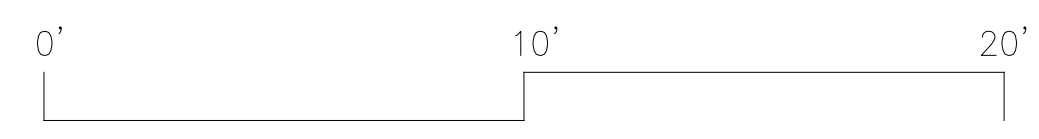
2 BASEMENT 1
SCALE: 1/4" = 1'-0"



3 GROUND FLOOR
SCALE: 1/4" = 1'-0"



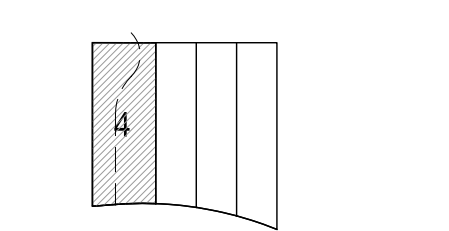
4 SECOND FLOOR
SCALE: 1/4" = 1'-0"



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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PROJECT



DRAWING TITLE

FLOOR PLANS
LOT 4

SHEET

A1.4



BUILDING ENVELOPE

SD-1	COMPOSITE RESIN PANEL / SIDING WITH BLACK FINISH
SD-2	COMPOSITE RESIN PANEL / SIDING WITH WHITE FINISH
SD-3	COMPOSITE RESIN PANEL / SIDING WITH LIGHT BEIGE FINISH
GD-1	EXTRUDED ALUMINIUM RAIL AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-2	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-3	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
VR-1	ALUMINUM FIN WITH PAINTED FINISH TO MATACH ADJACENT PANEL/SIDING FINISH, TYP.
T-1	YELLOW CERAMIC TILE
A-1	PAINTED AND STANDOFF ADDRESS NUMBERS WITH CODE COMPLIANT ILLUMINATION ABOVE
GD-4	DARK ANODIZED ALUMINUM DOOR / WINDOW
R-1	42" TEMPERED GLASS RAIL WITH METAL CAP

LANDSCAPE FEATURES

GP-1	DRIVABLE GRASS PAVER
GP-2	DECOMPOSED GRANITE
TR-1	15-GALLON JAPANESE MAPLE (ACER PALMATUM) - SEE LANDSCAPE PLAN A

ARCHITECT

WING LEE ARCHITECTS

Wing Lee AIA, LEED AP
99 Canyon Drive
San Francisco CA 94124
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www.leeearchitect.com

STAMP



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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PROJECT

DRAWING TITLE

PROPOSED
BUILDING ELEVATIONS

FRONT

SHEET

A2.1



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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11/18/2023

OWNER'S MODIFICATION ON

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11/30/2023

REVISED FINISH FLOOR

ELEVATION

5/30/2024

DESIGN REVIEW APPLICATION

7/18/2024

DESIGN REVIEW APPLICATION

REVISION #1

3/18/2025

DESIGN REVIEW APPLICATION

REVISION #2

11/20/2025

PROJECT

DRAWING TITLE

PROPOSED
BUILDING ELEVATIONS

REAR (NW)

SHEET

A2.2



BUILDING ENVELOPE

SD-1	COMPOSITE RESIN PANEL / SIDING WITH BLACK FINISH
SD-2	COMPOSITE RESIN PANEL / SIDING WITH WHITE FINISH
SD-3	COMPOSITE RESIN PANEL / SIDING WITH LIGHT BEIGE FINISH
GD-1	EXTRUDED ALUMINIUM RAIL AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-2	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
GD-3	EXTRUDED ALUMINIUM RAILS AND STILES DOOR WITH MATCHING FINISH TO ADJACENT PANEL/SIDING FINISH
VR-1	ALUMINUM FIN WITH PAINTED FINISH TO MATACH ADJACENT PANEL/SIDING FINISH, TYP.
T-1	YELLOW CERAMIC TILE
A-1	PAINTED AND STANDOFF ADDRESS NUMBERS WITH CODE COMPLIANT ILLUMINATION ABOVE
GD-4	DARK ANODIZED ALUMINUM DOOR / WINDOW
R-1	42" TEMPERED GLASS RAIL WITH METAL CAP

LANDSCAPE FEATURES

GP-1	DRIVABLE GRASS PAVER
GP-2	DECOMPOSED GRANITE
TR-1	15-GALLON JAPANESE MAPLE (ACER PALMATUM) - SEE LANDSCAPE PLAN A

1

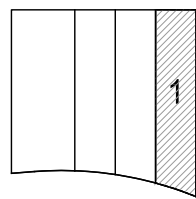
REAR FRONT (MW ELEVATION)

SCALE: 1/4" = 1'-0"



CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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1

PROPOSED SIDE (NE) ELEVATION

SCALE: 1/4" = 1'-0"

COMPOSITE PANEL, TYP.

PROPERTY LINES
AT CORNERS

VERTICAL FIN, TYP.

TEMPERED GLASS RAILING

1
A2.1
GUARD WALL (42" MIN) ALONG SIDE
PROPERTY LINE

BACK OF MIDDLE
SIDEWALK @
605.25'

CROCKER
AVENUE

GROUND FLOOR
0'-0" (604.5')

GARAGE DOOR
-6" (604.0')

BASEMENT B1
-12'-0" (592.5')

BASEMENT B2 (ADU)
-23'-0" (581.5')

LANDING (V.I.F.)
-36'-6" (568.0')

(N) CURB MOUNTED SKYLIGHT, TYP.

COMPOSITE PANEL, TYP.

46'-8 1/2"

COMPOSITE SIDING, TYP.

TEMPERED GLASS RAILING

EXTERIOR WALL WITH 1-HR
FIRE RATING

2
A2.1

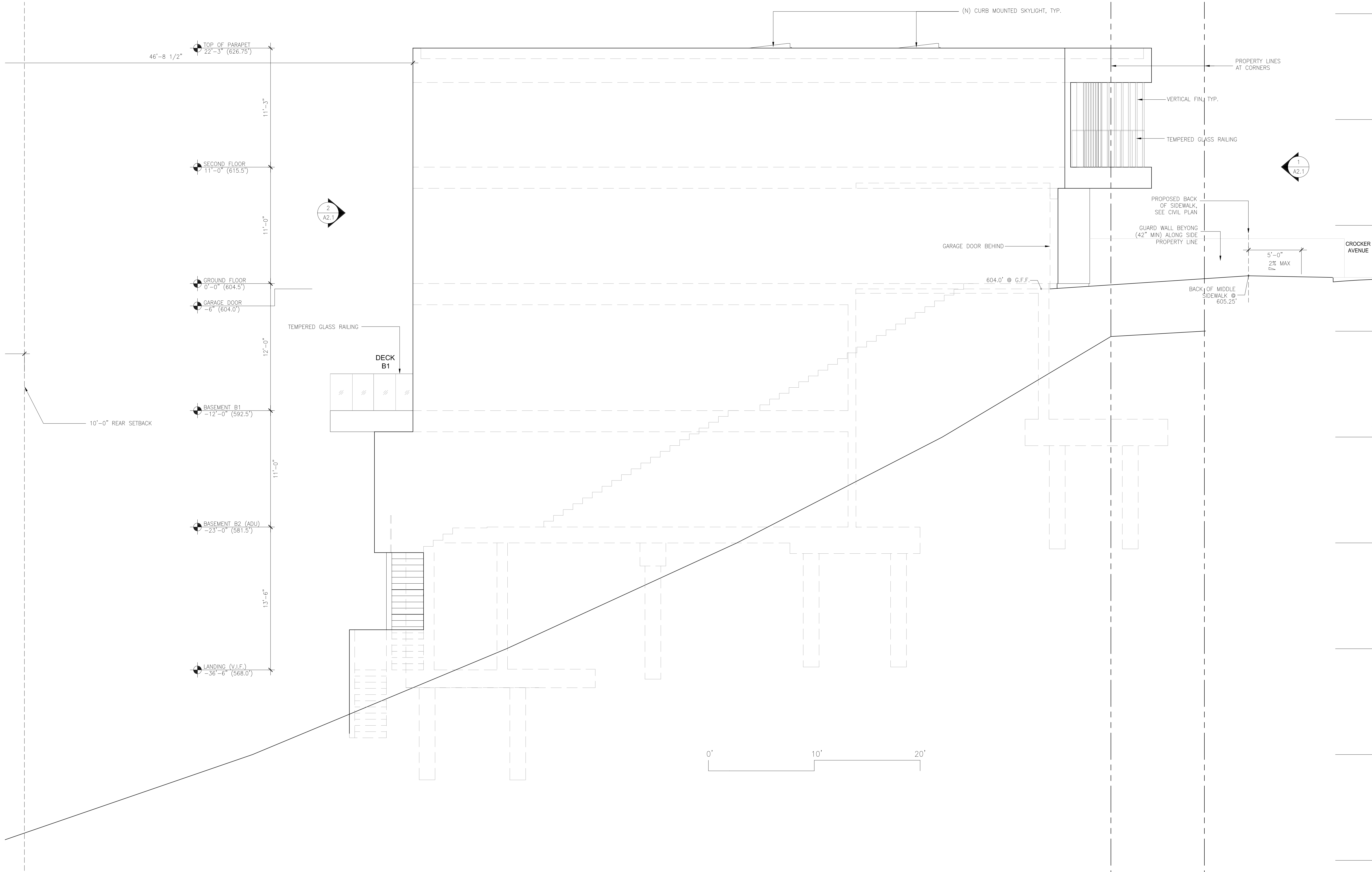
EXTERIOR WALL WITH 1-HR
FIRE RATING

COMMON ENTRY WALL

GARAGE DOOR BEHIND

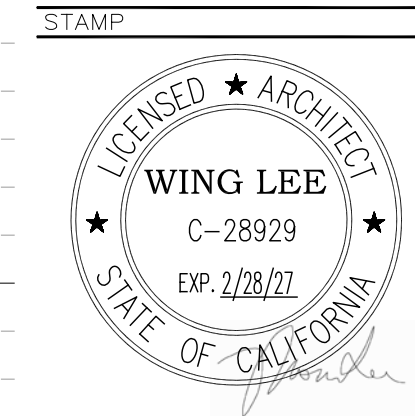
604.0' @ G.F.F.

3'-6"
TYP.



1 PROPOSED SIDE (SW) ELEVATION
SCALE: 1/4" = 1'-0"

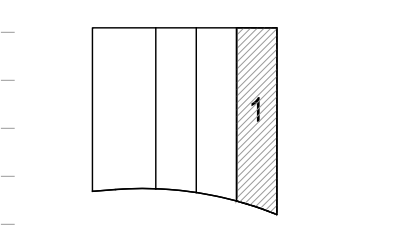
ARCHITECT
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99 Canyon Drive
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CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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PROJECT



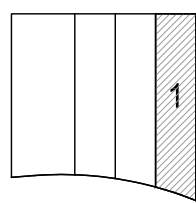
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PROPOSED
BUILDING ELEVATION
SW ELEVATION
SHEET

A2.4



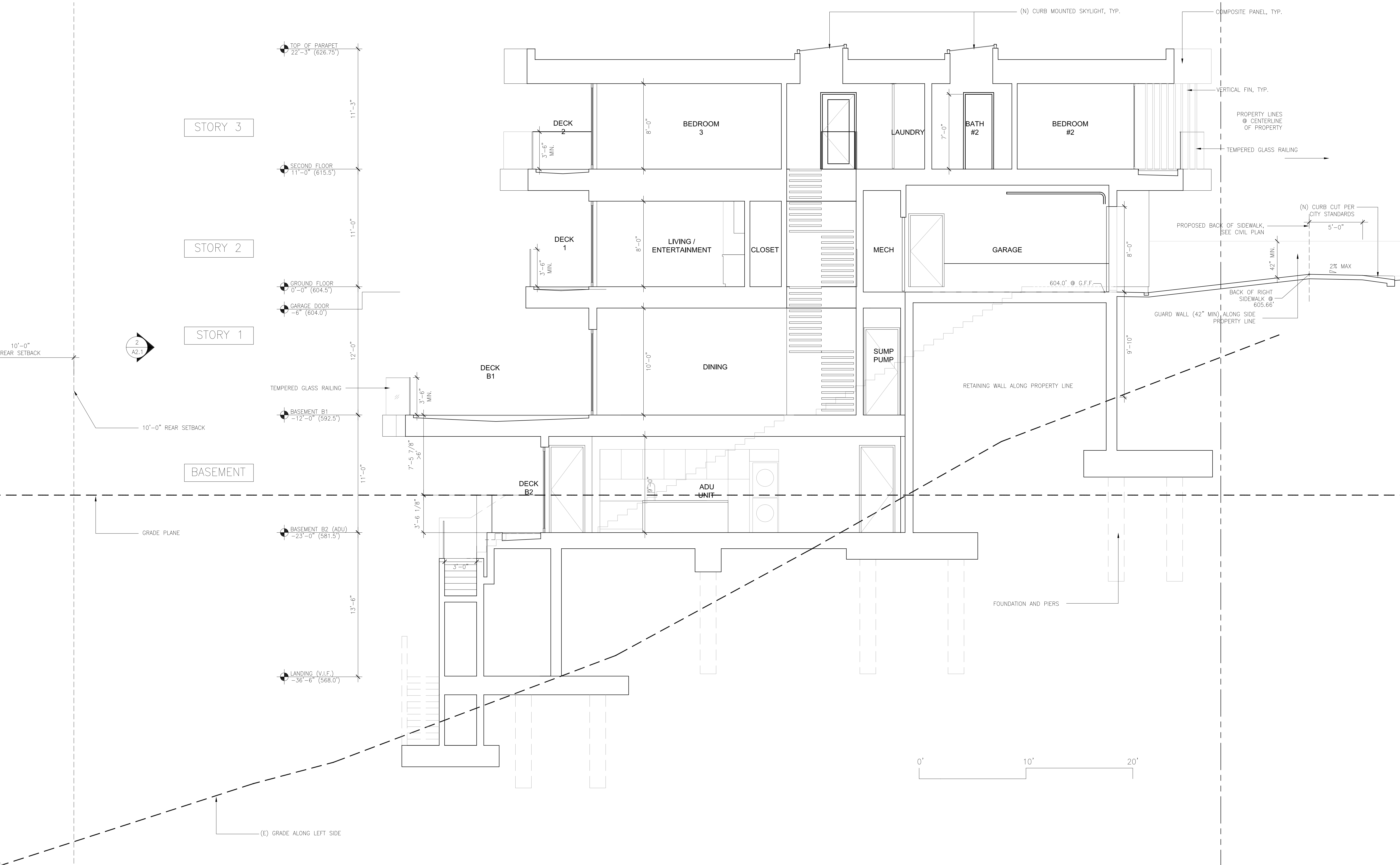
CROCKER AVENUE
4 SINGLE-FAMILY DWELLING +
4 ATTACHED ADU UNITS

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1 PROPOSED LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"





Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

<u>Meeting Date:</u>	February 3, 2026
<u>Application:</u>	Zone Change ZC 04-24-16507
<u>Project Location:</u>	Parcels fronting Mission Street between Crocker Avenue and Templeton Avenue, fronting Geneva Avenue between Talbert Street and Bayshore Boulevard, and fronting Geneva Avenue between Castillo Street and Calgary Street
<u>Project Description:</u>	Creation of Commercial Cannabis Non-Retail (-CCNR) Combining District and Amendments to the Zoning Map Rezoning Parcels to be included in the -CCNR Commercial Cannabis Combining District
<u>Applicant/Owner:</u>	City of Daly City 333 90 th Street Daly City, CA 94015
<u>Environmental Assessment:</u>	Exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15061 – Review for Exemption

Background

In 2016, California voters enacted Proposition 64, intended to create a comprehensive system to legalize, control, and regulate the cultivation, processing, manufacture, distribution, testing, and sale of non-medical cannabis, and to tax the cultivation and retail sale of cannabis for non-medical use. In November 2018, Daly City voters approved a business license tax on all cannabis businesses of up to ten percent of gross receipts in anticipation of the future allowance of cannabis sales. In October 2019, the City Council adopted an ordinance that authorized commercial cannabis activities and established the process for permitting and regulating commercial cannabis activities in Daly City. The ordinance requires that, in addition to a State license, operators of commercial cannabis businesses in Daly City obtain a Commercial Cannabis Business License from the City of Daly City.

The ordinance also required staff to present for adoption to the Planning Commission and City Council an overlay district in which commercial cannabis operations would be allowed to operate. In November 2020, the Council Committee accepted for recommendation to the Planning Commission and City Council a series of maps intended to implement an approximate 600-foot buffer zone around schools and youth centers throughout Daly City. These overlay district maps are based generally on whether the frontage of a property (where the property abuts the public right-of-way) is greater than 600 feet from a public/private school and/or youth center.

In March 2021, the City Council approved Zone Change ZC 01-21-14846, which enacted amendments to the Zoning Ordinance and Zoning Map Establishing -CC Commercial Cannabis Combining District. These amendments to the Zoning Ordinance, which currently exist in the Daly City Municipal Code as Chapter 17.56 – CC-Commercial Cannabis Combining District, allowed cannabis retailers and cannabis delivery businesses in six “eligibility zones,” with one retailer or delivery business in each zone. In July 2023, the City Council approved a seventh eligibility zone that solely included the property at 1618 Sullivan Avenue (see Attachment A – Current Retail Cannabis Eligibility Zones Map).

At the time of the 1618 Sullivan Avenue rezoning approval, Councilmember Daus-Magbual expressed concern that the Council would not need to have to consider additional eligibility zones if there were additional opportunities for cannabis retail sales in Daly City. In September 2023 a Council Committee directed staff to prepare a proposal for rezoning additional sites into the -CC overlay zone for Planning Commission and City Council consideration. Another Council Committee and the Small Business Commission recently reviewed the same proposal.

On September 8, 2025, the City Council considered a proposal to rezone additional sites on Mission Street and Geneva Avenue into the -CC overlay zone. After discussing the proposal, the City Council directed staff to prepare an ordinance allowing only cannabis uses that did not include onsite retail at the additional sites.

Discussion

As initially proposed to the Planning Commission and City Council, the -CC combining district was proposed to apply to approximately 230 properties in 12 distinct eligibility zones (see Attachment B – Initially Proposed Retail Cannabis Eligibility Zones Map). This quantity of eligibility zones and their geographic distribution was agreed to and recommended by a Council Committee, using in most part an approximate 600-foot buffer zone around schools and youth centers throughout Daly City.

At the time of the Planning Commission public hearing to consider the -CC combining district in February 2021, residents expressed concerns about the number of eligibility zones that were proposed and called for a greater buffer around schools. Consequently, the Planning Commission concurred with these concerns and unanimously agreed to recommend that the City Council exclude several geographic areas from the new combining district that would have allowed retail sales along School Street, the East Market/Mission/San Pedro, and Hillside Boulevard, respectively.

At the City Council meeting to consider the -CC combining district in March 2021, additional residents and several community organizations expressed concerns about the number of eligibility zones, especially regarding expanding the -CC combining district to School Street, Mission Street, and Skyline Plaza. After a robust discussion, the Council agreed with the Planning Commission’s above recommendations for exclusions, and that the -CC combining district should not be extended to the Bayshore neighborhood or the Crocker neighborhood along Mission Street.

Since the time of initial adoption however, the City has had the opportunity to evaluate the community impact of retail cannabis with the operation of the Megabud dispensary (temporarily closed) at 190 Skyline Plaza, the Catalyst Dispensary at 1000 King Drive, and Nectar Dispensary at 2468 Junipero Serra Boulevard, and has found such impacts to be negligible. For this reason,

staff recommended in June 2025 that the Planning Commission forward a recommendation to the City Council that it add into the -CC combining district parcels fronting Mission Street between Crocker Avenue and Templeton Avenue, fronting Geneva Avenue between Talbert Street and Bayshore Boulevard, and fronting Geneva Avenue between Castillo Street and Calgary Street (see Attachment C – Proposed Additional Parcels Mission Street and Geneva Avenue).

While the Planning Commission did so and the City Council consequently considered the additions into the -CC combining district, the Council ultimately directed staff to develop a regulatory method of allowing only non-retail cannabis uses on these parcels (off site retail would be permissible). Staff has therefore proposed the creation of a new Commercial Cannabis Non-Retail (-CCNR) Combining District and that the previously considered parcels be rezoned to be included in the new -CCNR Commercial Cannabis Combining District. Allowable uses could include cannabis delivery, developing and manufacturing products where cannabis is a primary ingredient for sale off-site, and similar uses.

Staff feels that including these areas would provide additional cannabis business opportunities in Daly City. The Planning Commission should be aware that the Mission Street and Geneva Avenue parcels would each provide one opportunity zone for these uses (only one in the Bayshore neighborhood).

Environmental Assessment

The proposed rezoning are exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section of 15061 - Review for Exemption. The proposed rezoning do not have the potential to cause significant effects on the environment and it can be seen with certainty that there is no possibility that the regulations would have a significant effect on the environment.

Findings

Staff has found that the proposed Zone Change ZC 04-24-16507 is in accordance with Titles 5 and 17 of the Daly City Municipal Code. Approval of the proposed amendments to the Zoning Ordinance will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in Daly City. The proposed project would not be injurious or detrimental to property and improvements in any neighborhood or result in substantial environmental damage or disturbance. Staff is recommending that the Planning Commission adopt the following findings of fact:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission conducted a public hearing on February 3, 2026; notice of said hearing was by newspaper publication, and posting and first class mailing to property owners within 300 feet of any property proposed for rezoning to the Commercial Cannabis Non-Retail (-CCNR) Combining District, on January 25, 2026;
2. The City Council, upon adoption of Daly City Municipal Code Chapter 5.104 in October 2019, intended to regulate the use, acquisition, cultivation, production, and distribution of commercial cannabis activity in a manner that is consistent with the California Constitution and the Act. The regulations were intended to apply to all commercial cannabis operations in the city by any cannabis business licensed under the state law.

3. In March 2021, the City Council approved Zone Change ZC 01-21-14846, which enacted amendments to the Zoning Ordinance and Zoning Map Establishing -CC Commercial Cannabis Combining District. These amendments to the Zoning Ordinance, which currently exist in the Daly City Municipal Code as Chapter 17.56 - CC-Commercial Cannabis Combining District, allowed cannabis retailers and cannabis delivery businesses in six “eligibility zones,” with one retailer or delivery business in each zone.
4. Since the time of initial adoption, the City evaluated the community impacts of cannabis and has found such impacts to be negligible.
5. The Planning Commission desires to forward a recommendation to the City Council that it create a new Commercial Cannabis Non-Retail (-CCNR) combining district and rezone parcels fronting Mission Street between Crocker Avenue and Templeton Avenue, fronting Geneva Avenue between Talbert Street and Bayshore Boulevard, and fronting Geneva Avenue between Castillo Street and Calgary Street into the new combining district.
6. The Planning Commission feels that rezoning these areas would provide additional cannabis opportunities in Daly City.
7. The proposed rezoning are exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section of 15061 - Review for Exemption

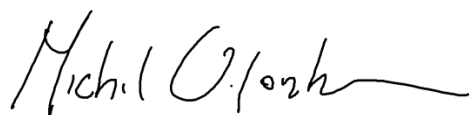
Recommendations

Based on the findings enumerated above, staff recommends that the Planning Commission recommend that the City Council:

1. Adopt the Findings as outlined herein;
2. Find that the proposed rezonings are exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section of 15061 - Review for Exemption; and
3. Recommend to the City Council the approval of Zone Change ZC 04-24-16507, creating a new Commercial Cannabis Non-Retail (-CCNR) combining district and rezoning parcels fronting Mission Street between Crocker Avenue and Templeton Avenue, fronting Geneva Avenue between Talbert Street and Bayshore Boulevard, and fronting Geneva Avenue between Castillo Street and Calgary Street into the new combining district.

Staff is available to provide any additional information desired by the Planning Commissioners.

Respectfully submitted,



Acting Director
Department of Economic and Community Development

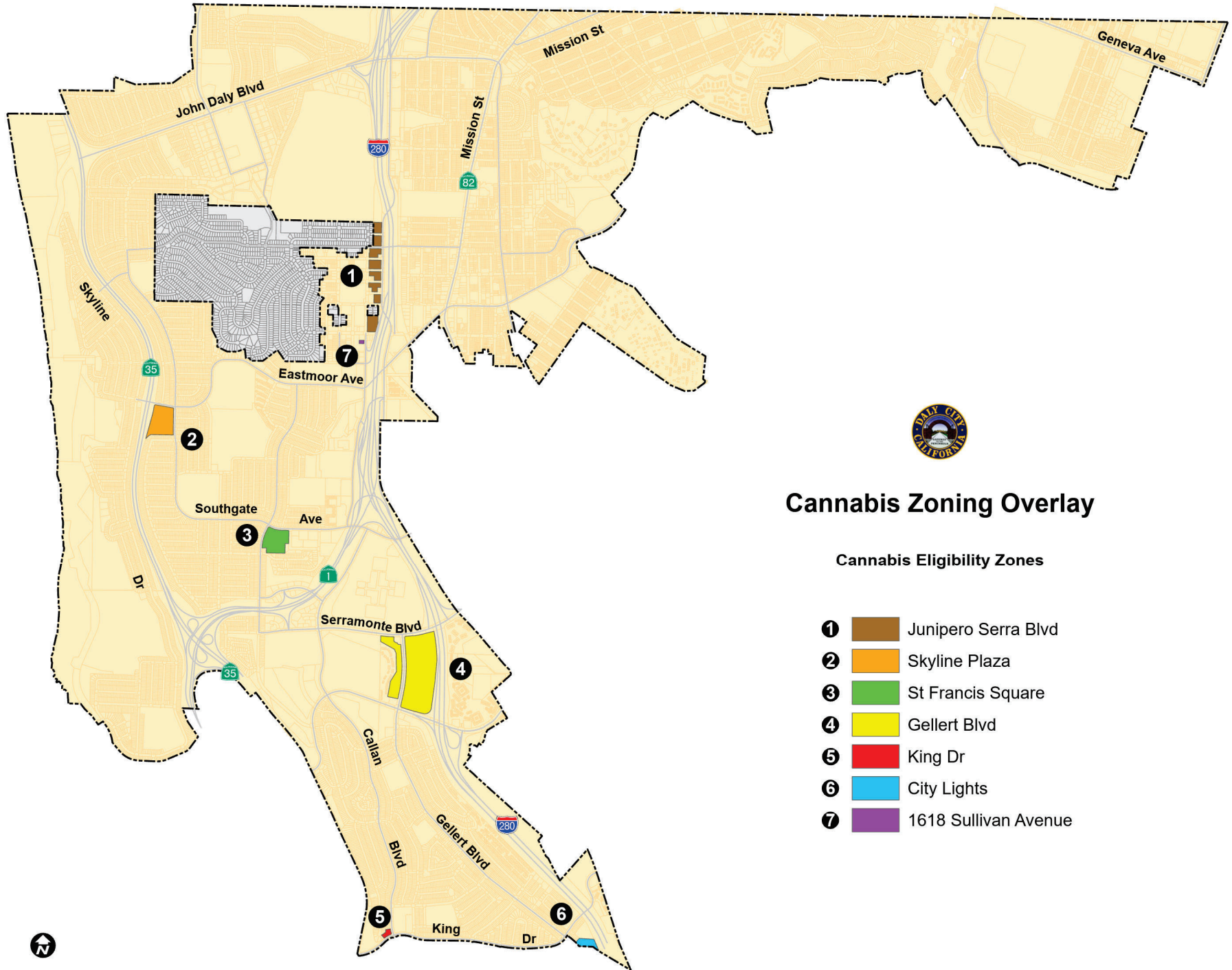
Attachments

Attachment A – Current Retail Cannabis Eligibility Zones Map

Attachment B – Initially Proposed Retail Cannabis Eligibility Zones Map

Attachment C – Proposed CCNR Inclusion Parcels Mission Street and Geneva Avenue

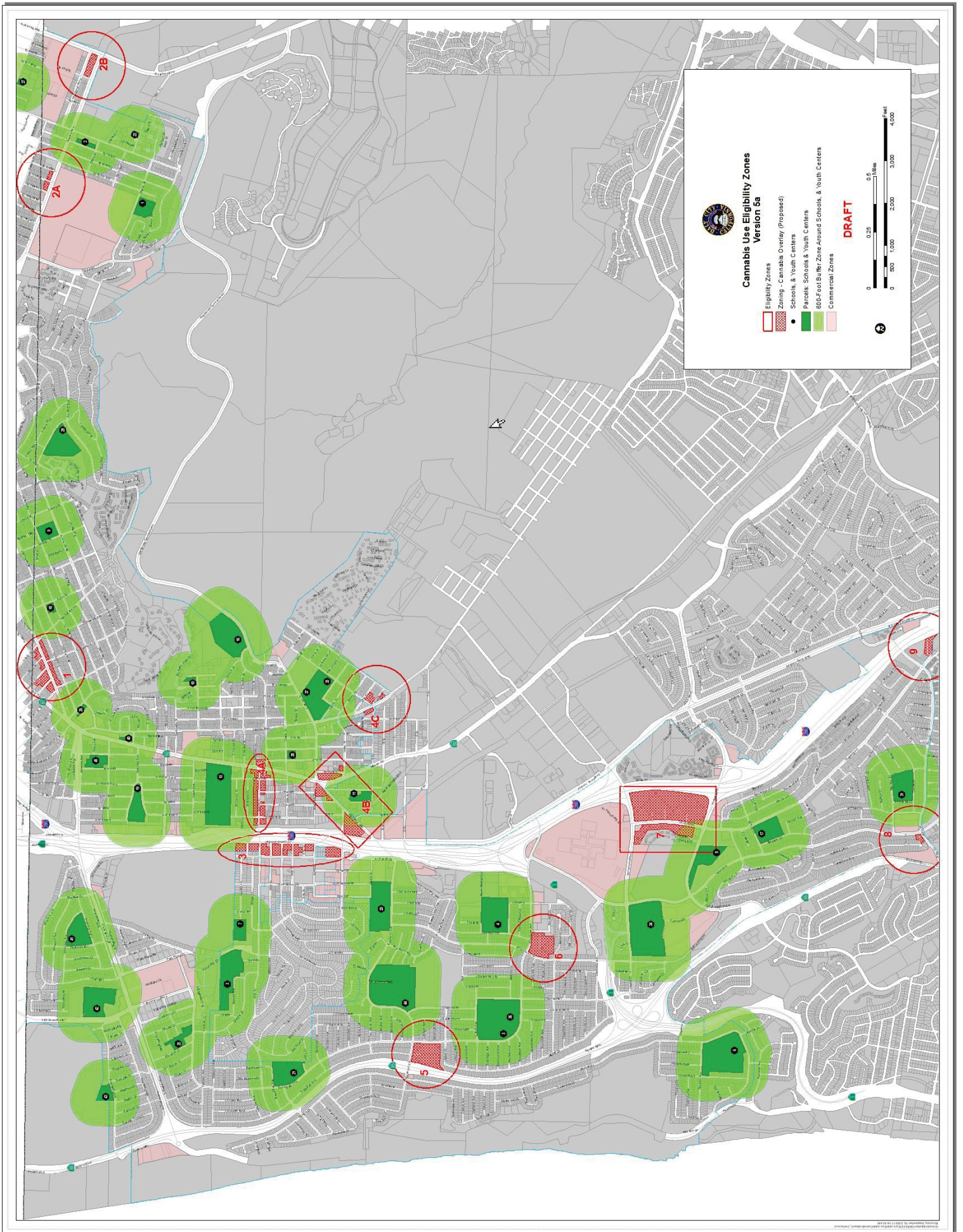
Attachment D – Draft Zoning Ordinance Language for -CCNR Overlay



Cannabis Zoning Overlay

Cannabis Eligibility Zones

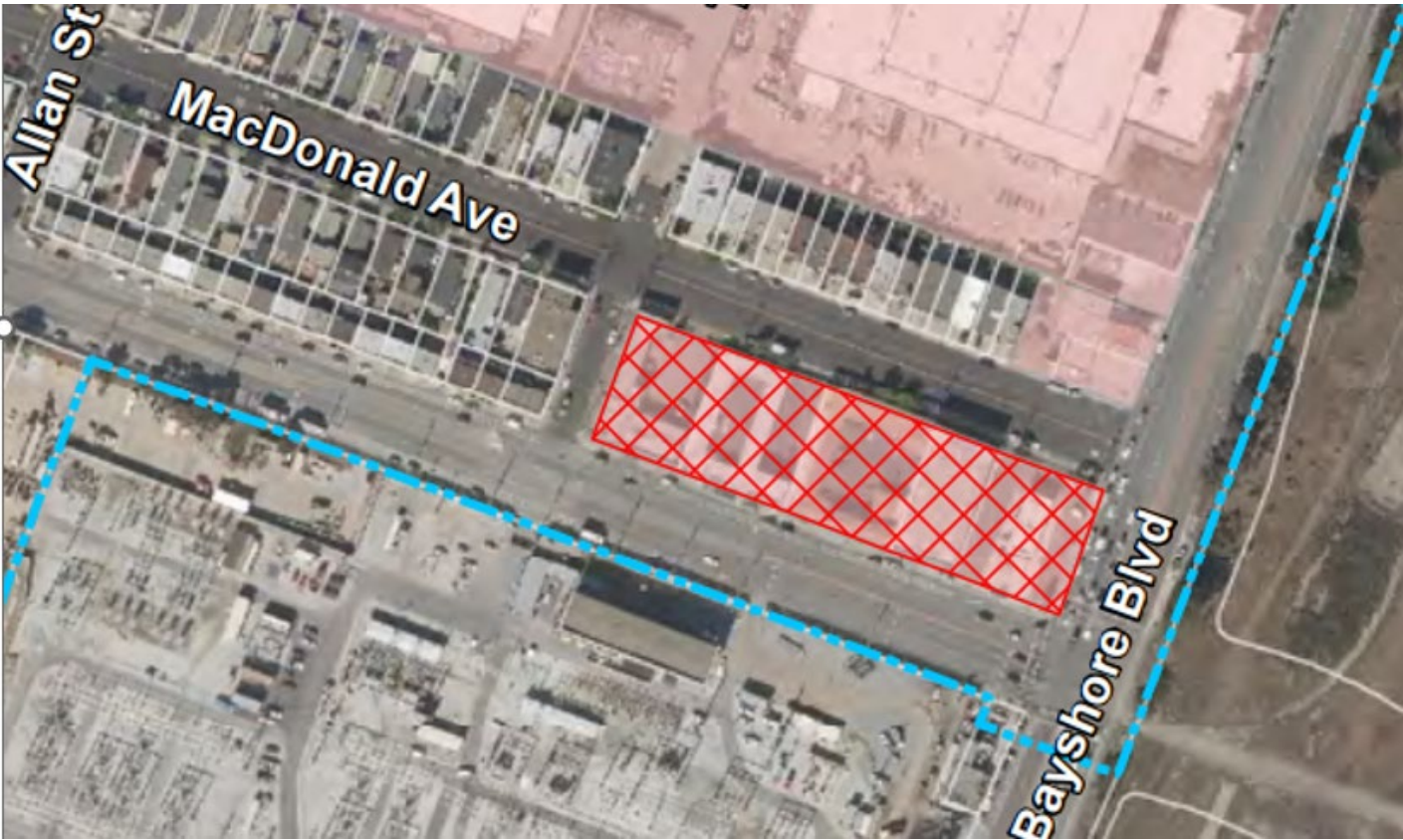
- ① Junipero Serra Blvd
- ② Skyline Plaza
- ③ St Francis Square
- ④ Gellert Blvd
- ⑤ King Dr
- ⑥ City Lights
- ⑦ 1618 Sullivan Avenue



Area A (Mission Street between Crocker Avenue and Templeton Avenue)



AREA B (Geneva Avenue between Talbert Street and Bayshore Boulevard)



AREA C (Geneva Avenue between Castillo Street and Calgary Street)



CITY OF DALY CITY

PLANNING DIVISION

DRAFT COMBINING DISTRICT ZONING LANGUAGE

Chapter 17.XX - -CC-NR COMMERCIAL CANNABIS NON-RETAIL COMBINING DISTRICT

Sections:

17.27.010 - General provisions.

The purpose and intent of this chapter is to provide for the orderly regulation of the commercial cannabis non-retail industry within the City of Daly City with the intent of encouraging economic growth and job creation while protecting the public health, safety and welfare of the residents and patients of the city. All definitions, authority, scope, responsibilities, requirements, standards, conditions, exemptions, procedures, and penalties described within state law are adopted and incorporated, as are any regulations identified in Chapter 5.104, Commercial Cannabis Regulations.

17.27.020 - Lands to be included.

This Chapter and the regulations contained herein apply to the entire city and more specifically lands identified on the Zoning Map in the -CCNR Commercial Cannabis Non-Retail combining district. Excluded from -CCNR Commercial Cannabis combining district is any property that are is in the Coastal Zone, situated on the County line with San Francisco, State-owned, County-owned, or any property that is zoned Commercial Office (C-O), Manufacturing (M), or PD (Planned Development). Also excluded is any property containing an existing or proposed gasoline service station.

17.27.030 – Permitted use.

Following is the permitted use which may be permitted in an -CC combining district:

A. Cannabis non-retailer, as defined in Chapter 5.104, Commercial Cannabis Regulations, and subject to the regulations contained therein.

B. Cannabis delivery, as defined in Chapter 5.104, Commercial Cannabis Regulations, and subject to the regulations contained therein.

17.27.040 - Application requirements.

The application requirements shall be those identified in 5.104.60 Commercial Cannabis Business License – General Provisions.

17.27.050 – Eligibility zones.

The eligibility for any specific property located within the -CCNR Commercial Cannabis combining district shall conform to Chapter 5.104.XX – Eligibility.

17.27.060 - Development regulations.

The development regulation shall be those identified in the underlying zoning designation and any such regulations identified by Chapter 5.104.50 Conditions of Operation.

17.27.070 - Hearing and notice requirements.

No public hearing for the purpose of zoning conformance shall be required prior to the commencement of any use meeting the definition of Cannabis retailer, as defined in Chapter 5.104, Commercial Cannabis Regulations. The use shall be considered non-discretionary and therefore not subject to the requirements of the California Environmental Quality Act (CEQA).