CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING

AGENDA
Tuesday, September 02, 2014 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL:

MINUTES: Approval of Minutes of July 1, 2014 and August 5, 2014

PUBLIC HEARING:

1. **Major Subdivision SUB-5-14-9004 and Design Review DR-5-14-9007** and Environmental Assessment to subdivide nine existing parcels located on either side of 2nd Avenue and 3rd Avenue between Valley Street and A Street for the construction of 50 proposed residential townhomes.

APPLICANT:	Brian Desler
LOCATION:	Various parcels located along 2nd and 3rd Avenues between Valley Street and A Street. Assessor Parcel Numbers: 006-392-050, -060, -070, 080, and 006-393-080, -090, -190, and -200
ENVIRONMENTAL ASSESSMENT:	Negative Declaration adopted July 25, 2011.
PLANNER:	Steve Flint, Contract Senior Planner

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT:

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

Availability of Public Records: All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING

MINUTES
Tuesday, July 1, 2014 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL: PRESENT: Edelman, Kelly, Sylvester
ABSENT: Crump, Lubiano.

PUBLIC HEARING:

1. Major Subdivision SUB-3-14-8806, Design Review DR-3-14-8807 and Environmental Assessment for a proposed residential development consisting of 25 residences.

Staff report presented by: Steve Flint, Contract Senior Planner

On July 1, 2014, the Planning Commission voted 3-0 (Chair Lubiano and Commissioner Crump absent) to recommend that the City Council approve Major Subdivision SUB-1-14-8806 and Design Review DR 1-14-8807 with revised Conditions of Approval. The following issues were raised at the meeting:

- Commissioner Kelly expressed concern regarding the close proximity of the southernmost dwelling units to the Allied Waste equipment yard. The equipment yard generates considerable amount of noise in the early morning when the trash trucks begin their workday. Several windows located on that side of the dwellings would be most exposed. Tom Quaglia, representing Signature Land Advisors (applicant) stated that seven-foot tall pre-cast masonry wall proposed on the south property line and double pane glass in the windows on the second floor would provide adequate sound attenuation. Commissioner Kelly asked if, as a Condition of Approval, a disclosure could be included in the Covenants, Conditions and Restrictions to advise homebuyers of the potential for noise. Kelly Schott, Assistant City Attorney, indicated that a disclosure could be required

as a condition of approval and Mr. Quaglia agreed to add such a disclosure to the CC&Rs.

- Two residents living across from the project site on Annie Street raised concerns regarding potential impacts on street parking and traffic generation. The neighbors advised that the church located to the south on Annie Street creates a great deal of traffic congestion and occupies many of the parking spaces on the street. Mr. Quaglia indicated this development would be displacing an existing commercial operation and its employees who now parking along the street. Beyond that, the project would not be able to control use of other properties in the neighborhood. However, all of the proposed dwelling units would have two-car garages as well as driveway space for two additional cars. Further, the Homeowners' Association would have the authority to enforce parking in garages to discourage on-street parking. Commissioner Kelly asked if such a restriction could be included in the CC&Rs and was advised that it could. Mr. Quaglia agreed to this restriction as well.

Moved by Commissioner Sylvester, seconded by Commissioner Kelly, to close the public hearing. Motion carried 3-0.

Moved by Commissioner Kelly, seconded by Commissioner Edelman, to adopt the findings as amended in the staff report of July 1, 2014. Motion carried 3-0.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to affirm the Environmental Assessment. Motion carried 3-0.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to recommend City Council approval of SUB-314-8806 and DR-3-14-8807, subject to the findings and modified conditions outlined in the staff report of July 1, 2014. Motion carried 3-0.

2. Presentation of Administrative Draft Housing Element

Presentation by: Michael Van Lonkhuysen, Interim Planning Manager

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT: The Chair adjourned the meeting at 7:30 p.m.

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CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING

MINUTES
Tuesday, August 5, 2014 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL: PRESENT: Crump, Edelman, Kelly, Lubiano, Sylvester
ABSENT:

PUBLIC HEARING:

1. Use Permit UPR-6-14-9253 and Environmental Assessment to allow automotive repair.

Staff report presented by: Adam Petersen, Contract Associate Planner

On August 5, 2014, the Planning Commission voted 5-0 to recommend that the City Council approve Use Permit UPR-6-14-9253. The Commission discussed the site landscaping conditions of approval and was supportive of them. Further, the applicant expressed their consent to these conditions. The Commission articulated their desire to prohibit left turns from the project site onto School Street, and to change site signage stating "private property" to "customer parking only." The applicant was also amenable to these additional conditions. Lastly, the Commission and applicant discussed concerns related to vehicle waiting. The Commission and applicant agreed that the number of vehicles awaiting repairs onsite shall not exceed the available parking, including those used by employees. Overall, the Commission was supportive of the project and hoped to see the business flourish.

Moved by Commissioner Kelly, seconded by Commissioner Crump, to close the public hearing. Motion carried 5-0.

Moved by Commissioner Edelman, seconded by Commissioner Crump, to adopt the findings as amended in the staff report of August 5, 2014. Motion carried 5-0.

Moved by Commissioner Edelman, seconded by Commissioner Sylvester, to affirm the Environmental Assessment. Motion carried 5-0.

Moved by Commissioner Crump, seconded by Commissioner Kelly, to recommend City Council approval of UPR-6-14-9253, subject to the findings and modified conditions outlined in the staff report of August 5, 2014. Motion carried 5-0.

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT: The Chair adjourned the meeting at 7:29 p.m.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

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Daly City Planning Commission
Agenda Report

333 - 90th Street ◆Daly City ◆ California ◆ 94015 ◆ 650-991-8033

Meeting Date:	September 2, 2014
Application:	Major Subdivision SUB-5-14-9004 and Design Review DR-5-14-9007
Project Planner:	Steve Flint, Contract Senior Planner
Project Location:	Various parcels located along Second and Third Avenues between Valley Street and A Street (APNs 006-392-050, 060,-070, -080; and 006-393-080, -090, -190 & -200)
Project Description:	Subdivision of nine existing parcels into 50 developable lots with four common lots, and the development of 50 residential townhomes.
Applicant:	Brian Desler 2790 Junipero Serra Boulevard Daly City, CA 94015
Property Owner:	Jennifer Callan Desler, Trustee, Lagomarsino Trusts 2790 Junipero Serra Boulevard Daly City, CA 94015
Environmental Assessment:	Negative Declaration adopted July 25, 2011, in accordance with Article 6, Guidelines for California Environmental Quality Act (CEQA)
Applicable Daly City Municipal Code Sections:	Title 16 Subdivisions Chapter 17.28 P-D Planned Development District Chapter 17.45 Design Review Chapter 17.47 Inclusionary Housing

Background

The applicant, Brian Desler, has submitted an application to subdivide nine existing parcels into 50 townhouse lots and four common lots for parking, circulation, and landscaping, and to receive design review approval for the townhouses and site improvements. The 1.77-acre project site is located south of Valley Street on both east and west sides of 2nd Avenue, and on the west side of 3rd Avenue, north of A Street (see Attachment A – Location Map).

In 2011, the City Council approved a General Plan Amendment and Planned Development (PD-67) zoning to allow a 50-townhouse subdivision on the subject property. Because, at the time of this approval the property was not within incorporated Daly City, the PD zoning constituted pre-zoning for the property, until such a time as the property was annexed to Daly City. Annexation of the property through the San Mateo County Local Agency Formation Commission (LAFCo) was completed in 2012, allowing the development to proceed to the subdivision and design review entitlement phase, for which the applicant is now seeking approval.

Discussion

The proposed project is substantially consistent with the conceptual site plan and Conditions of Approval incorporated into PD-67. As identified in the project site plan, the project consists of 50 townhouses, including 26 two-bedroom and 24 three-bedroom units (see Attachment B – Tentative Map and Project Plans). The average overall building height of the development is approximately 36 feet, in accordance with the height provisions of PD-67. Each unit consists of one level of parking, two levels of living area, and a partial fourth floor, consisting of a loft and private roof terrace. Parking is provided on a one space per bedroom basis, as required by the parking standards specified in PD-67.

Twenty-two units take access from two private driveways (11 units each) to Second Avenue on the west side of the street and twelve units take access from two private driveways (6 units each) to Second Avenue on the east side of the street. The remaining sixteen units take access from one private driveway to Third Avenue on the west side of the street.

General Plan and Zoning Conformity

As a result of the approved General Plan Amendment, the General Plan now designates this property as Residential – Medium Density (R-MD), allowing between 20.1-35 dwelling units per acre (du/ac). The development standards established by PD-67 allow 28.2 du/ac. The applicant has proposed 50 units on a 1.77-acre site, resulting in a proposed project density of 28.2 du/ac, which is consistent with both the General Plan and zoning.

In addition to compliance with the General Plan density allowance, the proposed development would serve to implement the General Plan Housing Element, which encourages the development of infill housing on sites that are underutilized, where residential development represents the highest and best use, and where public infrastructure exists to support the intensity of the proposed development. The Housing Element identifies this site in particular as being

capable of providing housing opportunities that contribute to the City's fulfillment of its Regional Housing Need Allocation.

Planned Development zoning allows the developer flexibility in establishing unique development standards for the project and is allowable since the site is more than one acre in size. The development regulations established by PD-67 constitute the zoning regulations for the property, which, in addition to maximum density, include allowable uses, lot coverage, required parking and open space requirements. Staff has reviewed the proposal using these development regulations and has found the project to be consistent with these regulations.

Architectural and Site Design

Thirty nine percent of the project site is dedicated to common open space, with substantial landscaping in bio-swales and common access ways. Additional area is provided in open air decks and garages, where one garage space has been provided for each bedroom in the subdivision, for a total of 124 off-street covered parking spaces. Garage parking is arranged in side-by-side and tandem configurations. As was approved as part of PD-67, the overall dimensions of the garage spaces are slightly smaller than what the Zoning Ordinance normally requires, but sufficient to accommodate most automobiles.

The proposed townhouses consist of three different floor plans, two of which offer alternative layouts with two- and three-bedrooms that range from 1,334 to 1,884 square feet (living area). Architecturally, the townhouses display a contemporary architectural design that incorporates fiber cement siding that alternates between dutch lap, and board and batten styles. All buildings have flat roofs below parapet walls, with front, side and rear facades articulated by shed roof elements over second-floor windows, and finished with composite shingles and reddish-brown concrete roofing tiles. Color schemes combine medium earth tones on fiber concrete exteriors with light tones on trim, fascia, and front doors, and darker earth tones on garage doors that are compatible with exterior colors.

While staff is generally supportive of the proposed architecture and community design, several Conditions of Approval are recommended to enhance the overall appearance of the subdivision, including the following:

1. Enhanced front- and garage-door designs that complement each other and the architecture of particular unit. Both are subject to a 24-inch recess from front plane;

2. Hung windows shall meet all applicable egress requirements;

3. All exterior trim must be 2x dimension or equivalent (e.g., Harditrim adjacent to siding material). All windows at all elevations shall receive trim;

4. Corner trim is required adjacent to any siding material, which must be 2x or equivalent and must be painted to match the trim color;

5. All roofing composed of composite shingle shall have a minimum 40-year life span, with variations of roof color to complement the exterior paint color; and

6. The project driveways shall receive stamped asphalt in a color and pattern that is complimentary to the project architecture and as approved by the Planning Division.

In addition to the above requirements, the Planned Development regulations state that "All visible elevations shall be provided with architectural treatment of the same quality and character as the building elevations that face Second and Third Avenues." The north elevation of Building 11 (Type A-Alt.) as proposed shows no such architectural treatment. Staff is therefore recommending a Condition of Approval requiring compliance with this provision.

Project Affordability

The applicant has submitted an affordable housing plan in accordance with the City's Inclusionary Housing Ordinance, which requires 20 percent of all units to be affordable (see Attachment C – Affordable Housing Plan). The Ordinance also allows the payment of a fee in lieu of providing the total amount of affordable units. Based on the 20 percent requirement, a total of ten affordable units would be required (50 d.u. x 0.20). In compliance with the provisions of the Ordinance, the developer has proposed paying an in-lieu fee of $18.00 per square feet of floor area of half of the affordable dwellings units required (five units) and interspersing the other five affordable units within the project area. The developer will sell all but five of the units at market rate prices and pay a total in-lieu fee of $680,490. The final affordable housing fee due to the City will be based on the actual square footage of floor area determined and paid at the time building permits are issued. Staff has determined that the affordable housing plan meets the intent of the Ordinance; however, it is at the City Manager's discretion to approve, conditionally approve, or deny the affordable housing plan. If approved, the applicant will enter into an affordable housing agreement with the City.

Subdivision Requirements

The project proposes creating 50 residential lots for development with four common lots. Pursuant to Section 66474 of the Subdivision Map Act, a legislative body of a city or county may approve a subdivision map if it makes the following findings:

1. The proposed subdivision and/or design or improvement must be consistent with applicable general and specific plans.

   - The site is designated as Medium Density Residential, which allows for a density range of 20.1 to 35 dwelling units per net acre. The proposed project will result in a density of 28.2 dwelling units per acre. The density and intensity of the project is consistent with other similar projects in the surrounding vicinity.

2. The site must be physically suitable for the type and density of the proposed subdivision.

   - The subject site is situated on the east and west sides of 2nd Avenue and on the west side of 3rd Street, south of Valley Street, which is characterized by a mixture of single-

family residences and agricultural uses in the near vicinity. Given the size and shape of the subject property, together with adjacent land uses, a medium-density residential development consisting of 50 single-family detached homes is the highest and best use of the subject property.

3. The design of the proposed subdivision or improvements must not cause substantial environmental damage or injure fish or wildlife or their habitat.

- Staff has the determined that the proposed subdivision will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area. A Negative Declaration was prepared in accordance with CEQA requirements and adopted prior to the approval of the Pre-Zoning and Annexation, Rezoning, General Plan Amendment, and Planned Development, with which the proposed subdivision is consistent.

4. The design of the proposed subdivision must not cause serious public health problems.

- The proposed project consists of 50 single family residences with three-story elements, which will be subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk.

5. The design of the proposed subdivision or improvements must not conflict with any easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

- Access to the proposed new lots and utilities for the lots are available from existing adjacent roads. No structures of any kind will be built over the property lines. Where necessary, permits for utility connections for the newly created lots will be obtained in Daly City.

Utility Providers

The subject property is located within a fully urbanized area with all public services likely capable of serving the new lots. As a Condition of Approval, the City has required that the applicant develop water and sewer studies to identify where upgrades to existing utilities may be required.
Therefore, utilities to serve the project are either in place or will be in place prior to construction. Any upgrades in the system deemed necessary will be the applicant's responsibility and a Condition of Approval has been added to require this analysis.

It is the policy of the City to require that utilities be placed underground in conjunction with new development. Existing above-ground utilities located on 2nd and 3rd Avenues, will be required to be installed underground as a Condition of Approval.

Utility	***Provider***
Water, Sanitary Sewers, Storm Drains	City of Daly City
Gas & Electric	PG&E
Telephone	AT&T

Cable Television	Astound! Cable Services
Fire/Police Protection	North County Fire Authority/City Daly City

Fiscal Analysis & Impacts

The proposed project requires entitlement for a Major Subdivision that divides nine existing parcels into 50 residential lots and four common areas, and Design Review for the construction of 50 single-family residences, which will add an incremental demand for City services. Prior to project completion, the project applicant will be required to pay park in-lieu fees as required by Parkland Dedications Ordinance, building permit, plan check, and AB 1600 fees to the City. Upon sale of the residential properties, the future owners will pay property tax to the County, a portion of which will be distributed to the City.

Environmental Assessment

As part of the Precise Plan, the City Council determined that the project will not have a significant impact on the environment and adopted a Negative Declaration for it in compliance with the California Environmental Quality Act. No further environmental review is therefore required.

Findings

Staff finds that, with the adoption of recommended conditions of approval, the Major Subdivision SUB-5-14-9004 and Design Review DR 5-14-9007 will comply with all applicable provisions of Planned Development PD-67, and Title 16 (Subdivisions), and Title 17 (Zoning) of the Daly City Municipal Code. Approval of the proposed project will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the City. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission will conduct a public hearing on September 2, 2014; notice of said hearing was published in a newspaper of general circulation on August 15, 2014, and by posting and first-class mailing to property owners within 300 feet.

2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA), and the City Council determined that the project will not have a significant impact on the environment and adopted a Negative Declaration.

3. The proposed subdivision design and improvement is consistent with applicable general and specific plans. The site is designated Medium Density in the City's General Plan, which permits a maximum of 35 dwelling units per net acre. The proposed project will result in a density of 28.2 dwelling units per acre. The density and intensity of the project is consistent with other similar projects in the surrounding vicinity.

4. The site is physically suitable for the type and density of the proposed subdivision. The subject site is situated south of Valley Street, on the east and west sides of 2nd Avenue and on the west side of 3rd Avenue. The area is characterized by a mixture of single-family residential and agricultural uses in the near vicinity. Given the size and shape of the subject property, together with adjacent land uses, a medium-density residential development consisting of 50 single family residences represents the highest and best use of the subject property.

5. The design of the proposed subdivision and improvements will not cause substantial environmental damage or injure fish or wildlife or their habitat. The proposed project would be constructed in a fully urbanized area on a previously disturbed property that contains no protected or unprotected habitat as determined by CEQA.

6. The design of the proposed subdivision will not cause serious public health problems. The proposed project consists of the subdivision of four exiting parcels into 50 lots and Design Review for the construction of 50 new single family residences, which are subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk.

7. The design of the proposed subdivision or improvements will not conflict with any easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. There are no known easements with which the proposed subdivision or subsequent construction would conflict. The project would occur exclusive of the public right-of-way and no new easements for the public at large, or encroachments are known to be required at this time.

Conditions of Approval

Staff recommends the Planning Commission forward a recommendation of approval to the City Council for Major Subdivision SUB-5-14-9004 and Design Review DR-5-14-9007, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT

General

1. The applicant shall file a Declaration of Acceptance of the conditions of approval with the City Clerk within thirty (30) days of City Council approval. Until said declaration is filed, the General Plan Amendment and Planned Development shall not be valid for any purpose.

2. The project shall be valid only in conjunction with detailed plans submitted with this project. Any modifications required, due to the Conditions of Approval, and minor changes to the plan, must be reviewed and approved by the Planning and Engineering Divisions prior to the change. Major changes to the Tentative Map shall be subject to review by the Planning Commission and City Council.

3. The tentative subdivision map approval granted herein shall be valid for a period of two years. If a final map has not been approved within this timeframe, the applicant may apply for a time extension.

4. All existing buildings on the site shall be demolished and removed prior to recordation of the Final Map.

5. The design review approval granted herein shall be valid for a period of one year. If building permits have not been issued within this timeframe, the applicant may apply for a time extension.

6. The project shall conform to the Planned Development Standards of Planned Development Zone PD-67 and all applicable City of Daly City General Conditions of Approval.

7. The applicant will be required to pay park-in-lieu fees, in compliance with DCMC Chapter 16.30 Parkland Dedications. Per DCMC Section 16.30.040.A, the required dedication in this specific case is 0.281 acres. Per DCMC Section 16.30.060, the in-lieu fee shall be based upon said dedication requirement. Per DCMC Section 16.30.090, in-lieu fees are required to be paid to the City of Daly City, prior to approval of the Final Map. The project is subject to full compliance with DCMC Chapter 16.30 Parkland Dedications.

8. The applicant and his or her successors shall fully comply with the provisions of the Chapter 17.47 – Affordable Housing, including in the follows ways:

   a) The applicant shall implement the provisions of the Affordable Housing Plan attached to this staff report, which shall be incorporated by reference to these Conditions of Approval, including the payment of any fees stipulated therein;

   b) The applicant shall submit a Draft Affordable Housing Agreement to the Planning Division at the time of building permit submittal;

   c) The applicant shall have secured final approval of the Affordable Housing Agreement from the City and shall have recorded the Agreement prior to Building Permit issuance for any residential structure associated with the project; and

   d) Should the Affordable Housing Agreement stipulate the payment of any Affordable Housing Impact Fee, such fee shall be paid prior to Building Permit issuance for any residential structure associated with the project.

   The applicant is hereby provided notice in compliance with the California Government Code Section 66020(d)(1) that the 90-day approval period in which the applicant may protest the imposition of the Affordable Housing Impact Fees has begun..

Architectural Design

8. The applicant shall provide greater architectural variation on the north-facing side of the building on Lot 39. The architectural treatment shall be submitted for approval by the Planning Division prior to building permit submittal.

9. The applicant shall modify the architectural elevation to provide enhanced front door and garage door designs. Both front and garage doors are subject to a 24-inch recess from front plane.

10. All exterior trim must be 2x dimension or equivalent (e.g., Harditrim adjacent to siding material) unless identified as a larger dimension on the approval architectural plans. All windows at all elevations shall receive trim.

11. Corner trim is required adjacent to any siding material, which must be 2x or equivalent and must be painted to match the trim color.

12. All roofing composed of composite shingle shall have a minimum 40-year life span, with variations of roof color to complement the exterior paint color.

13. All hung windows identified in the approved elevations shall be identified in construction drawings as such adequately sized for egress.

Site Design

14. Prior to building permit submittal and prior to the stormwater management plan submittal to the City-appointed third-party reviewer, the applicant shall identify a plan for trash and recycling storage exclusive of the required parking dimension within the garage area of individual units. The plan shall be approved by the Planning Division and City's waste hauler. Should the plan include common-use dumpsters, such dumpsters shall be stored within a covered trash enclosure constructed from concrete and treated with architectural treatment complimentary to that of the subdivision.

15. The applicant shall provide a detail for all walls and fencing that is to be erected on the project site. Wood fencing that will be visible from off-site locations shall incorporate a high-quality aesthetic, incorporating six-by-six nominal heavy-timber and overlapping fence panels, and be stained dark brown. Chain link is not a permissible permanent fencing material for the project. The material of retaining walls visible from the public right-of-way shall be approved by the Planning Division prior to installation.

16. The project driveways shall receive stamped asphalt in a color and pattern that is complimentary to the project architecture and as approved by the Planning Division.

17. The style, color, and material of all pre-cast planters to be installed on-site shall be approved by the Planning Division.

18. The style, color, and material of all walkways within the project site shall be approved by the Planning Division. Any concrete material shall be tinted to color that is complimentary to the project architecture and as approved by the Planning Division.

19. The style, color, and material of all pre-cast planters to be installed on-site shall be approved by the Planning Division.

20. The design of the arbor and any adjacent amenities identified for construction at the project open space shall be approved by the Planning Division.

Homeowners Association

21. The applicant shall establish a Homeowners' Association (HOA) for the purpose of landscape maintenance within any easement areas created, any retaining walls required to be built as part of new development, permanently installed stormwater treatment systems, and any infrastructure related to the respective systems. The HOA membership shall consist of all residential lot owners. The HOA shall be professionally managed and the HOA bylaws and initial annual operating budget shall be reviewed and approved by the Planning Division/City Attorney's Office prior to submittal to the California Department of Real Estate.

22. Prior to the recordation of a Final Map, the developer shall submit a maintenance plan, which clearly specifies methods and standards for performance of common responsibilities and maintenance for all common areas and equipment and fees to be assessed for such purposes. The maintenance plan shall include a budget acceptable to the City for major repairs and extraordinary expenses, and shall be incorporated into HOA bylaws.

23. The developer shall submit to the City Attorney, for review and approval, a copy of the covenants, conditions, and restrictions (CC&Rs) that will apply to the development prior to recordation of the Final Map.

24. The HOA shall enter into a Maintenance Agreement with the City of Daly City to ensure long-term maintenance and servicing by the Property Owner of stormwater site design and treatment control measures according the approved Maintenance Plan.

Landscaping

25. Prior to the issuance of building permits, a detailed landscape and irrigation plan shall be submitted for review by the Planning Division, which shall comply with DCMC Chapter 17.41 Water Conservation in Landscaping. New landscaping required for the subdivision shall incorporate Bay Area Friendly species that are drought tolerant and the irrigation systems shall incorporate water efficiency measures. No landscaped areas shown on the preliminary plan approved by the City Council shall be changed to non-landscaped material such as decorative rock. Alternative plant and tree species may be approved by the Planning Division if it can be shown they would be more appropriate for the site.

26. All landscaping shall be installed, inspected, and approved prior to the issuance of occupancy permits.

27. Any landscaping identified on the project as "to be determined" or "not determined at this time" shall be approved by the Planning Division prior to building permit issuance.

28. All trees adjacent to the City sidewalk shall be box-specimen and shall provide a root-barrier acceptable to the City.

29. Annual inspection of the landscaping shall be conducted for the first five years following construction completion to ensure the landscaping is adequately maturing in a healthy manner. Should plants be determined to be significantly deficient in growth or health, additional landscaping shall be required to compensate for the lack of vegetation. Annual inspections shall be conducted by the Planning Division. A point of contact within the HOA shall be established to coordinate said annual inspections, and the HOA shall retain responsibility to maintain and, as necessary per the direction of the City, replace landscaping or enhance site and retaining walls.

30. The applicant shall establish an HOA budget item for tree replacement within the first five years for all trees determined by the City to be dead or dying. The applicant shall provide an initial fund for budget item of not less than $5,000.

31. The landscape plan shall identify an excavation plan for all street-trees which provide a sufficient trench allowing for root expansion, as determined by the City. Tree trenches shall be inspected by the City for size prior to tree installation.

32. The applicant shall provide establishment, and where necessary, long-term irrigation to all trees, shrubs, and groundcover.

33. The applicant shall triple-stake all trees and this staking shall be subject to initial inspection by the City. Trees shall remain triple-stake through the establishment period and tree staking shall be subject to the annual inspection identified above.

<u>Stormwater Treatment</u>

34. The applicant shall develop and submit a stormwater management plan that illustrates full compliance with Section C.3 of Order R-2-2009-0074 NPDES Permit No. CAS612008. The project must comply with Order No. 2010-0014-DWQ, NPDES No. CAS000002, the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit.

35. The applicant shall receive approval of the stormwater management plan from a third-party reviewer appointed by the City prior to building permit submittal. The applicant shall pay the entire cost of the third-party reviewer.

36. All stormwater treatment facilities shall be inspected during construction to ensure eventual compliance with the stormwater management plan. The applicant shall pay the entire cost of these inspections.

37. The applicant shall enter into a Maintenance Agreement with the City to ensure long-term maintenance and servicing by the Property Owner of stormwater site design and treatment control measures according the approved Maintenance Plan.

38. The applicant shall arrange and pay for final inspection of installed treatment measure by municipality's Special Inspector within 45 days of installation or project construction completion, whichever comes first.

39. Prior to any demolition activities, a lead paint survey shall be performed so that these materials, if present, can be properly managed.

B. WATER AND WASTEWATER RESOURCES DEPARTMENT

40. The applicant shall prepare a Sewer Capacity Study from the site to the collection system trunk main(s). All costs associated with any necessary sewer system studies and upgrades required as a result of this project shall be borne by the applicant.

41. Any costs associated with sewer upgrades shall be borne by the applicant.

C. FIRE PREVENTION

42. Fire Flow shall meet 2013 CFC Appendix C based on the largest structure.

43. All structures shall have fire sprinklers per NFPA 13 per 2013 CFC 903 as amended in the Daly City Municipal Code Note: (These are no longer 1 or 2 unit R-3 but four unit buildings thus do not qualify for NFPA 13D sprinklers).

44. Addressing shall be provided per Section 505.1 as amended by DCMC 15.32.070.

D. ENGINEERING DIVISION

45. The applicant shall provide sewer, water, and storm drain studies, and shall construct recommended improvements as required by the City Engineer.

46. Storm runoff shall not exceed pre-development conditions for a 2-hour, 10-year storm. Runoff shall be directed to the gutter through curb drains.

47. All electrical and telecommunications services shall be provided through underground connections. There shall be no overhead drops. All existing overhead services and supporting poles along the project frontage shall be removed, at the applicant's expense.

48. The applicant shall replace curb gutter and sidewalk over the entire frontage of the

development to the nearest expansion joints or score lines.

49. The applicant shall resurface existing street frontage pavements with a minimum of two inches of new AC.

50. Existing street lights on 2nd and 3rd Avenues shall be replaced with City Standard street lights with underground service.

51. Prior to requesting approval for the Final Map, all improvements, including on- and off-site improvements, and all public service and utility facilities required to serve the development, shall be completed by the applicant, or the applicant shall enter into an Improvement Agreement with the City to complete the improvements within the time limit specified by the City.

52. Storm water detention systems and storm water treatment systems shall be located on private property and maintained by the Homeowners' Association.

53. Retaining walls shall be maintained by the Homeowners' Association.

Recommendation

Staff recommends the Planning Commission forward to the City Council the following recommendations:

1. Adopt the Findings as outlined herein; and
2. Approve Major Subdivision SUB-5-14-9004 and Design Review DR-5-14-9007, as conditioned herein.

Staff is available to provide any additional information desired by the Planning Commissioners.

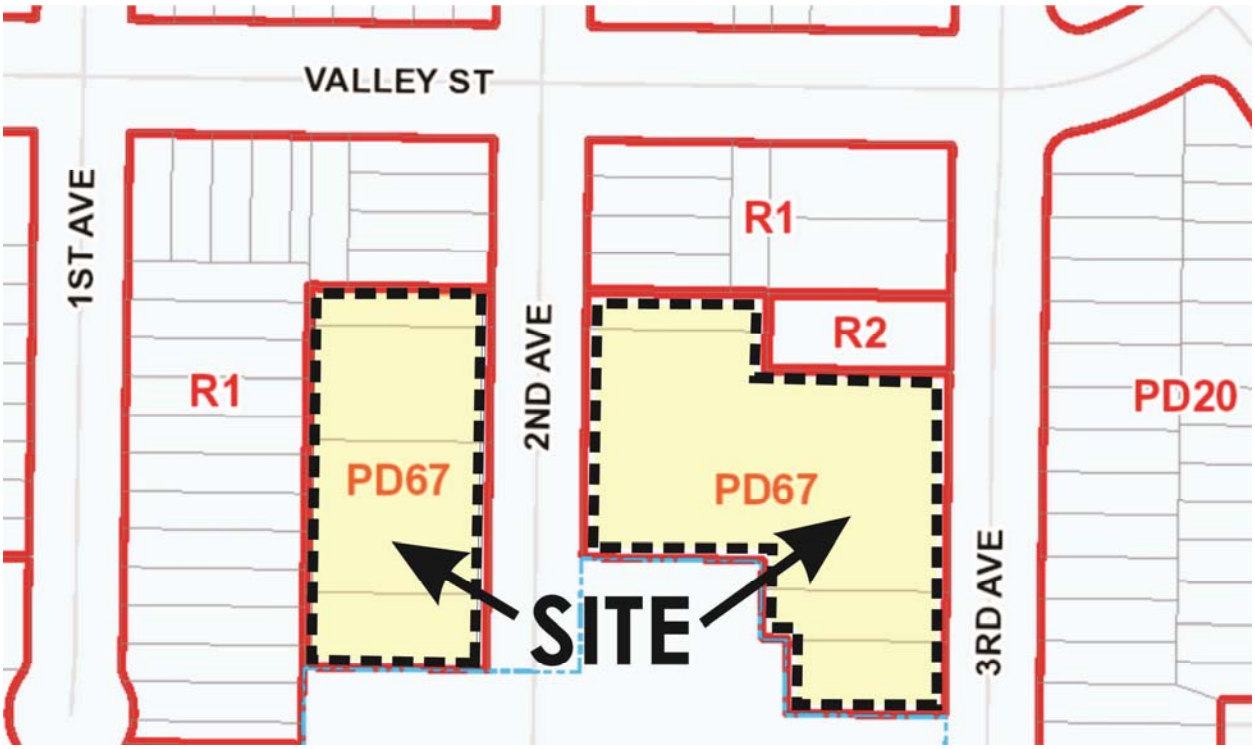
Respectfully submitted,

Steve Flint
Contract Senior Planner

Tatum Mothershead
Interim Director of Economic and Community Development

Attachments

Attachment A – Location Map
Attachment B – Tentative Map and Project Plans
Attachment C – Affordable Housing Plan


VALLEY ST
1ST AVE
2ND AVE
3RD AVE
R1
R1
R2
PD20
PD67
PD67
SITE

ARCHITECTURAL RENDERINGS BY DIAP

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A233	BLDG. 2 & 4 TYPE B - EXTERIOR ELEVATIONS
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A240	BLDG. 12 TYPE C - ROOF PLAN
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A612	UNIT 2A - SECTIONS & STAIR SECTION
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A632	UNIT 2B - SECTIONS & STAIR SECTION
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A641	UNIT 3A - SECOND, THIRD FLOOR PLAN & ROOF PLAN & INT. ELEV.
A642	UNIT 3A - SECTIONS & STAIR SECTION
A650	UNIT 3B - GARAGE, FIRST & SECOND FLOOR PLAN & INT. ELEV.
A651	UNIT 3B - THIRD FLOOR PLAN & ROOF PLAN
A652	UNIT 3B - SECTIONS & STAIR SECTION
A900	EXTERIOR DETAILS
60 TOTAL SHEETS	

GARDEN VALLEY

TITLE SHEET

Daily City, CA

KTGY # 2014-0065

05.02.2014 - DESIGN REVIEW SUBMITTAL

Architecture + Planning
1733 Ocean Ave., Suite 250
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310 394 2623

BUILDING AREAS

BUILDING PLAN AREAS (GROSS SQUARE FOOTAGE)

BUILDING TYPE A

UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 3B	1
GROUND FLOOR:	129
FIRST FLOOR:	1,280
SECOND FLOOR:	1,275
THIRD FLOOR:	492
TOTAL LIVING SPACE:	3,176
TOTAL GARAGE SPACE:	1,130
TOTAL EXTERIOR COVERED DECK	262
TOTAL COMBINED:	4,568

BUILDING TYPE A-ALT

UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 3A	1
GROUND FLOOR:	128
FIRST FLOOR:	1,228
SECOND FLOOR:	1,226
THIRD FLOOR:	443
TOTAL LIVING SPACE:	3,025
TOTAL GARAGE SPACE:	1,078
TOTAL EXTERIOR COVERED DECK	262
TOTAL COMBINED:	4,365

BUILDING TYPE B

UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 2A-ALT	1
UNIT COUNT: UNIT 3A	1
GROUND FLOOR:	195
FIRST FLOOR:	1,764
SECOND FLOOR:	1,776
THIRD FLOOR:	679
TOTAL LIVING SPACE:	4,414
TOTAL GARAGE SPACE:	1,525
TOTAL EXTERIOR COVERED DECK	375
TOTAL COMBINED:	6,314

BUILDING TYPE C

UNIT COUNT: UNIT 2A	2
UNIT COUNT: UNIT 3A	2
UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 3B	1
GROUND FLOOR:	369
FIRST FLOOR:	3,620
SECOND FLOOR:	3,643
THIRD FLOOR:	1,278
TOTAL LIVING SPACE:	8,910
TOTAL GARAGE SPACE:	3,186
TOTAL EXTERIOR COVERED DECK	786
TOTAL COMBINED:	12,882

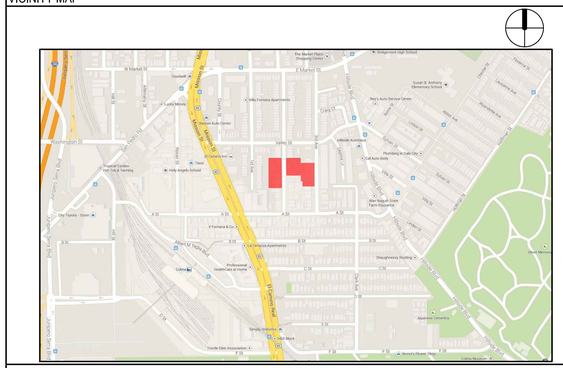
BUILDING TYPE D

UNIT COUNT: UNIT 2A	1
UNIT COUNT: UNIT 3A	1
UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 3B	1
GROUND FLOOR:	249
FIRST FLOOR:	2,450
SECOND FLOOR:	2,459
THIRD FLOOR:	885
TOTAL LIVING SPACE:	6,043
TOTAL GARAGE SPACE:	2,158
TOTAL EXTERIOR COVERED DECK	524
TOTAL COMBINED:	8,725

BUILDING TYPE E

UNIT COUNT: UNIT 2A	2
UNIT COUNT: UNIT 3A	2
UNIT COUNT: UNIT 2B	1
UNIT COUNT: UNIT 3B	1
GROUND FLOOR:	369
FIRST FLOOR:	3,620
SECOND FLOOR:	3,643
THIRD FLOOR:	1,278
TOTAL LIVING SPACE:	8,910
TOTAL GARAGE SPACE:	3,186
TOTAL EXTERIOR COVERED DECK	786
TOTAL COMBINED:	12,882

VICINITY MAP



UNIT AREAS

UNIT PLAN AREAS (GROSS SQUARE FOOTAGE)

PLAN 2A:

GROUND FLOOR:	60
FIRST FLOOR:	516
SECOND FLOOR:	530
THIRD FLOOR:	228
TOTAL LIVING SPACE:	1,334
TOTAL GARAGE SPACE:	435
TOTAL EXTERIOR COVERED DECK	109
TOTAL COMBINED:	1,878

PLAN 2A-ALT:

GROUND FLOOR:	67
FIRST FLOOR:	536
SECOND FLOOR:	550
THIRD FLOOR:	236
TOTAL LIVING SPACE:	1,389
TOTAL GARAGE SPACE:	447
TOTAL EXTERIOR COVERED DECK	113
TOTAL COMBINED:	1,949

PLAN 2B:

GROUND FLOOR:	68
FIRST FLOOR:	574
SECOND FLOOR:	572
THIRD FLOOR:	278
TOTAL LIVING SPACE:	1,492
TOTAL GARAGE SPACE:	485
TOTAL EXTERIOR COVERED DECK	109
TOTAL COMBINED:	2,086

PLAN 3A:

GROUND FLOOR:	60
FIRST FLOOR:	654
SECOND FLOOR:	654
THIRD FLOOR:	165
TOTAL LIVING SPACE:	1,533
TOTAL GARAGE SPACE:	593
TOTAL EXTERIOR COVERED DECK	153
TOTAL COMBINED:	2,279

PLAN 3B:

GROUND FLOOR:	61
FIRST FLOOR:	706
SECOND FLOOR:	703
THIRD FLOOR:	214
TOTAL LIVING SPACE:	1,684
TOTAL GARAGE SPACE:	645
TOTAL EXTERIOR COVERED DECK	153
TOTAL COMBINED:	2,482

GARDEN VALLEY

2ND & 3RD AVE, DALY CITY, CALIFORNIA

PROJECT DIRECTORY

OWNER	BRIAN DESLER 2790 JUNIPERO SERRA BLVD. DALY CITY, CA 94015 T: 650.755.6465 FAX: 650.755.6467
ARCHITECT	KTGY GROUP INC. 1733 OCEAN AVE, SUITE 250 SANTA MONICA, CA 90401 CONTACT: MANNY GONZALEZ T: 310.394.2623 MGONZALEZ@KTGY.COM
CIVIL	BKF ENGINEERS 1650 TECHNOLOGY DR., SUITE 650 SAN JOSE, CA 95110 T: 408.467.9100
LANDSCAPE	HWA LANDSCAPE ARCHITECTURE | SITE PLANNING 762 ALTESSA DR. BRENTWOOD, CA 95413 T: 925.513.3091

PROJECT DATA

A. ASSESSOR PARCEL NUMBERS — AREAS

006-392-050	5,994.56 SQ. FT.
006-392-060	11,996.31 SQ. FT.
006-392-070	8,991.83 SQ. FT.
006-392-080	3,004.68 SQ. FT.
006-393-080	36,015.92 SQ. FT.
006-393-090	3,001.34 SQ. FT.
006-393-190	3,001.34 SQ. FT.
006-393-200	5,001.58 SQ. FT.
TOTAL	77,008 SQ. FT. (+/- 1.77 AC)

B ZONING
EXISTING: COUNTY OF SAN MATEO

PROPOSED: PD (AND ANNEXATION TO CITY OF DALY CITY)

TYPE OF UNITS: ATTACHED SINGLE FAMILY HOMES (CARRIAGE UNIT TYPE)

NUMBER OF UNITS:

2 BEDROOM/ 2.5 BATH	26
3 BEDROOM/ 2.5 BATH	24
TOTAL UNITS	50

PROPOSED DENSITY: UP TO 30 D.U. / AC.

PROPOSED BUILDING HEIGHT: +/- 38 FEET

SETBACKS: SEE FIRST FLOOR SITE PLAN

TOTAL COMMON OPEN SPACE	30,260 SQ. FT. (39%)
TOTAL BUILDING FOOTPRINT	30,629 SQ. FT. (40%)
TOTAL PRIVATE OPEN SPACE (AT GRADE)	16,118 SQ. FT. (21%)
TOTAL IMPERVIOUS	58,180 SQ. FT. (76%)
ADDITIONAL OPEN SPACE (ROOF PATIOS)	6,514 SQ. FT. (8%)

ON SITE PARKING
1 CAR PER BEDROOM (125 CARS IN PRIVATE GARAGES)

OFF SITE PARKING
STREET PARKING (PARALLEL)

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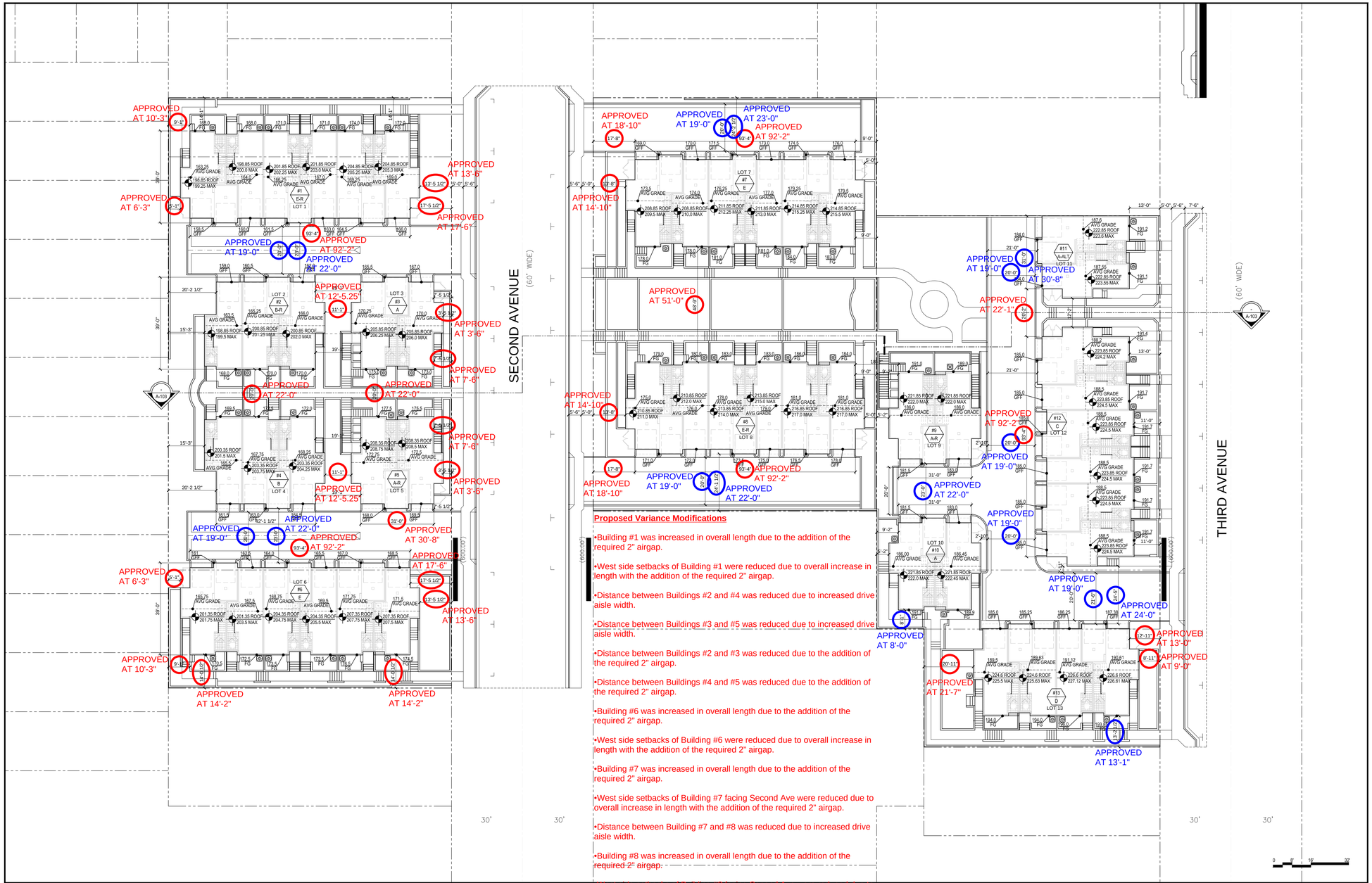

Proposed Variance Modifications

•Building #1 was increased in overall length due to the addition of the required 2" airgap.

•West side setbacks of Building #1 were reduced due to overall increase in length with the addition of the required 2" airgap.

•Distance between Buildings #2 and #4 was reduced due to increased drive aisle width.

•Distance between Buildings #3 and #5 was reduced due to increased drive aisle width.

•Distance between Buildings #2 and #3 was reduced due to the addition of the required 2" airgap.

•Distance between Buildings #4 and #5 was reduced due to the addition of the required 2" airgap.

•Building #6 was increased in overall length due to the addition of the required 2" airgap.

•West side setbacks of Building #6 were reduced due to overall increase in length with the addition of the required 2" airgap.

•Building #7 was increased in overall length due to the addition of the required 2" airgap.

•West side setbacks of Building #7 facing Second Ave were reduced due to overall increase in length with the addition of the required 2" airgap.

•Distance between Building #7 and #8 was reduced due to increased drive aisle width.

•Building #8 was increased in overall length due to the addition of the required 2" airgap.

•West side setbacks of Building #8 facing Second Ave were reduced due to overall increase in length with the addition of the required 2" airgap.

•Building #11 was increased in overall length due to the addition of the required 2" airgap.

•Distance between Buildings #11 and #12 was reduced due to overall increase in length with the addition of the required 2" airgap.

•Building #12 was increased in overall length due to the addition of the required 2" airgap.

•West side setbacks of Building #13 were reduced due to overall increase in length with the addition of the required 2" airgap.

NOTES

* GRADE ALONG GARAGE IS AVERAGE OF THE TWO GRADES

DIMENSIONS THAT DIFFER FROM APPROVED PLAN

PROPOSED VARIANCE DIMENSIONS THAT DIFFER FROM APPROVED PLAN

NORTH

ARCHITECTURAL SITE PLAN | SCALE : 3/64" = 1'-0" | 1

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310 394 2623

KTGY Project No: 20140065

Project Contact: Ryan Flautz
Email: rflautz@ktgy.com

Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

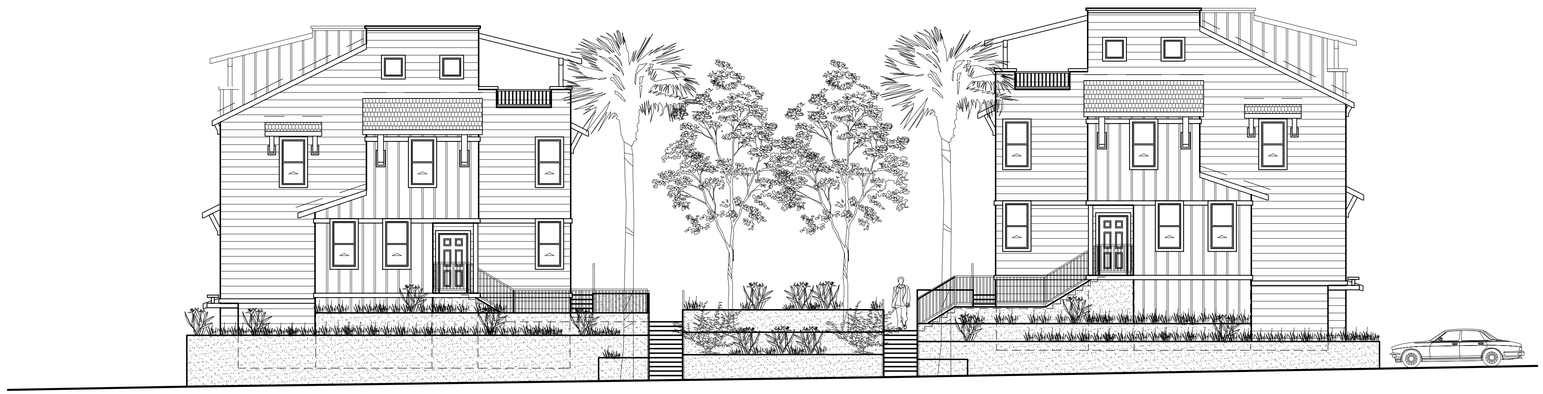
It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor or subcontractor performing work on the project, or portion thereof, reasonably should be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

ARCHITECTURAL SITE PLAN

A101

EAST ELEVATION

0 4' 8' 16'



WEST ELEVATION

0 4' 8' 16'

GARDEN VALLEY

SECOND AVE-STREET SCENES

A102

Daily City, CA

KTGY # 2014-0065

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EAST ELEVATION

0 8' 16' 32'

SITE SECTION

0 4' 8' 16'

GARDEN VALLEY

THIRD AVE-STREET SCENE & SITE SECTION

A103

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ARCHITECTURAL RENDERINGS BY DIAP

GARDEN VALLEY

AXONOMETRIC RENDERING - IA

A104

Daily City, CA

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ARCHITECTURAL RENDERINGS BY DIAP

GARDEN VALLEY

AXONOMETRIC RENDERING - IB

A105

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ARCHITECTURAL RENDERINGS BY DIAP

GARDEN VALLEY

AXONOMETRIC RENDERING - 2

A106

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ARCHITECTURAL RENDERINGS BY DIAP

GARDEN VALLEY

AXONOMETRIC RENDERING - 3A

A107

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ARCHITECTURAL RENDERINGS BY DIAP

GARDEN VALLEY

AXONOMETRIC RENDERING - 3B

A108

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FRONT ELEVATION

SIDE ELEVATION - 3 BEDROOM UNIT

REAR ELEVATION

ARCHITECTURAL RENDERINGS BY DIAP

SIDE ELEVATION - 2 BEDROOM UNIT

0 4' 8' 16'

GARDEN VALLEY

COLOR ELEVATIONS - 2 UNIT BUILDING

A109

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FRONT ELEVATION

REAR ELEVATION

ARCHITECTURAL RENDERINGS BY DIAP

0 4' 8' 16'

GARDEN VALLEY

COLOR ELEVATIONS - 4 UNIT BUILDING

A110

Daily City, CA

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FRONT ELEVATION

REAR ELEVATION

ARCHITECTURAL RENDERINGS BY DIAP

0 4' 8' 16'

GARDEN VALLEY

COLOR ELEVATIONS - 6 UNIT BUILDING

A111

Daily City, CA

KTGY # 2014-0065

05.02.2014 - DESIGN REVIEW SUBMITTAL

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310 394 2623

FRONT ELEVATION

REAR ELEVATION

ARCHITECTURAL RENDERINGS BY DIAP

0 4' 8' 16'

GARDEN VALLEY

COLOR ELEVATIONS - 6 UNIT BUILDING

A112

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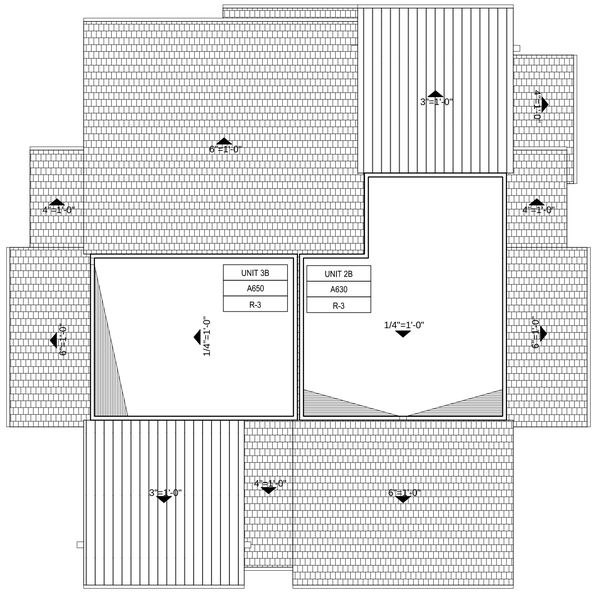

BLDG. 3, 5, 9 & 10 TYPE A - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

KTGY Group, Inc.
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Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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BLDG. 3, 5, 9 & 10 TYPE A - ROOF PLAN

A210

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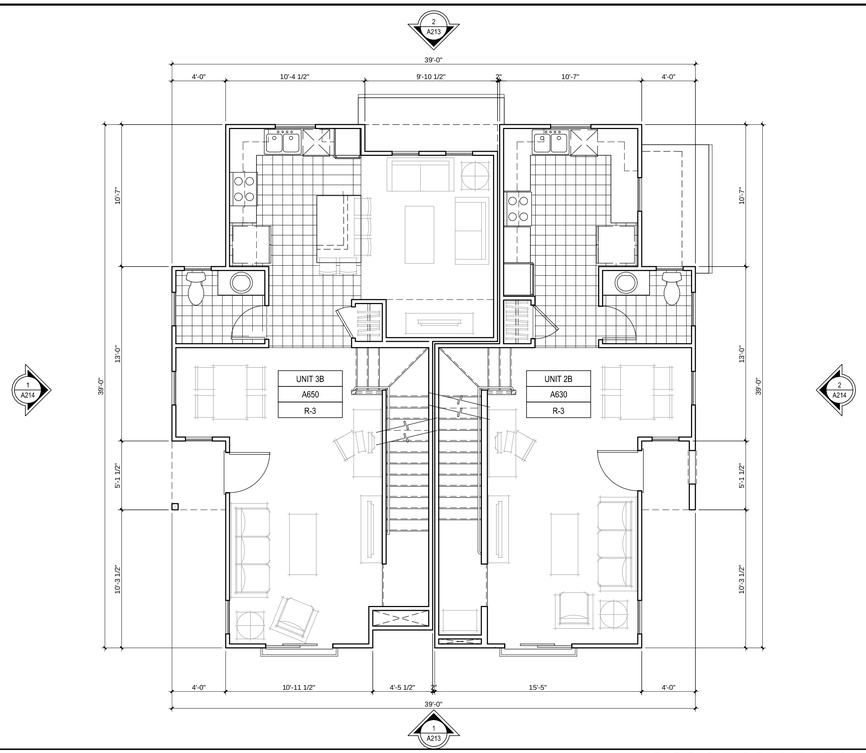
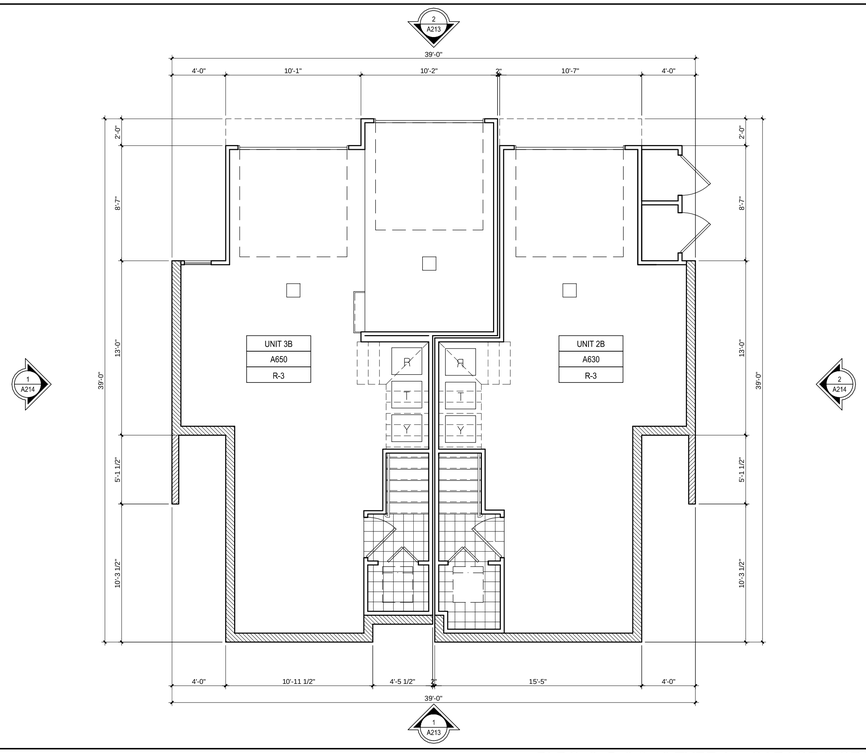


BLDG. 3, 5, 9 & 10 TYPE A - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 3, 5, 9 & 10 TYPE A - GARAGE & GROUND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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DALY CITY, CA

No.	Date	Description
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It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BLDG. 3, 5, 9 & 10 TYPE A - GARAGE & FIRST FLOOR PLAN

A211

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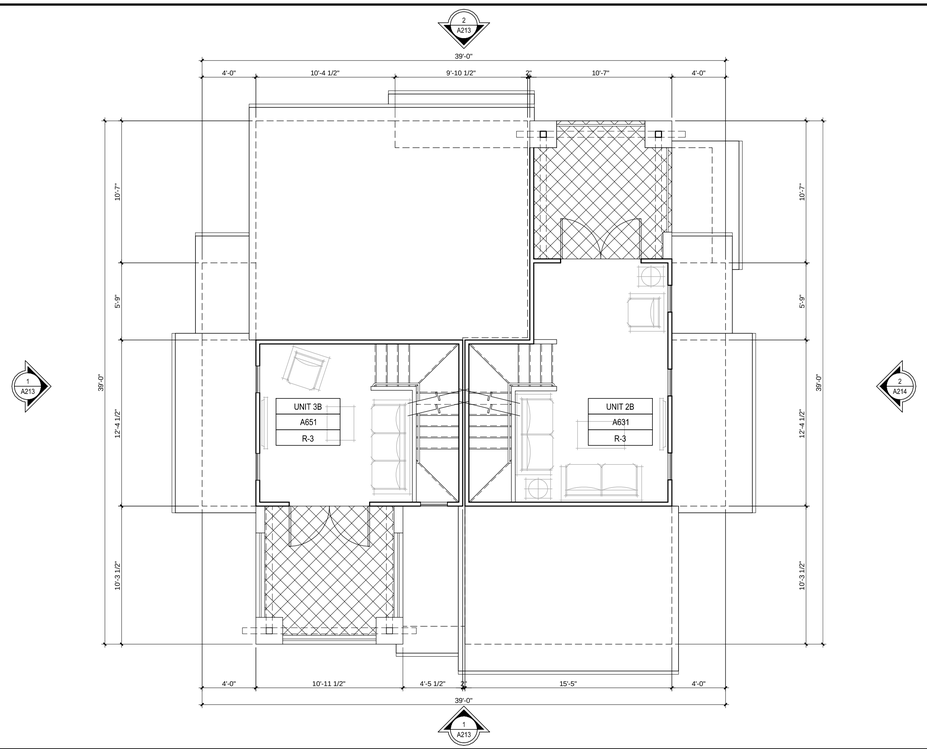
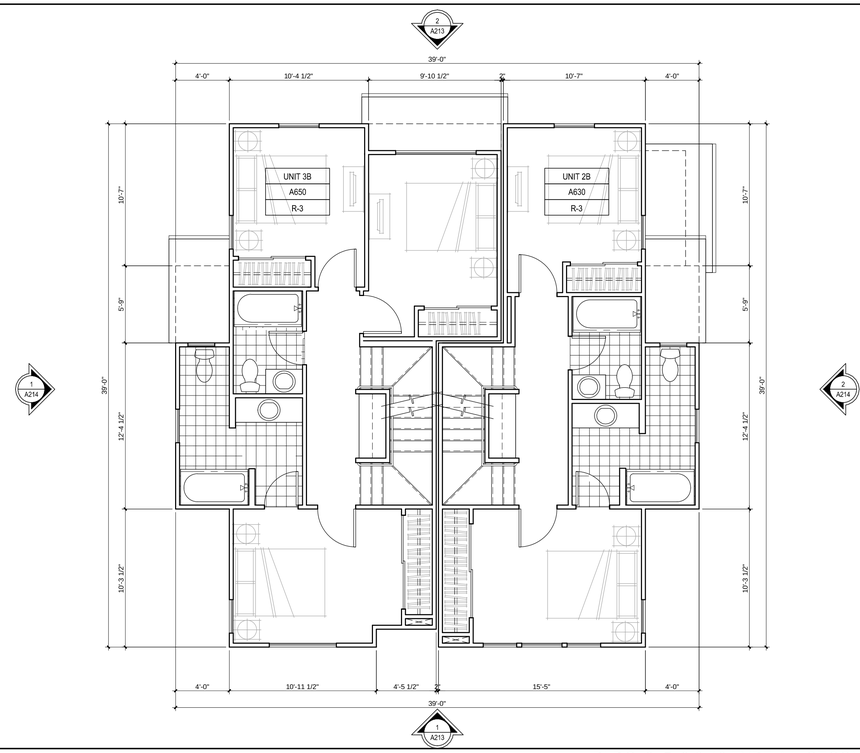


BLDG. 3, 5, 9 & 10 TYPE A - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 3, 5, 9 & 10 TYPE A - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

KTGY Group, Inc.
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310 394 2623

KTGY Project No: 20140065

Project Contact: Ryan Flautz
Email: rflautz@ktgy.com

Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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BLDG. 3, 5, 9 & 10 TYPE A - SECOND & THIRD FLOOR PLAN

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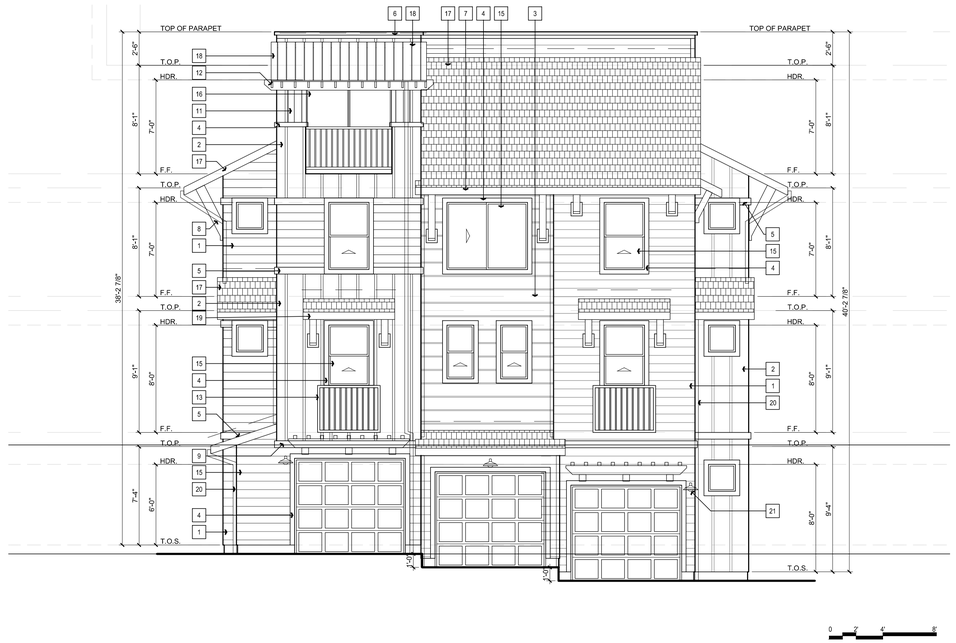

BLDG. 3, 5, 9 & 10 TYPE A - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2

BLDG. 3, 5, 9 & 10 TYPE A - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
18	STANDING SEAM METAL ROOFING
19	SHED ROOF WITH WOOD KICKERS
20	ROOF DRAIN OR DOWNSPOUT
21	METAL LIGHT FIXTURE

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BLDG. 3, 5, 9 & 10 TYPE A - EXTERIOR ELEVATIONS

A213

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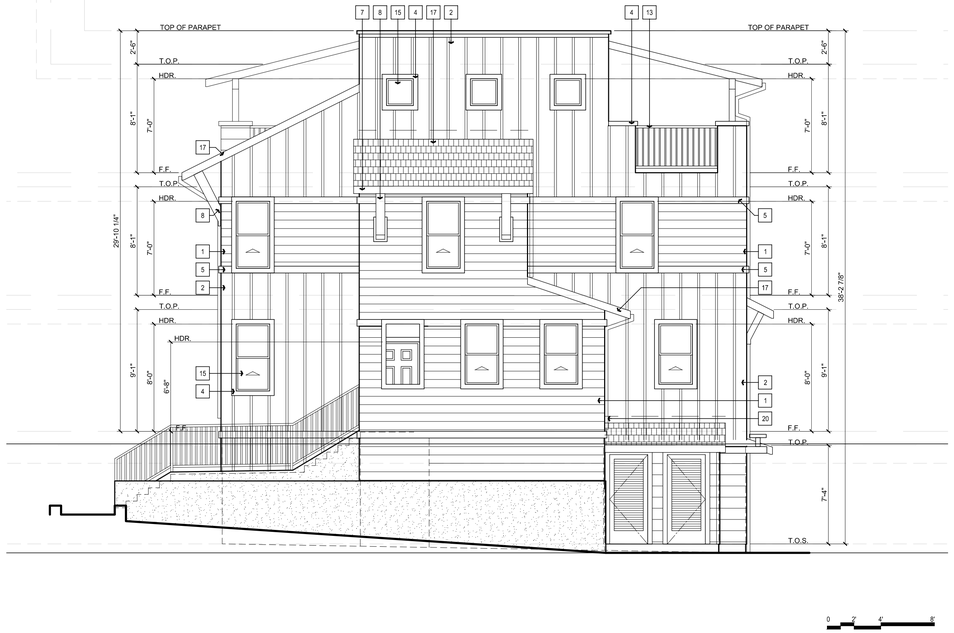
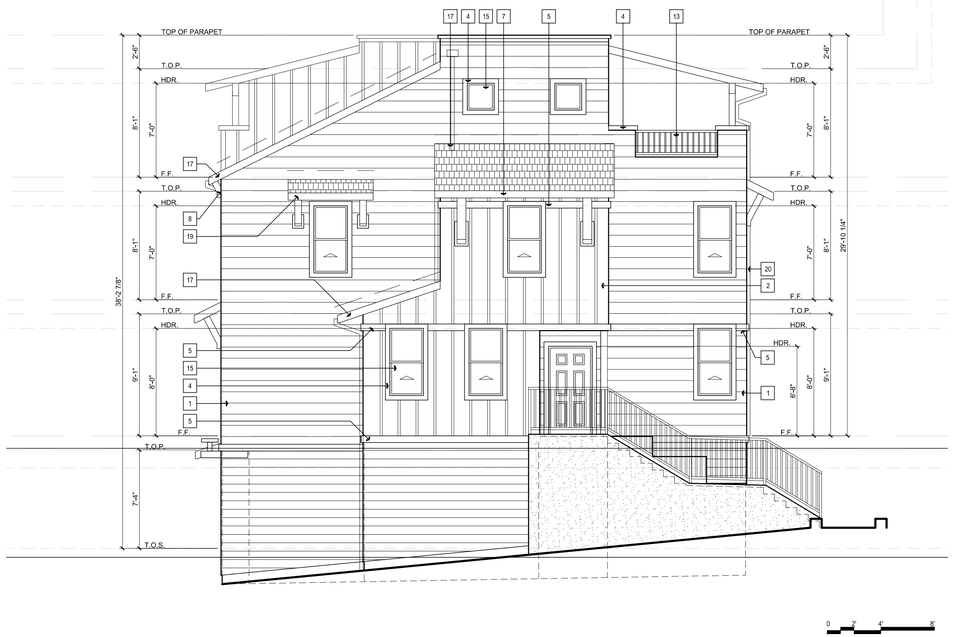


BLDG. 3, 5, 9 & 10 TYPE A - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 3, 5, 9 & 10 TYPE A - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
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BLDG. 3, 5, 9 & 10 TYPE A - EXTERIOR ELEVATIONS

A214

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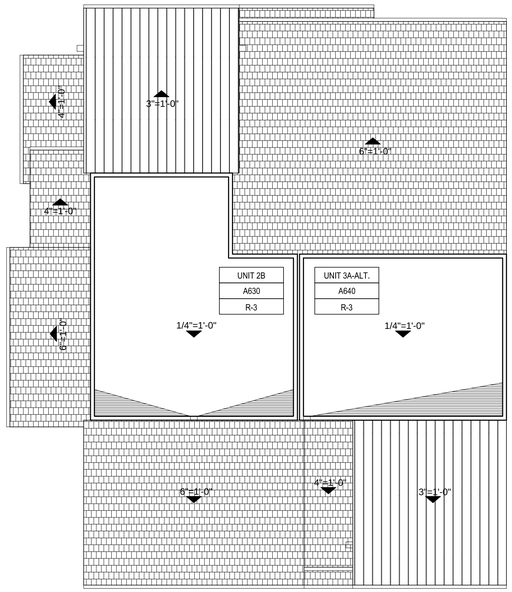

BLDG. 11 TYPE A-ALT. - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

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BLDG. 11 TYPE A-ALT. - ROOF PLAN

A220

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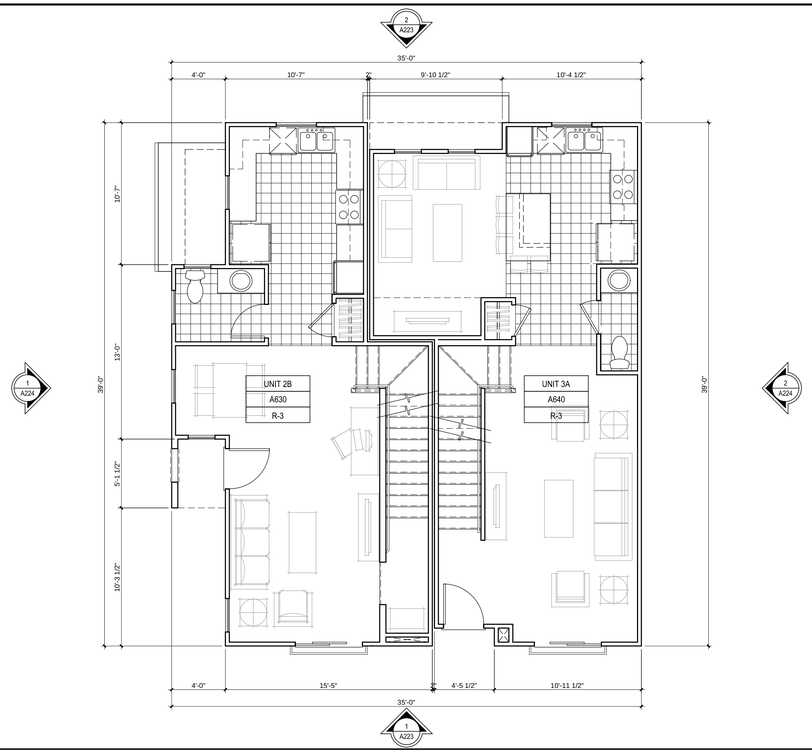
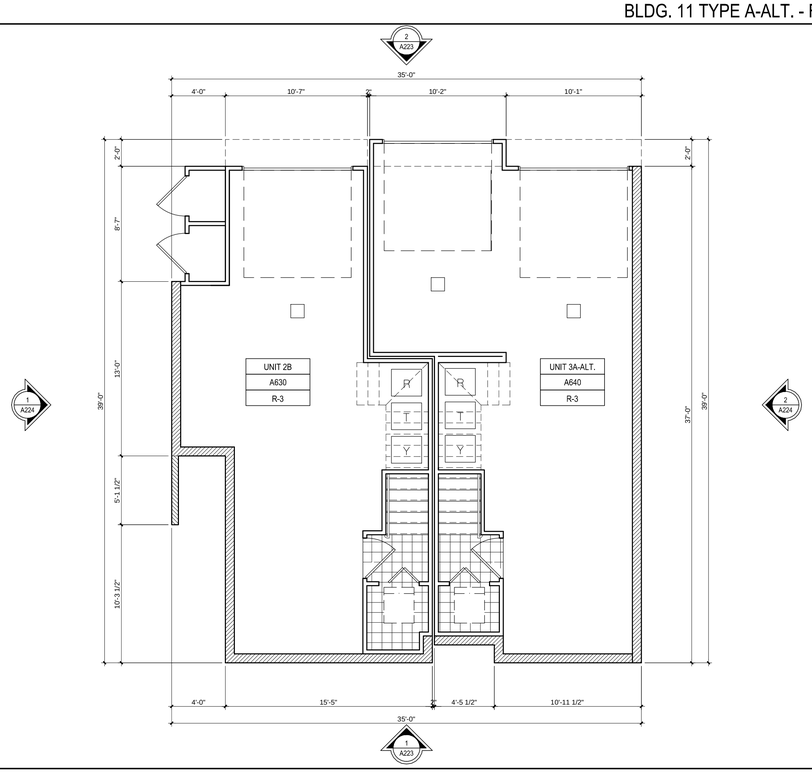


BLDG. 11 TYPE A-ALT. - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 11 TYPE A-ALT. - GARAGE FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 11 TYPE A-ALT. - GARAGE & FIRST FLOOR PLAN

A221

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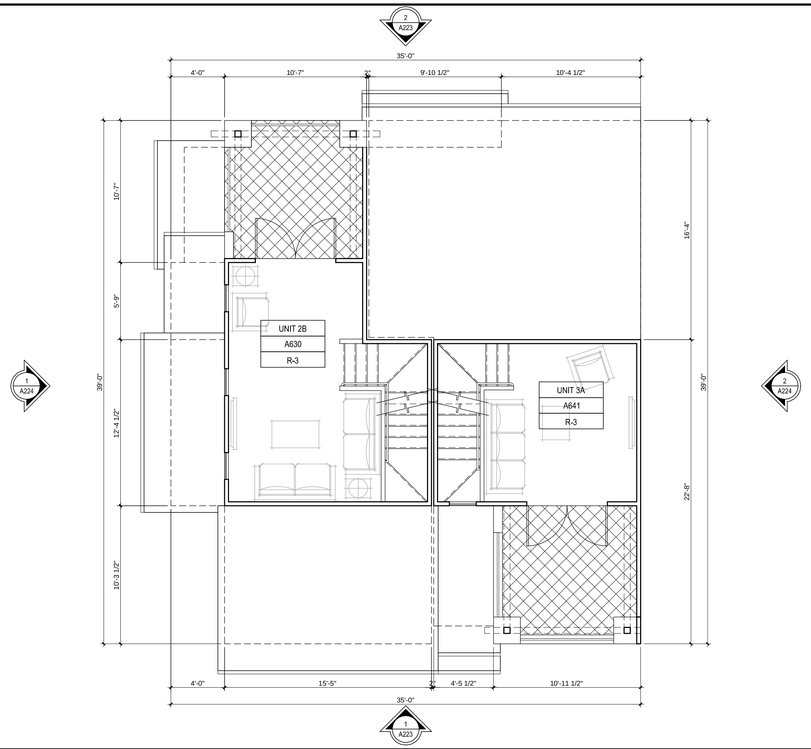
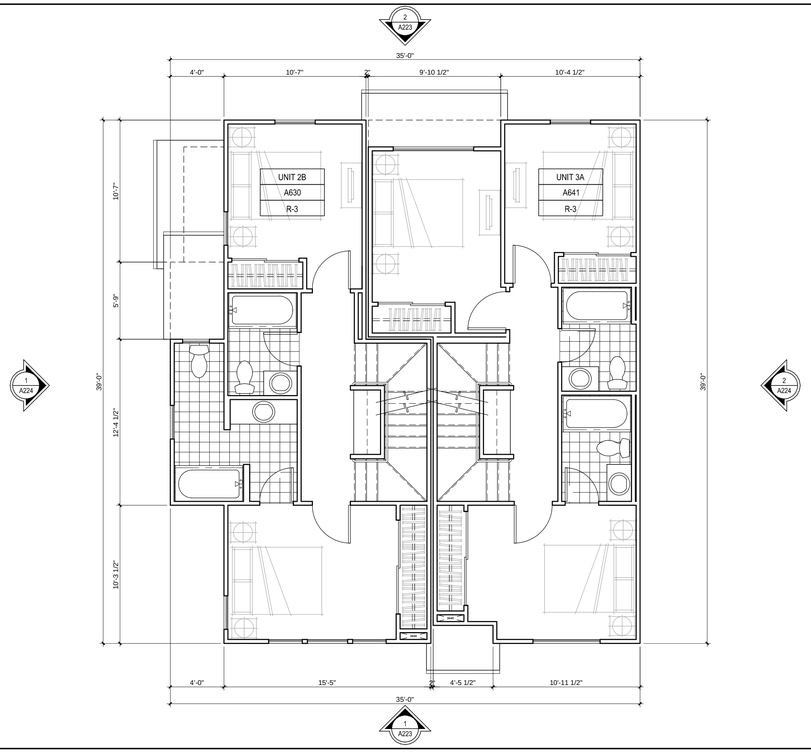


BLDG. 11 TYPE A-ALT. - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 11 TYPE A-ALT. - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 11 TYPE A-ALT. - SECOND & THIRD FLOOR PLAN

A222

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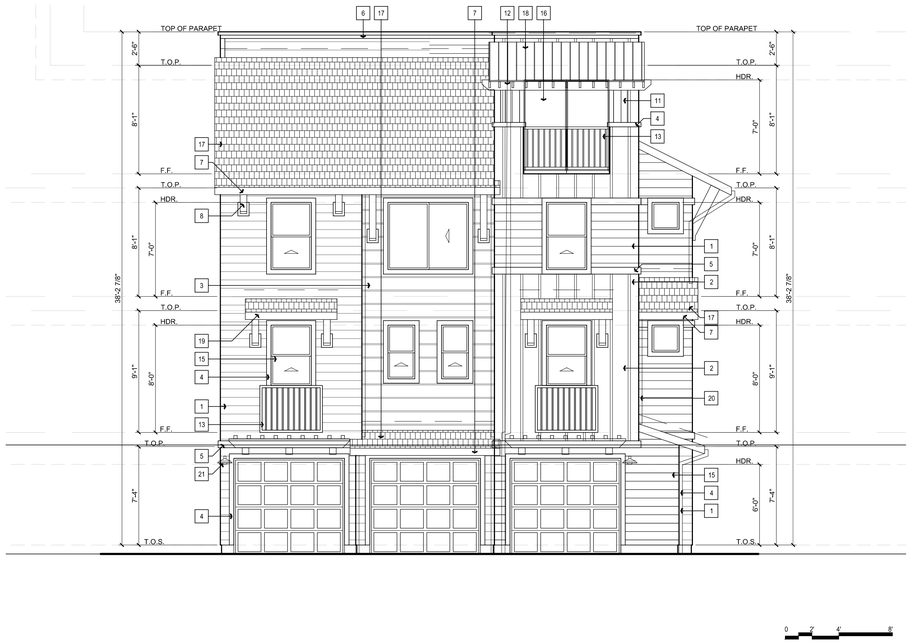
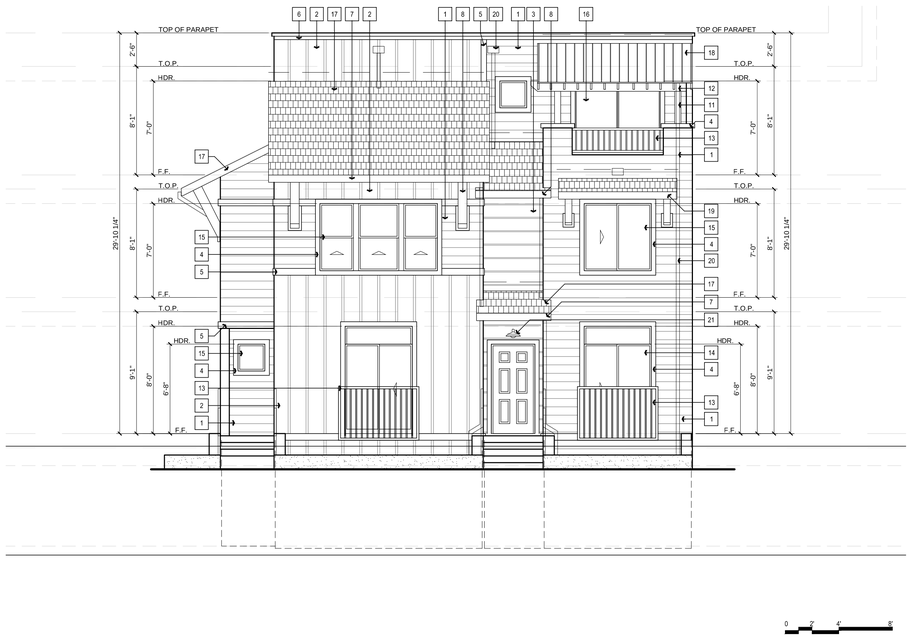


BLDG. 11 TYPE A-ALT. - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 11 TYPE A-ALT. - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
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10	WOOD CORBEL
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BLDG. 11 TYPE A-ALT. - EXTERIOR ELEVATIONS

A223

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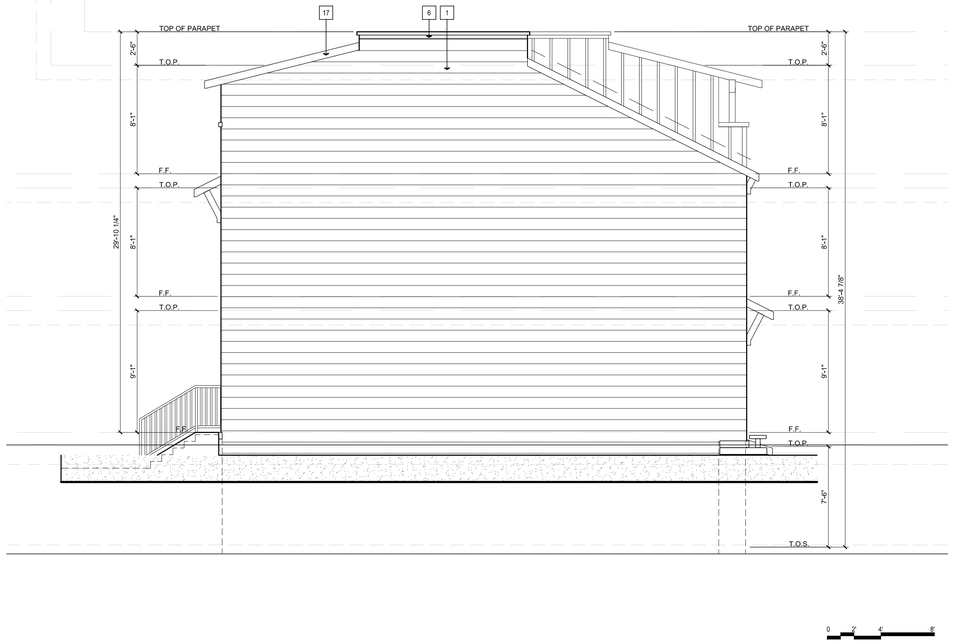
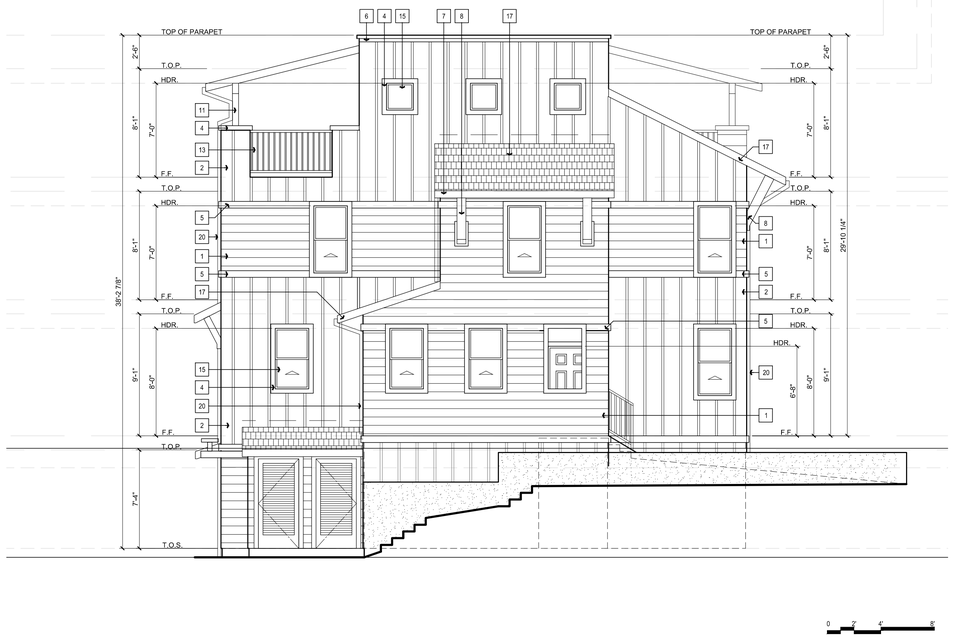


BLDG. 11 TYPE A-ALT. - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 11 TYPE A-ALT. - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
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BLDG. 11 TYPE A-ALT. - EXTERIOR ELEVATIONS

A224

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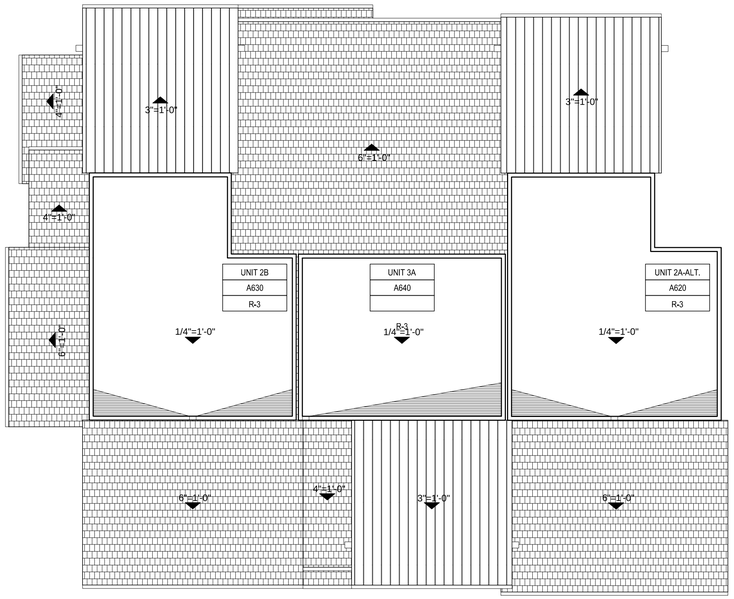

BLDG. 2 & 4 TYPE B - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

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BLDG. 2 & 4 TYPE B - ROOF PLAN

A230

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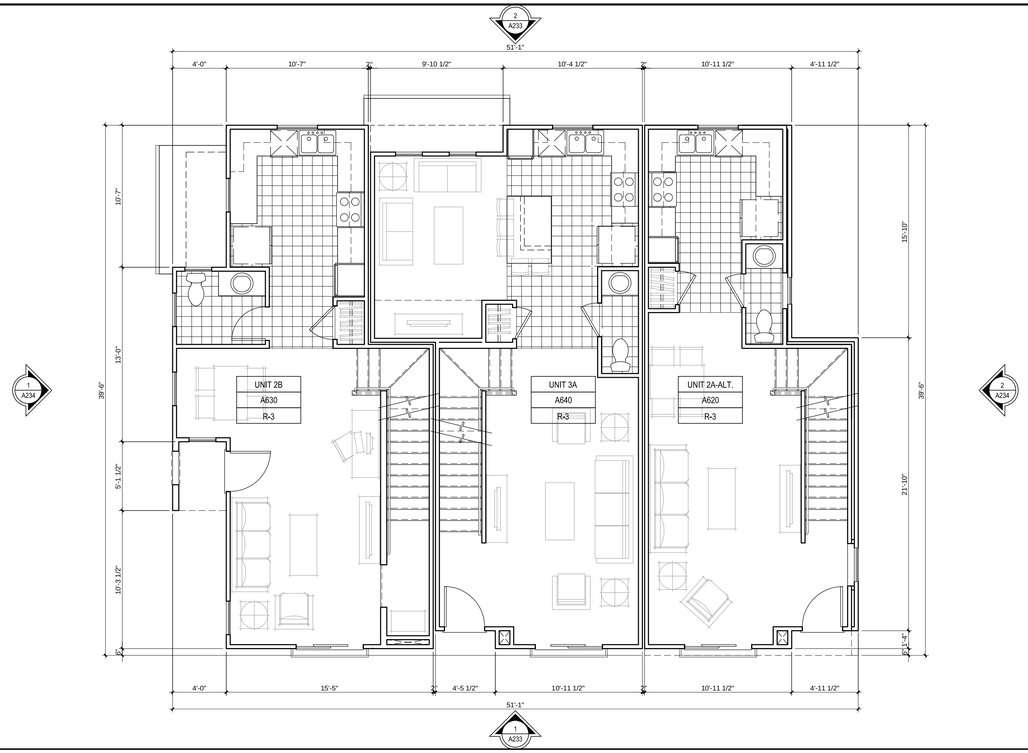
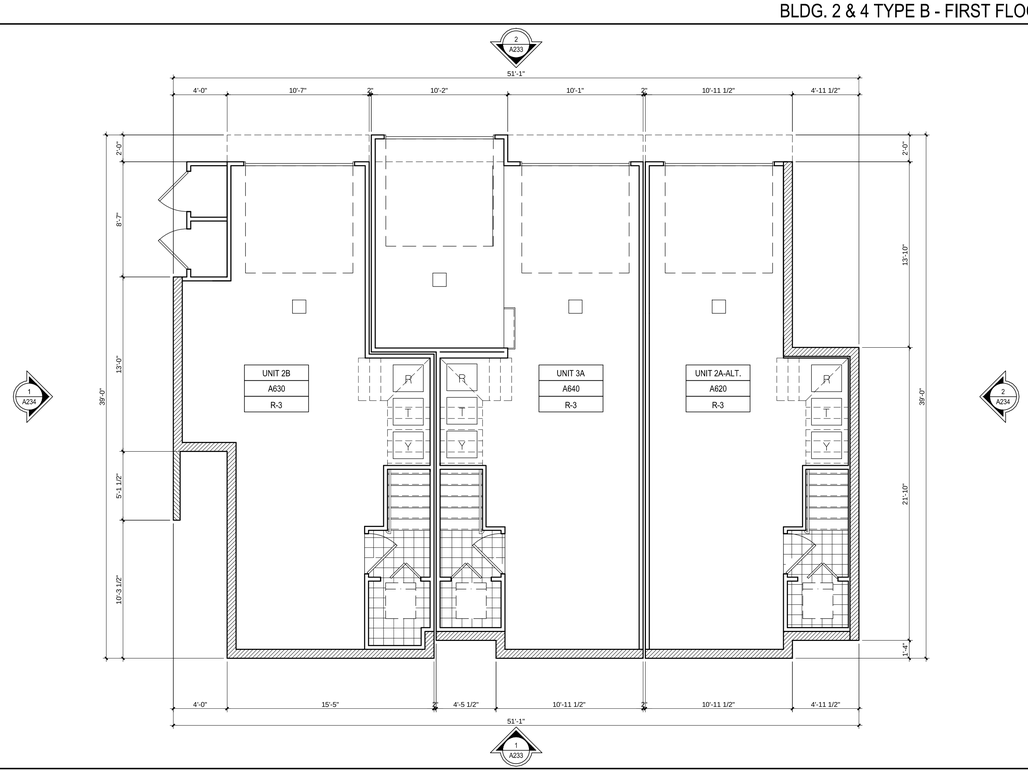


BLDG. 2 & 4 TYPE B - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 2 & 4 TYPE B - GARAGE FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 2 & 4 TYPE B - GARAGE & FIRST FLOOR PLAN

A231

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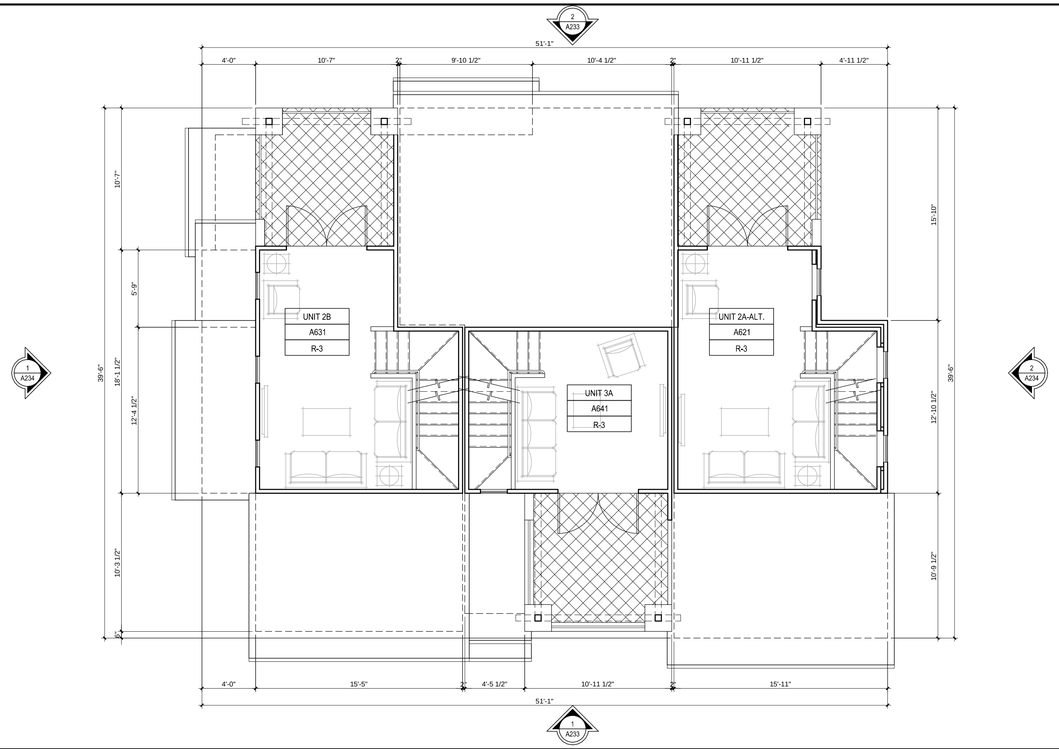
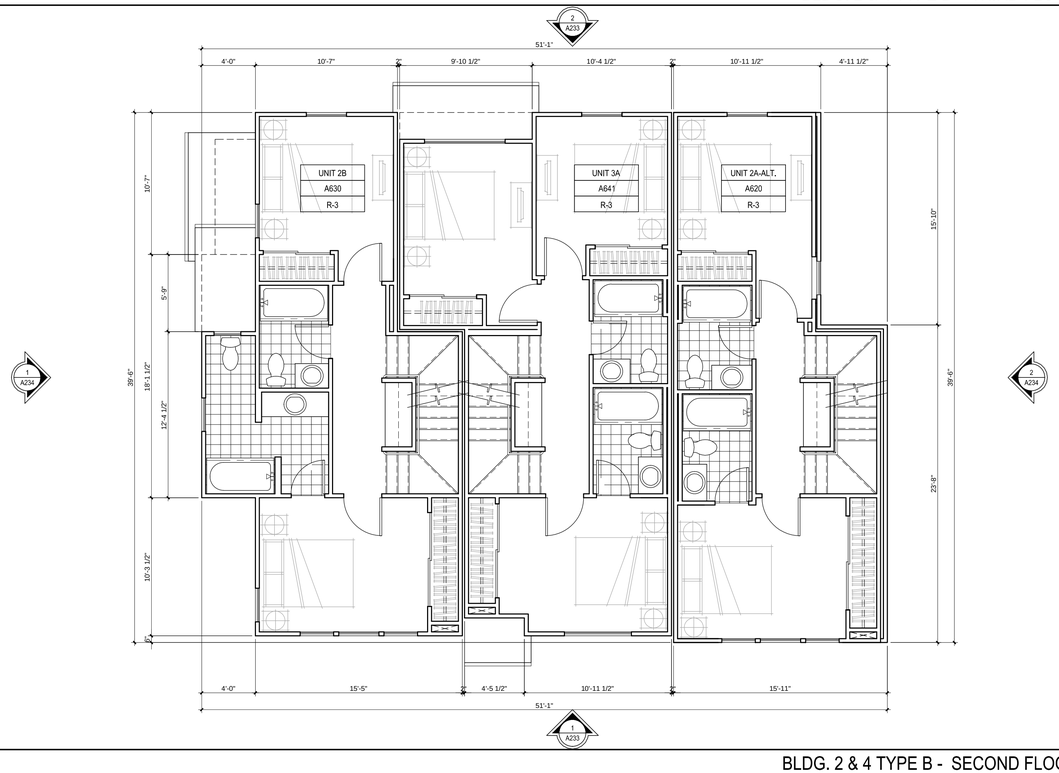


BLDG. 2 & 4 TYPE B - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 2 & 4 TYPE B - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 2 & 4 TYPE B - SECOND & THIRD FLOOR PLAN

A232

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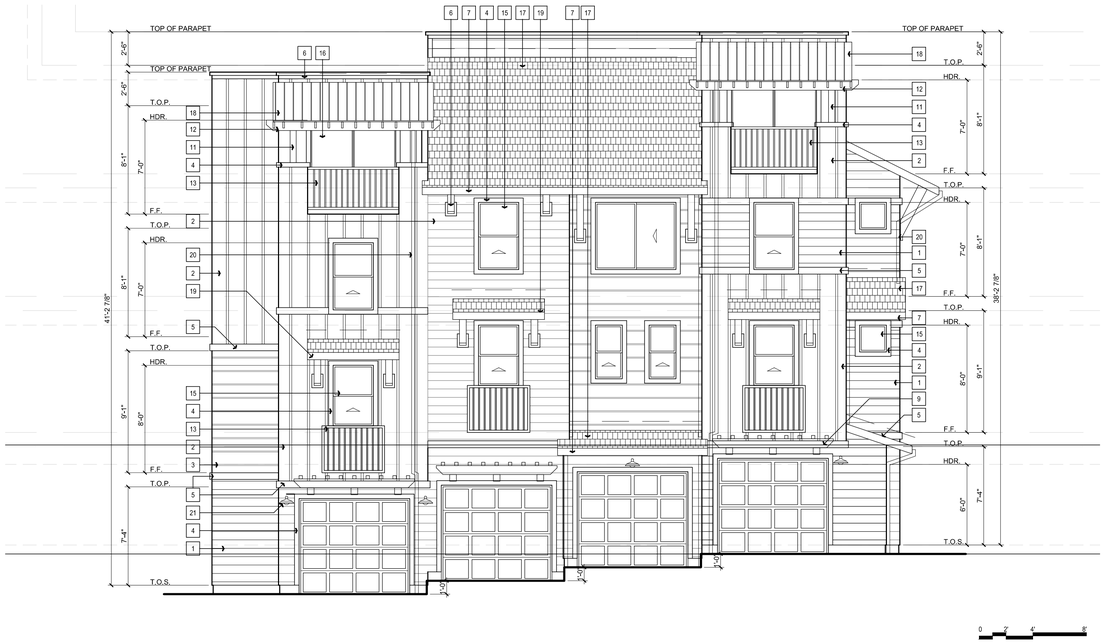

BLDG. 2 & 4 TYPE B - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2

BLDG. 2 & 4 TYPE B - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
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BLDG. 2 & 4 TYPE B - EXTERIOR ELEVATIONS

A233

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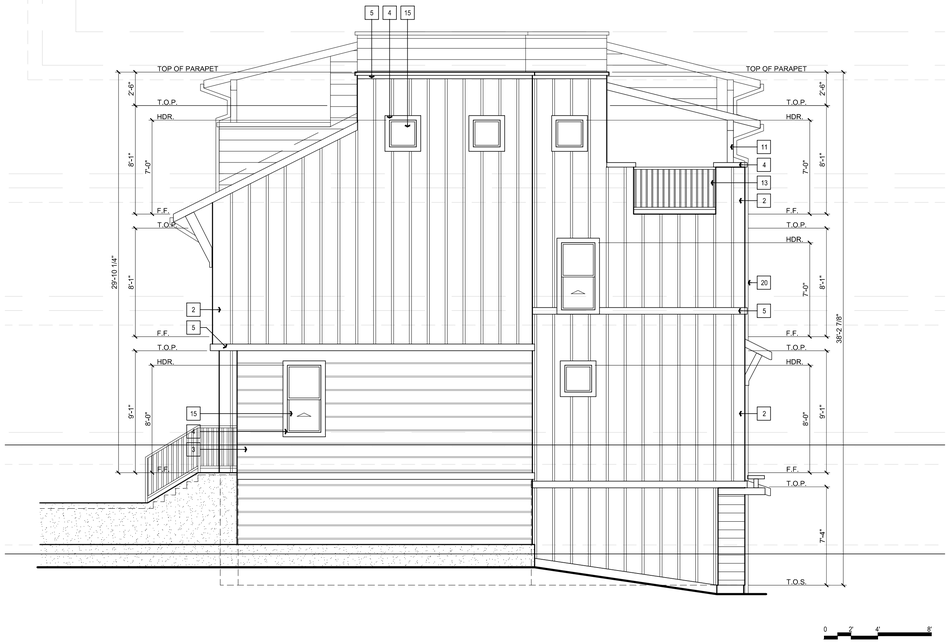
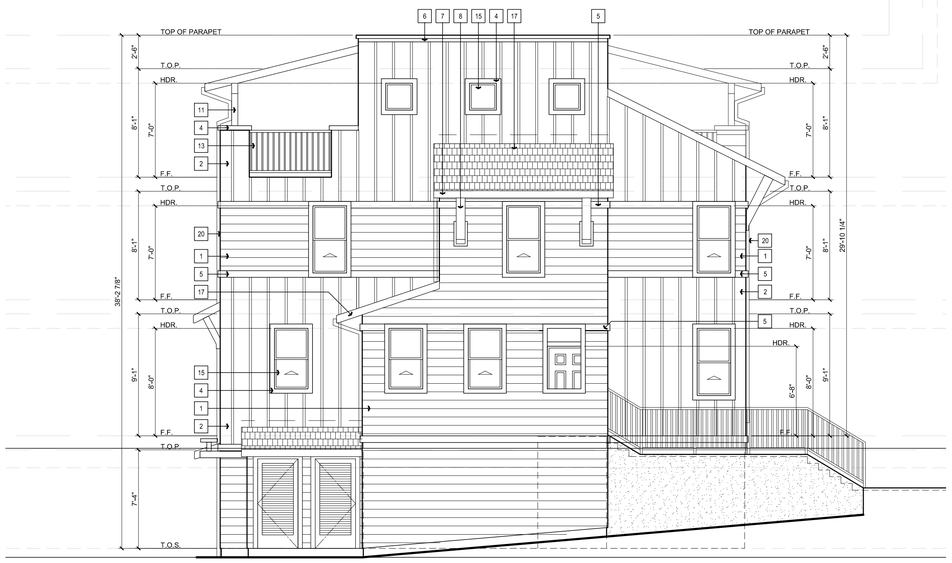


BLDG. 2 & 4 TYPE B - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 2 & 4 TYPE B - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
18	STANDING SEAM METAL ROOFING
19	SHED ROOF WITH WOOD KICKERS
20	ROOF DRAIN OR DOWNSPOUT
21	METAL LIGHT FIXTURE

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Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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BLDG. 2 & 4 TYPE B - EXTERIOR ELEVATIONS

A234

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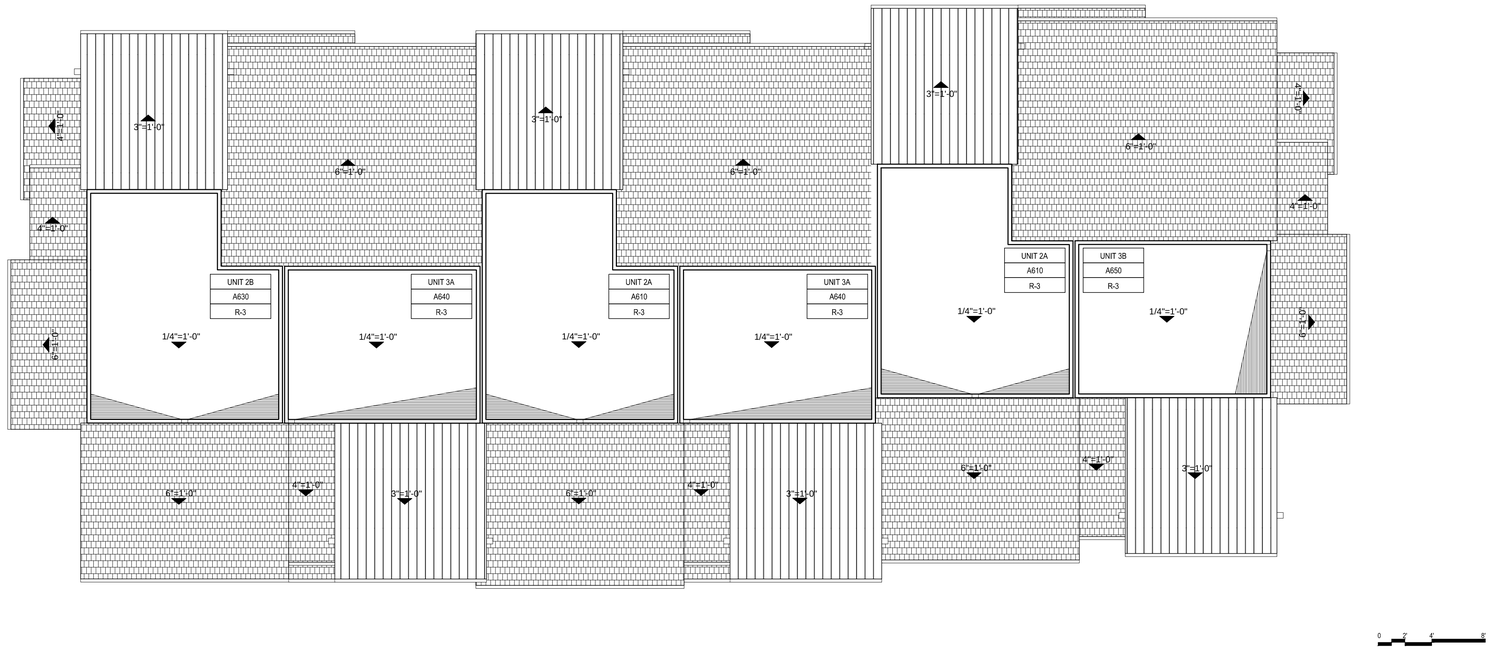

BLDG. 12 TYPE C - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

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BLDG. 12 TYPE C - ROOF PLAN

A240

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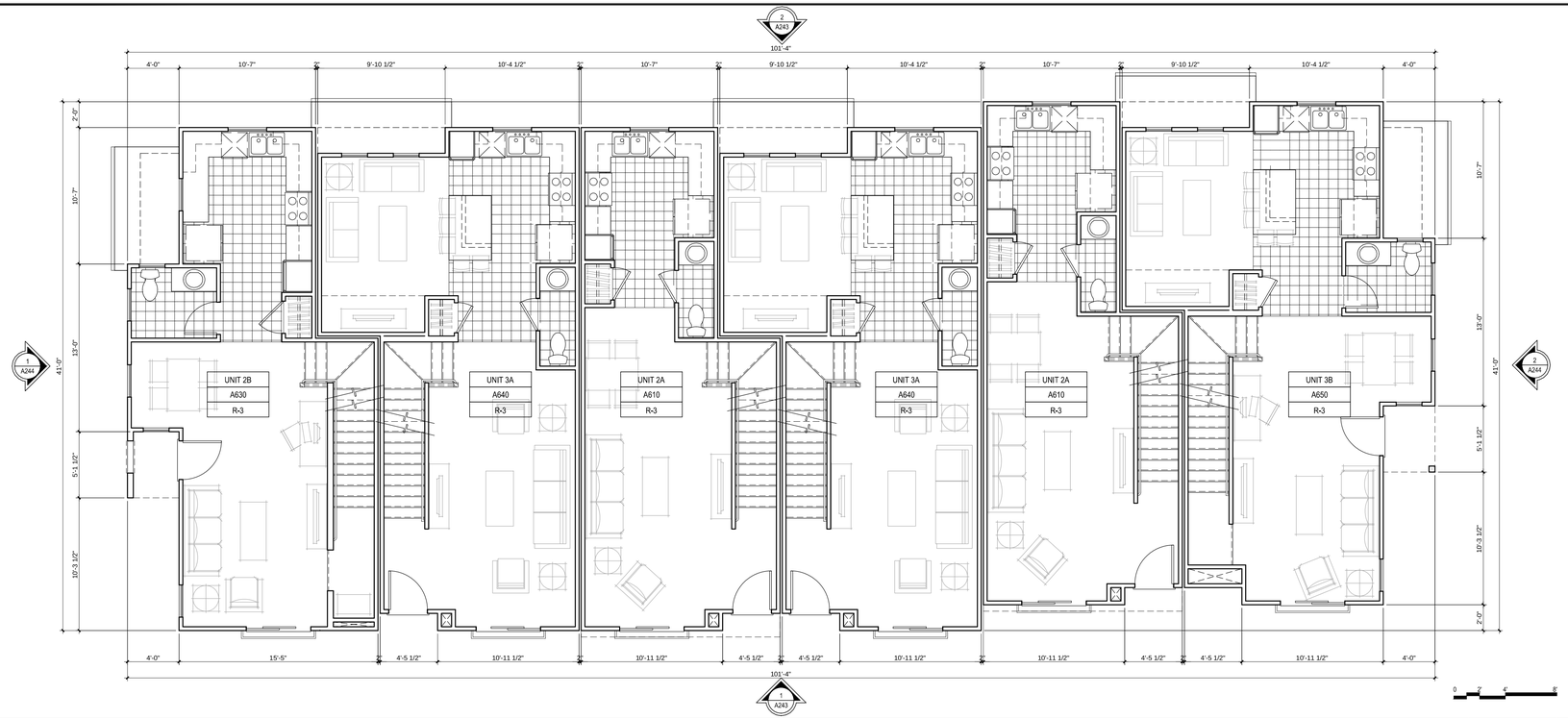
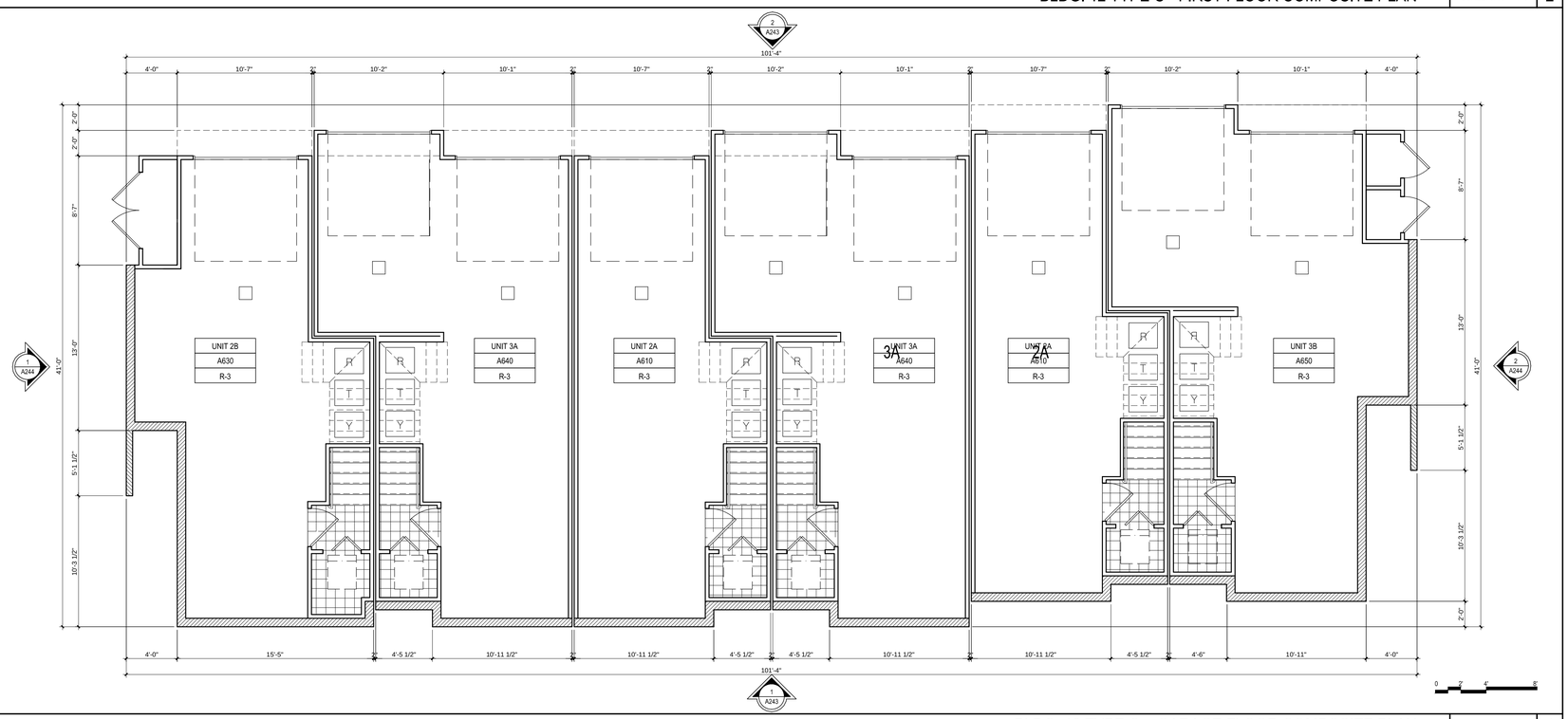


BLDG. 12 TYPE C - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 12 TYPE C - GARAGE FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
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BLDG. 12 TYPE C - GARAGE & FIRST FLOOR PLAN

A241

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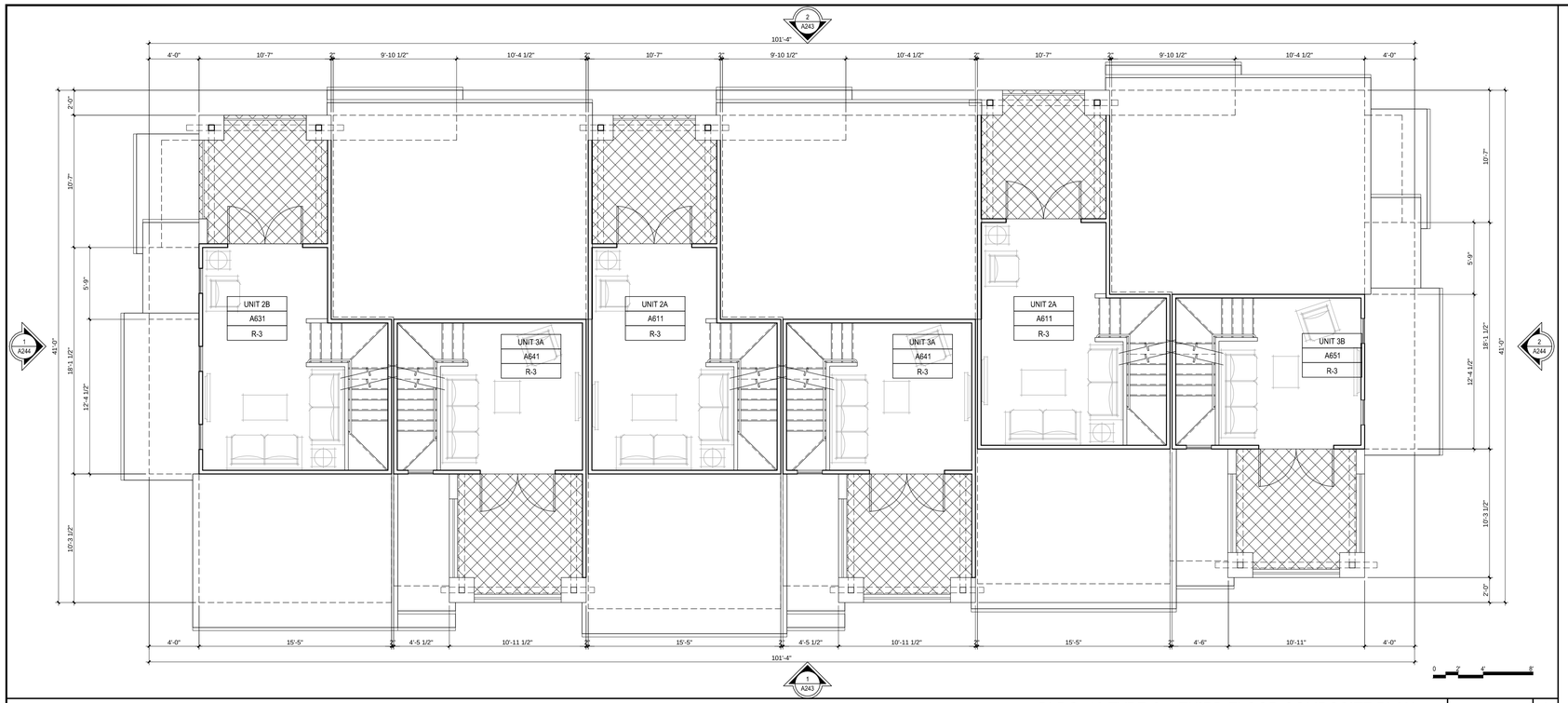
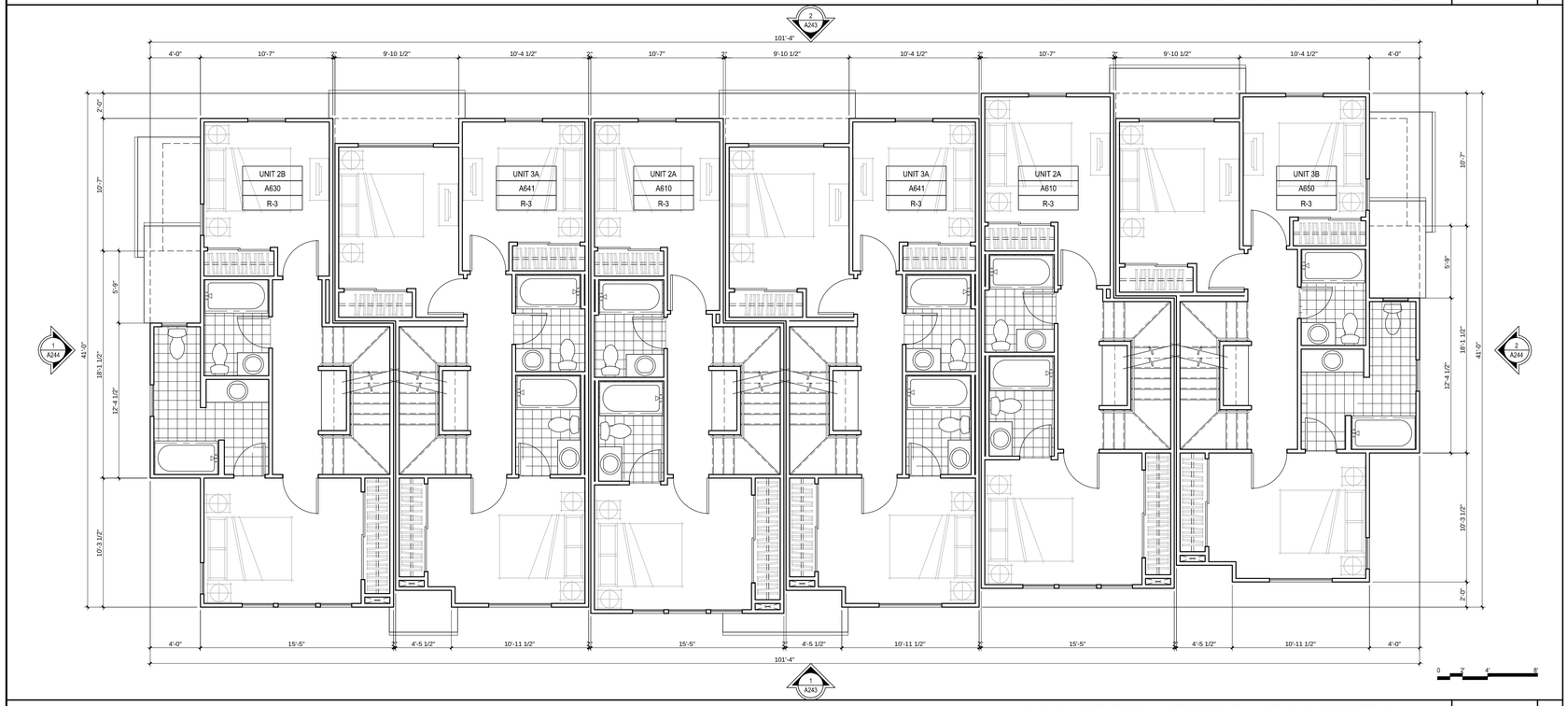


BLDG. 12 TYPE C - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 12 TYPE C - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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GARDEN VALLEY
DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor or subcontractor working on the work covered by such plans and specifications could reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BLDG. 12 TYPE C - SECOND & THIRD FLOOR PLAN

A242

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BLDG. 12 TYPE C - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2

BLDG. 12 TYPE C - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
18	STANDING SEAM METAL ROOFING
19	SHED ROOF WITH WOOD KICKERS
20	ROOF DRAIN OR DOWNSPOUT
21	METAL LIGHT FIXTURE

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BLDG. 12 TYPE C - EXTERIOR ELEVATIONS

A243

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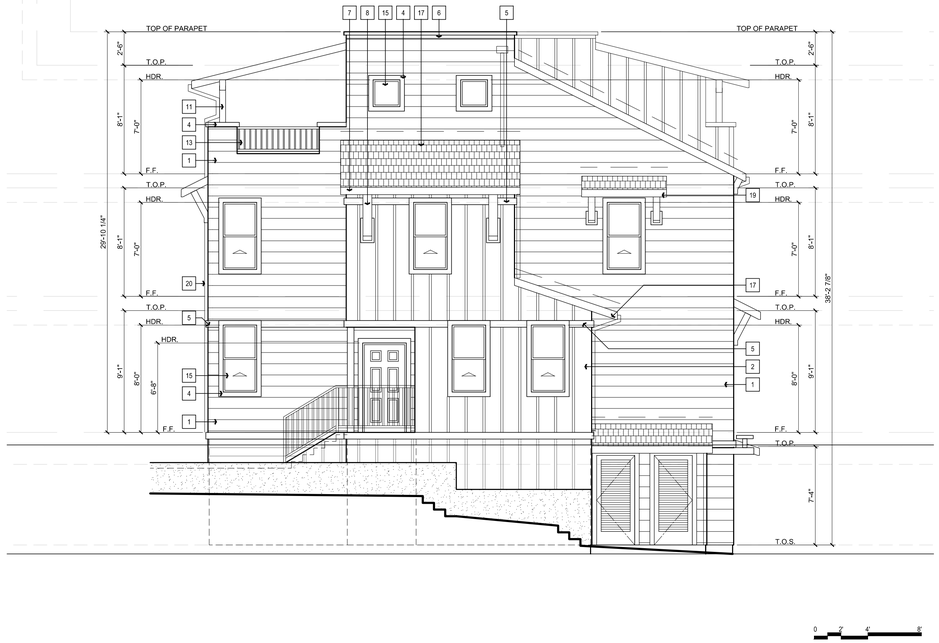
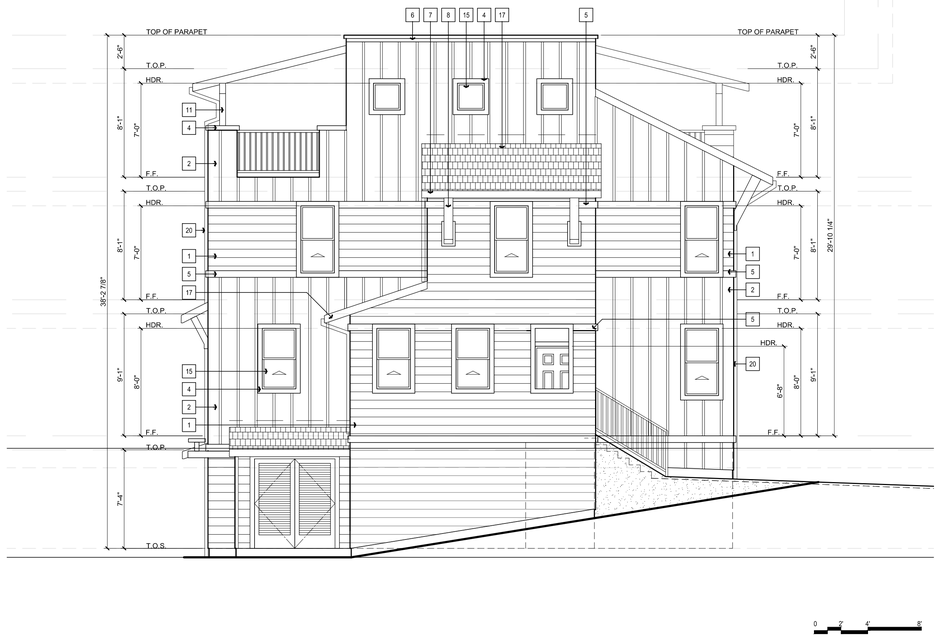


BLDG. 12 TYPE C - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 12 TYPE C - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
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No.	Date	Description
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BLDG. 12 TYPE C - EXTERIOR ELEVATIONS

A244

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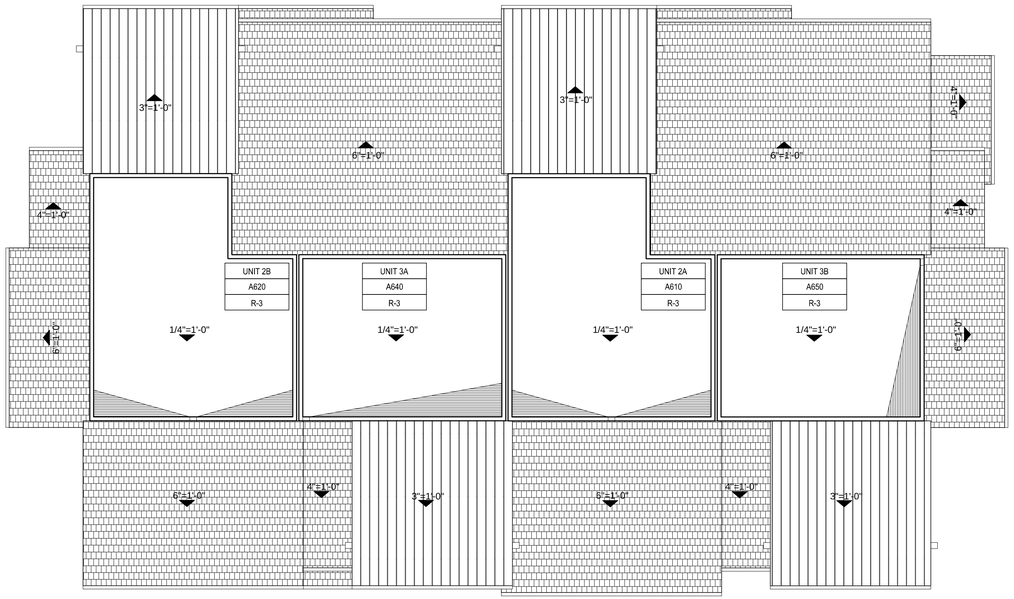

BLDG. 13 TYPE D - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

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BLDG. 13 TYPE D - ROOF PLAN

A250

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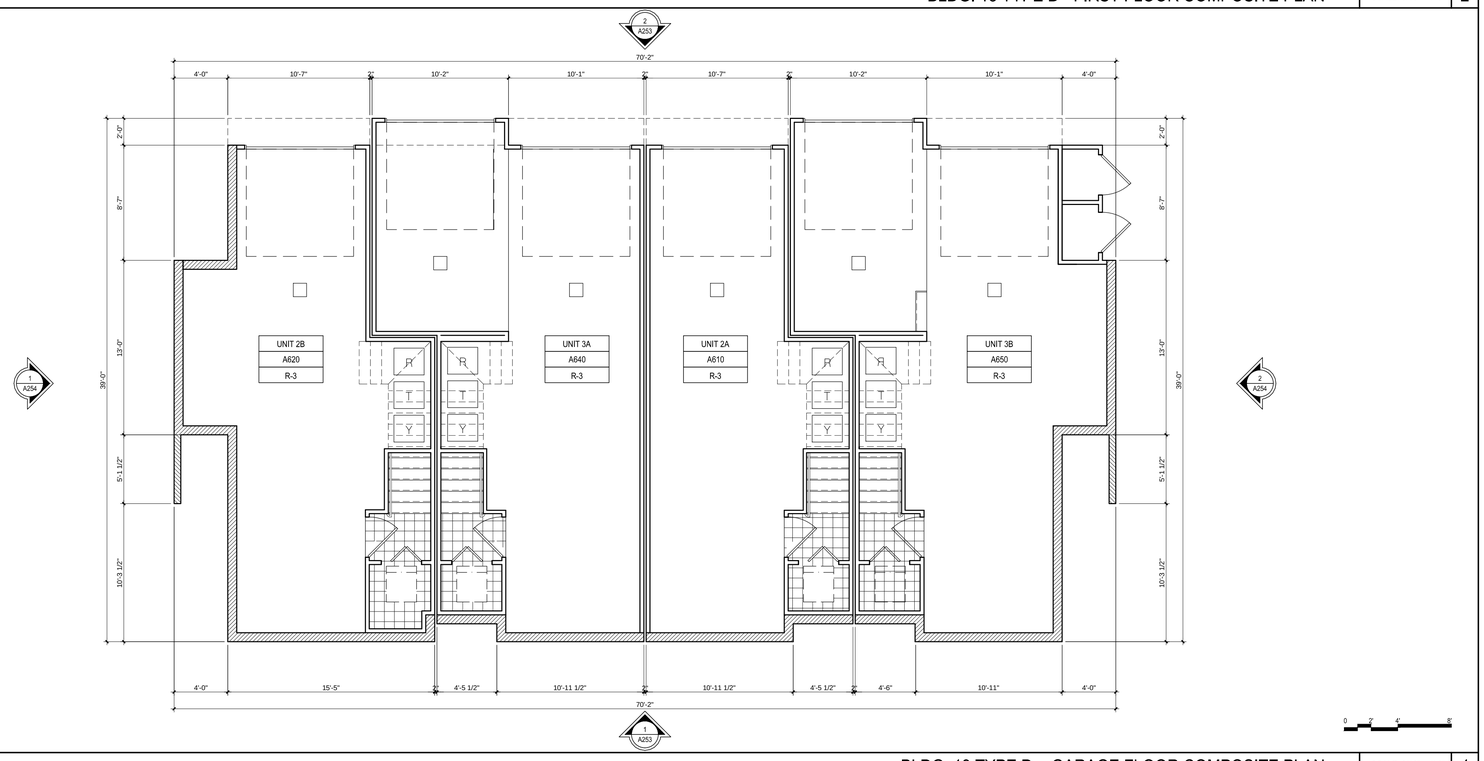
BLDG. 13 TYPE D - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 13 TYPE D - GARAGE FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 13 TYPE D - GARAGE & FIRST FLOOR PLAN

A251

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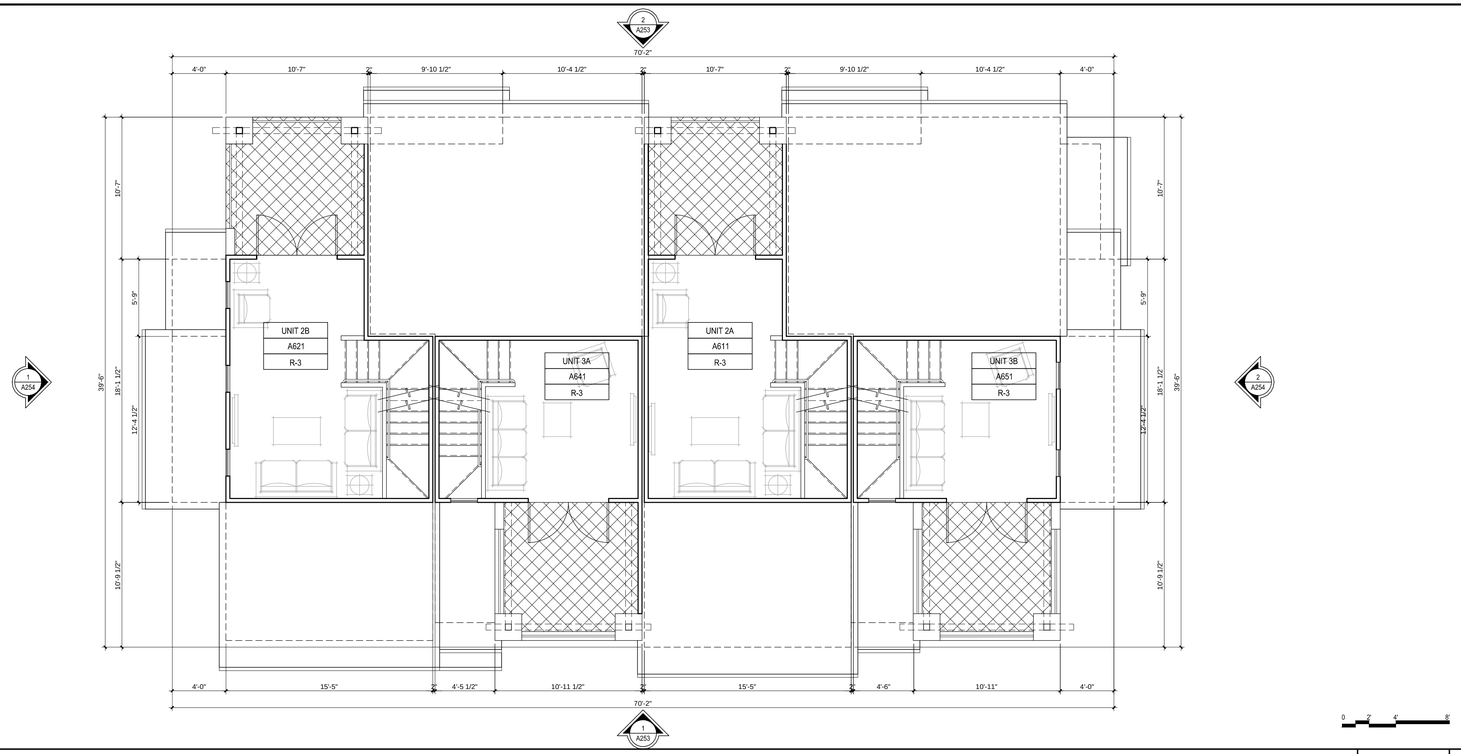
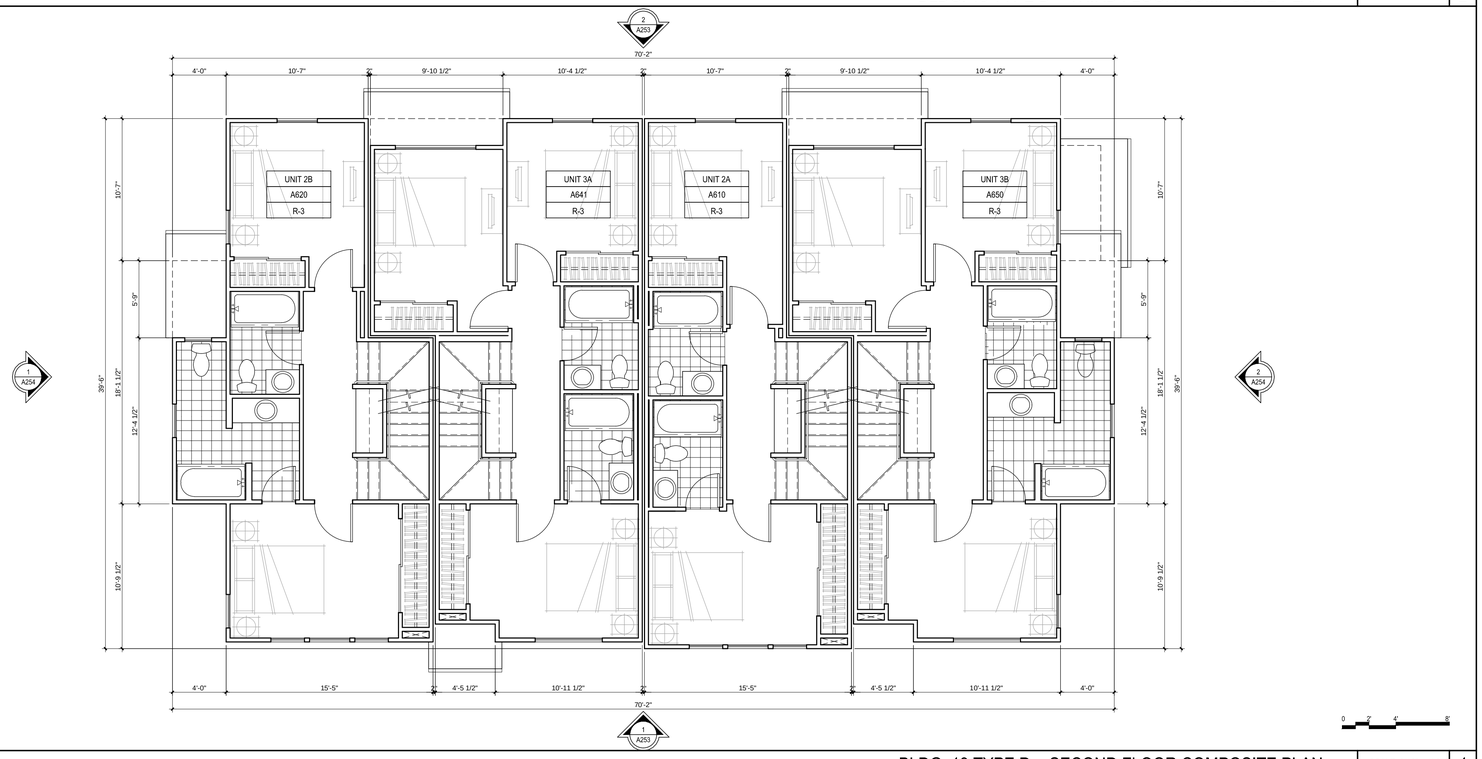


BLDG. 13 TYPE D - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 13 TYPE D - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 13 TYPE D - SECOND & THIRD FLOOR PLAN

A252

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BLDG. 13 TYPE D - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2

BLDG. 13 TYPE D - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
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BLDG. 13 TYPE D - EXTERIOR ELEVATIONS

A253

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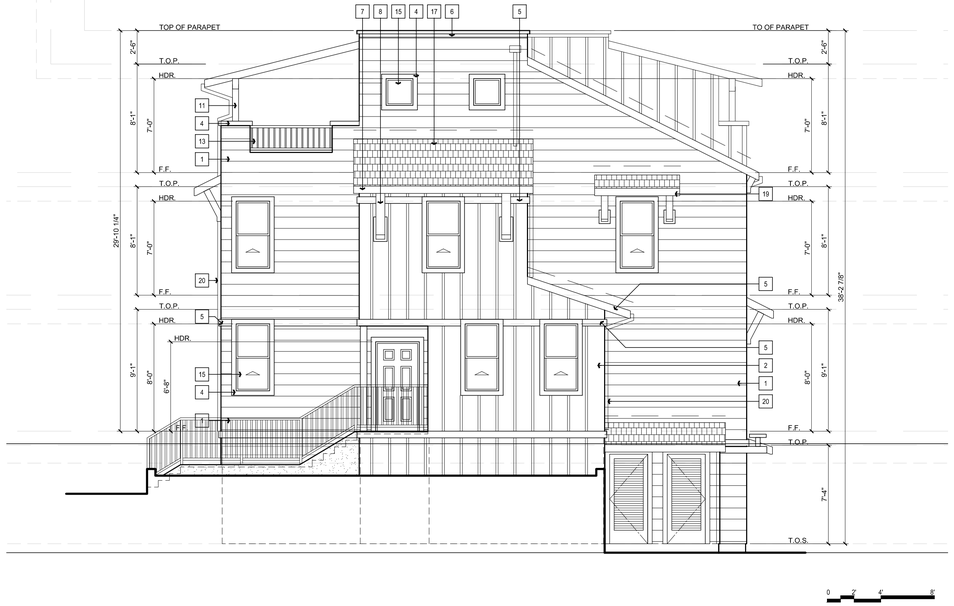
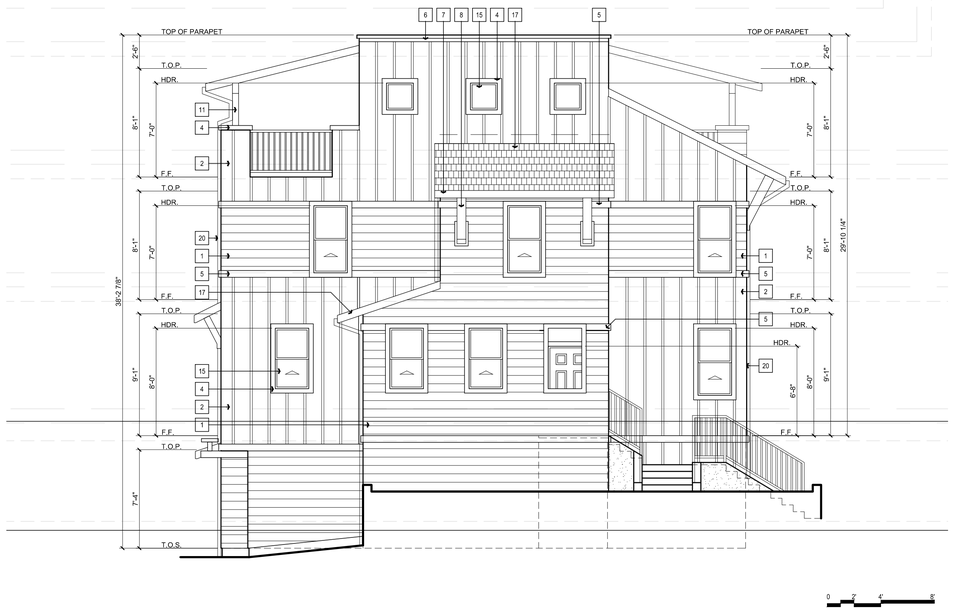


BLDG. 13 TYPE D - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 1



BLDG. 13 TYPE D - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
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BLDG. 13 TYPE D - EXTERIOR ELEVATIONS

A254

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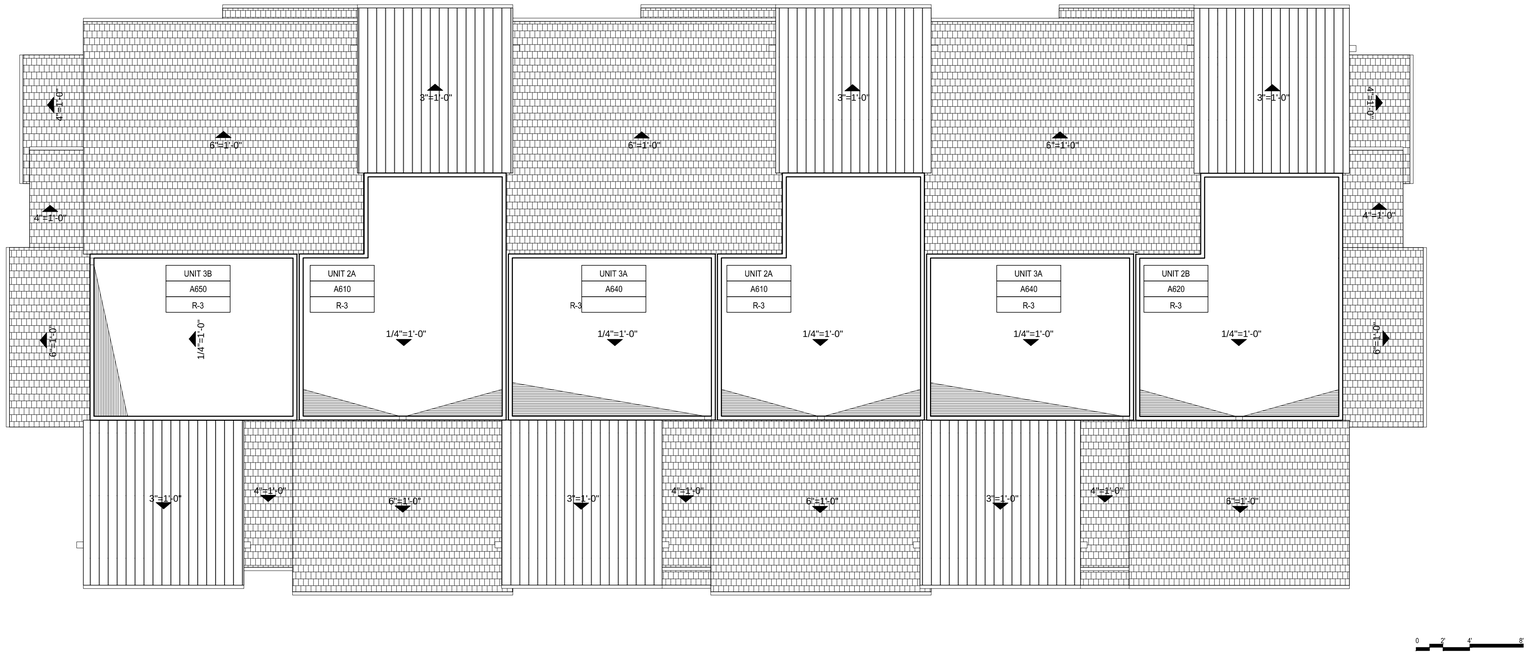

BLDG. 1, 6, 7 & 8 TYPE E - ROOF PLAN | SCALE: 3/16" = 1'-0" | 2

1

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BLDG. 1, 6, 7 & 8 TYPE E - ROOF PLAN

A260

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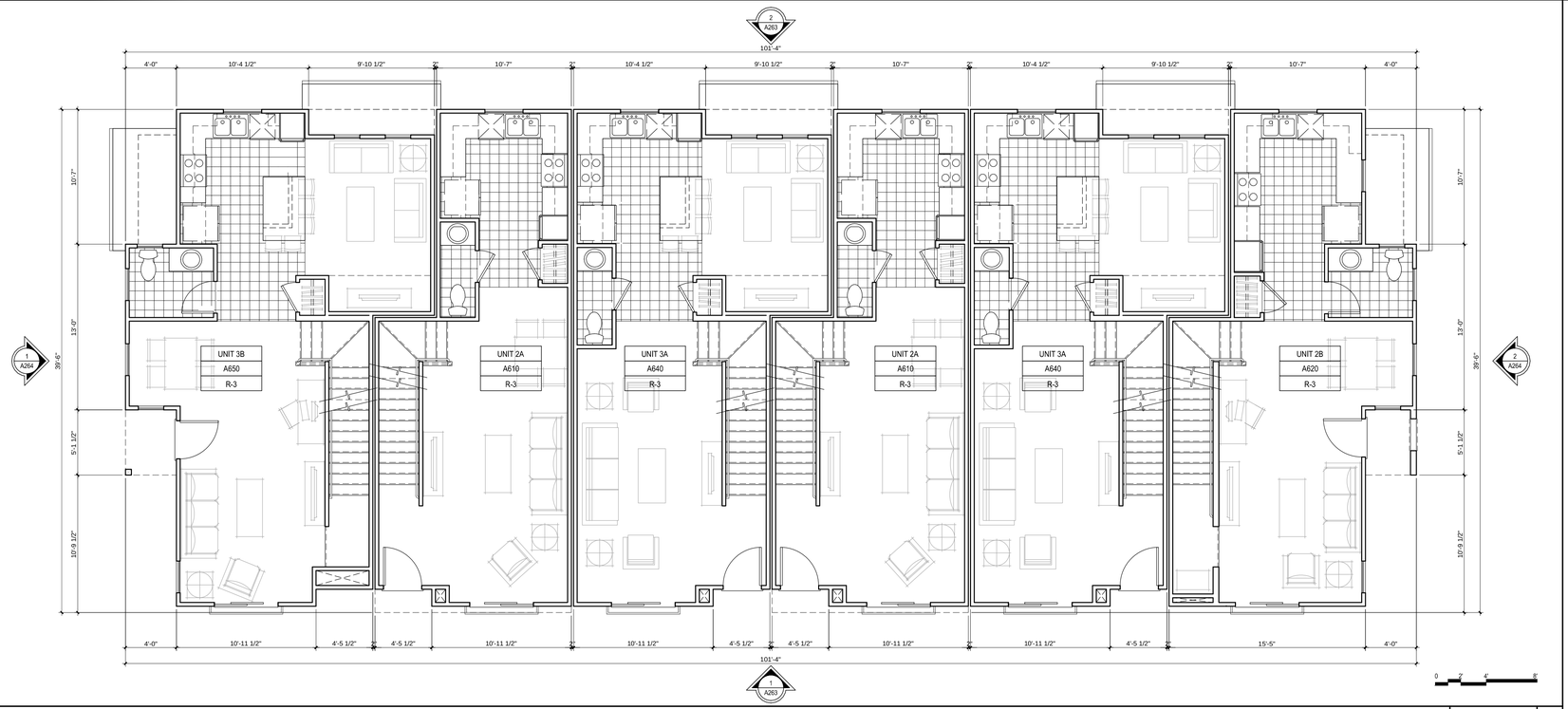
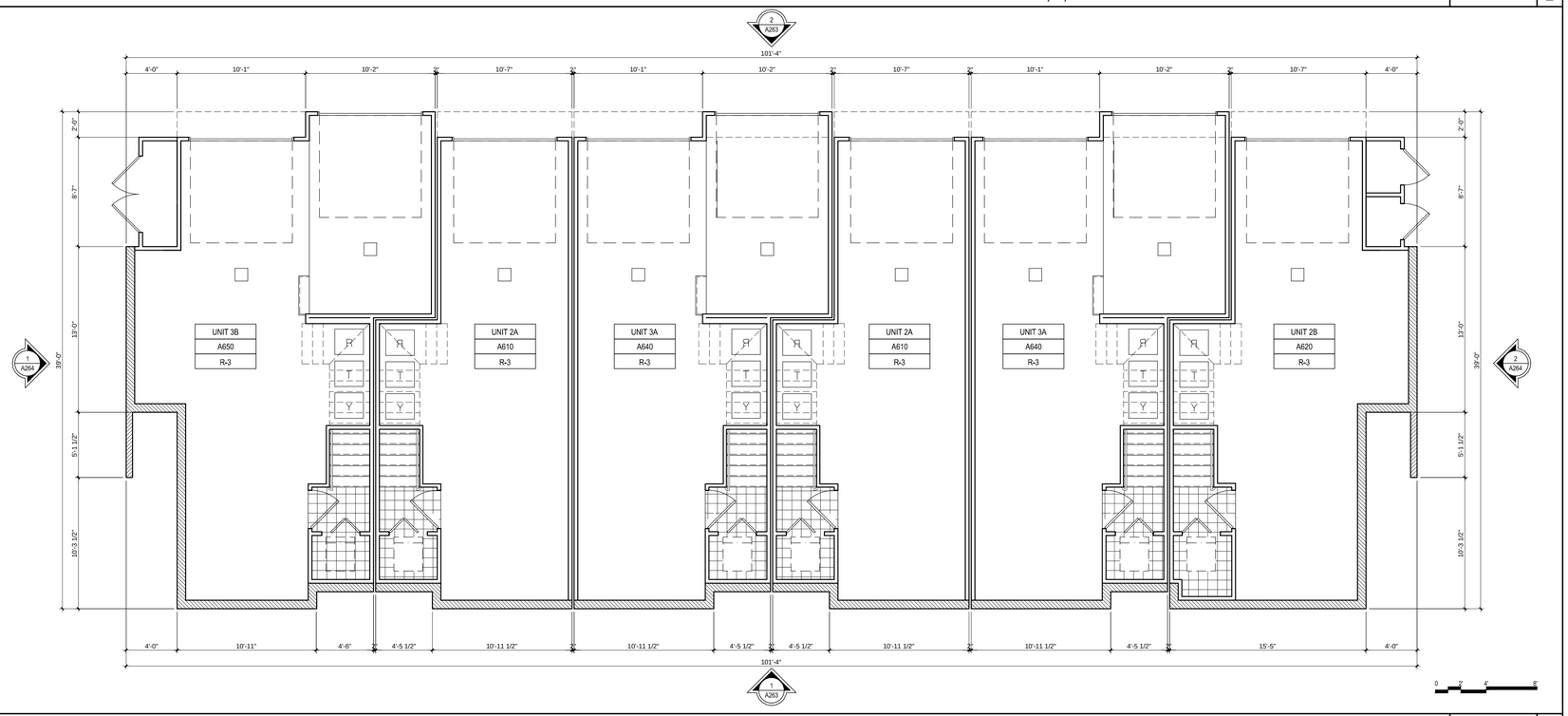


BLDG. 1, 6, 7 & 8 TYPE E - FIRST FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 1, 6, 7 & 8 TYPE E - GARAGE FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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BLDG. 1, 6, 7 & 8 TYPE E - GARAGE & FIRST FLOOR PLAN

A261

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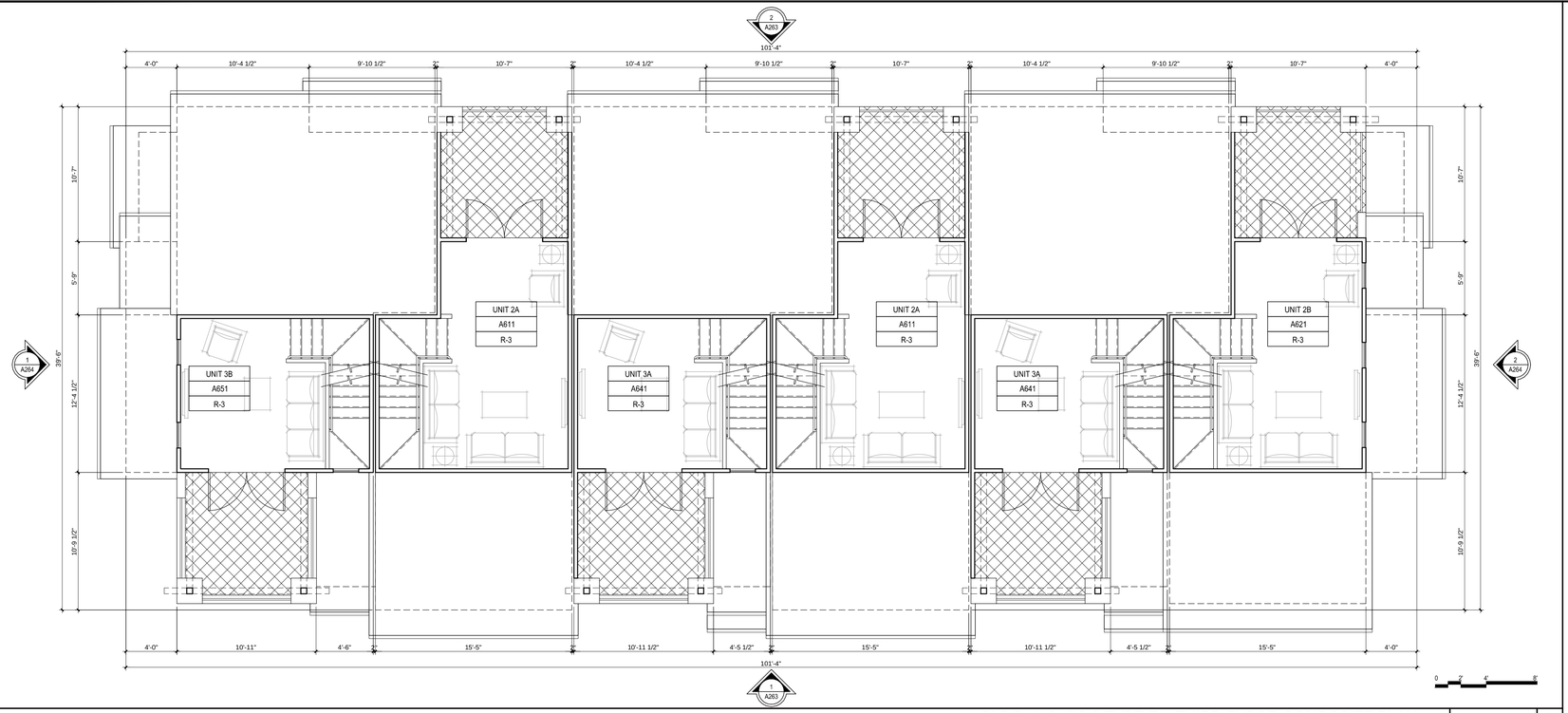
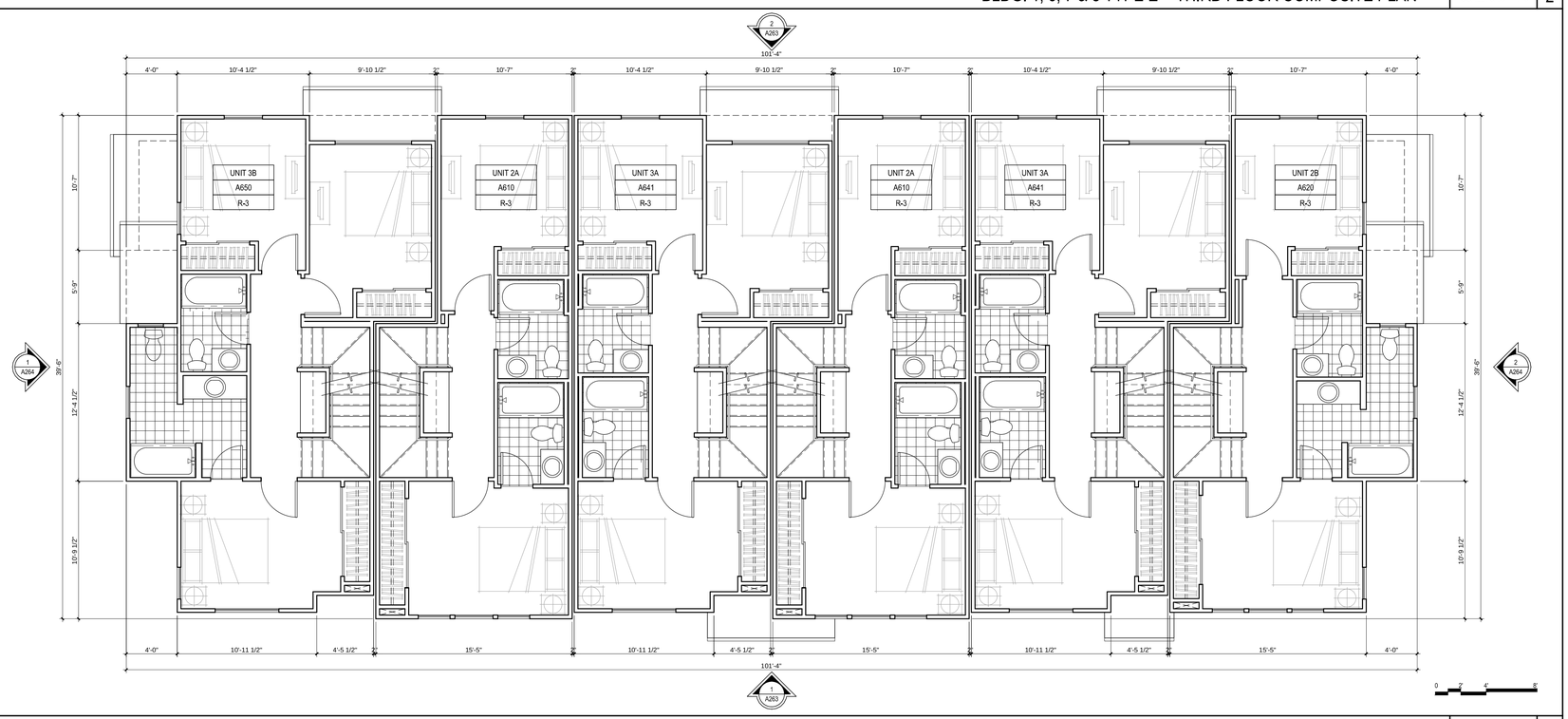


BLDG. 1, 6, 7 & 8 TYPE E - THIRD FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 2



BLDG. 1, 6, 7 & 8 TYPE E - SECOND FLOOR COMPOSITE PLAN | SCALE: 3/16" = 1'-0" | 1

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KTGY Project No: 20140065

Project Contact: Ryan Flautz
Email: rflautz@ktgy.com

Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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BLDG. 1, 6, 7 & 8 TYPE E - SECOND & THIRD FLOOR PLAN

A262

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BLDG. 1, 6, 7 & 8 TYPE E - REAR ELEVATION | SCALE: 3/16" = 1'-0" | 2

BLDG. 1, 6, 7 & 8 TYPE E - FRONT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" OI 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
18	STANDING SEAM METAL ROOFING
19	SHED ROOF WITH WOOD KICKERS
20	ROOF DRAIN OR DOWNSPOUT
21	METAL LIGHT FIXTURE

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BLDG. 1, 6, 7 & 8 TYPE E - EXTERIOR ELEVATIONS

A263

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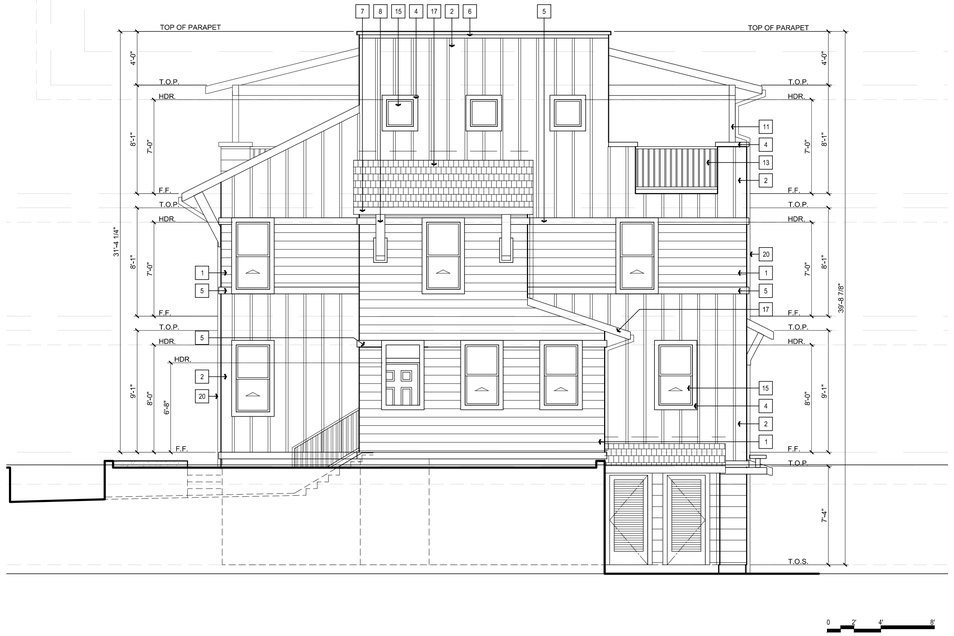
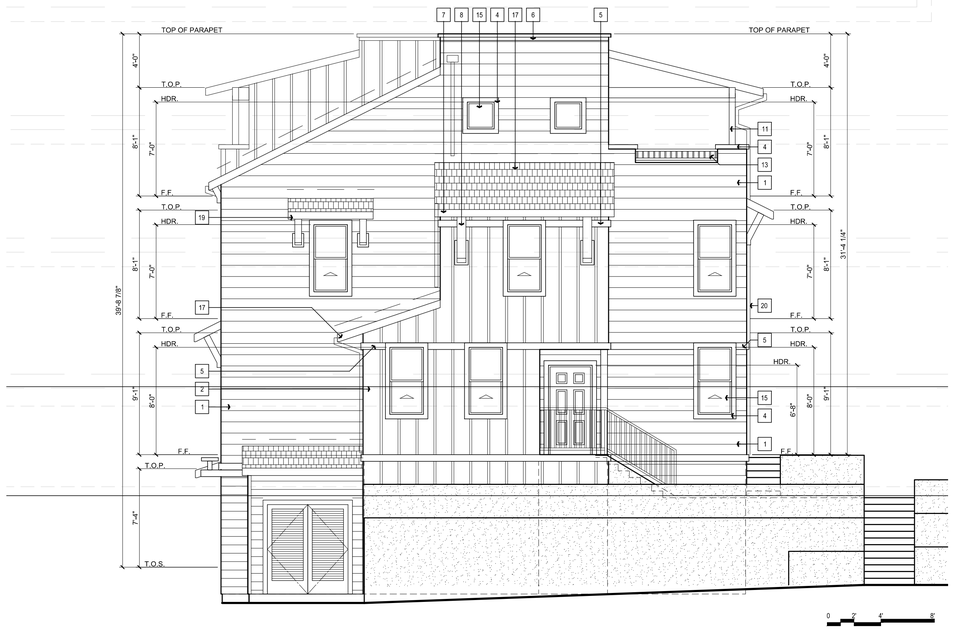


BLDG. 1, 6, 7 & 8 TYPE E - RIGHT ELEVATION | SCALE: 3/16" = 1'-0" | 2



BLDG. 1, 6, 7 & 8 TYPE E - LEFT ELEVATION | SCALE: 3/16" = 1'-0" | 1

ELEVATION KEYNOTES

#	DESCRIPTION
1	FIBER CEMENT SIDING
2	FIBER CEMENT BOARD & BATTEN
3	FIBER CEMENT DUTCH LAP SIDING
4	4" FIBER CEMENT TRIM
5	6" FIBER CEMENT TRIM
6	3" O/ 6" FIBER CEMENT TRIM
7	WOOD FASCIA
8	WOOD KICKER
9	WOOD TRELLIS
10	WOOD CORBEL
11	RESAWN CEDAR POST & BEAM
12	EXPOSED RAFTER TAILS
13	METAL RAILING
14	VINYL SLIDING GLASS DOOR
15	VINYL WINDOW
16	FIBERGLASS FRENCH DOOR
17	COMPOSITE SHINGLE ROOFING
18	STANDING SEAM METAL ROOFING
19	SHED ROOF WITH WOOD KICKERS
20	ROOF DRAIN OR DOWNSPOUT
21	METAL LIGHT FIXTURE

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BLDG. 1, 6, 7 & 8 TYPE E - EXTERIOR ELEVATIONS

A264

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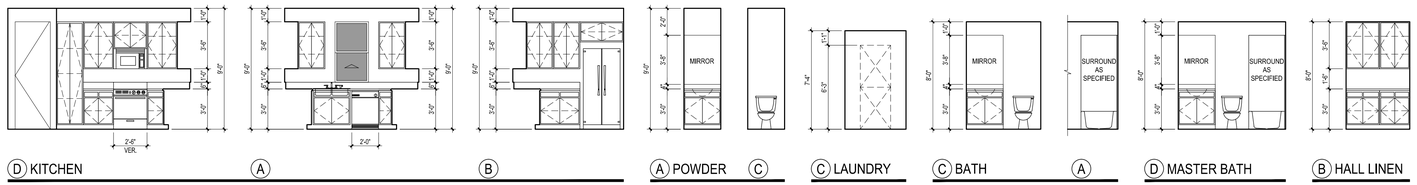
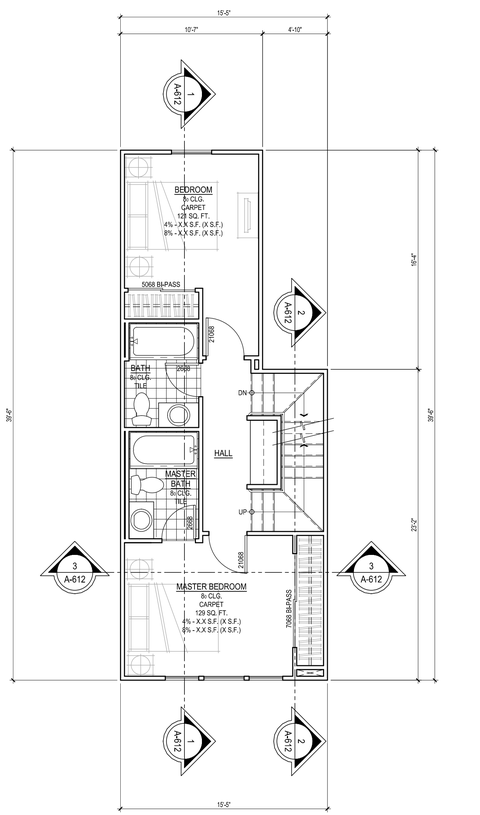


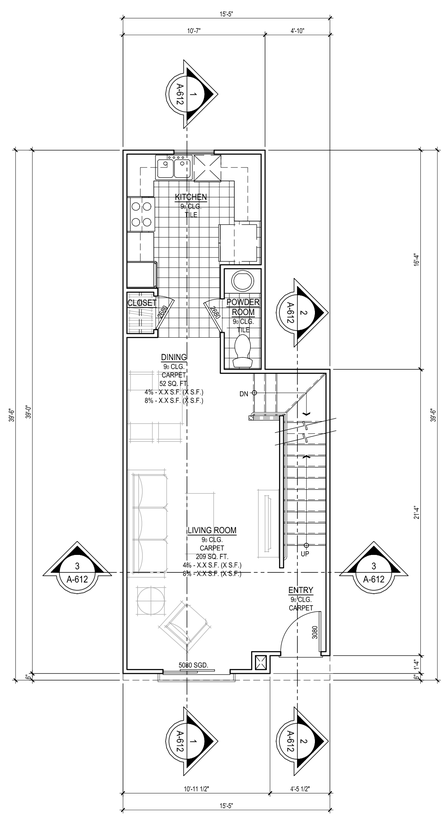
UNIT 2A - INTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0" | 4



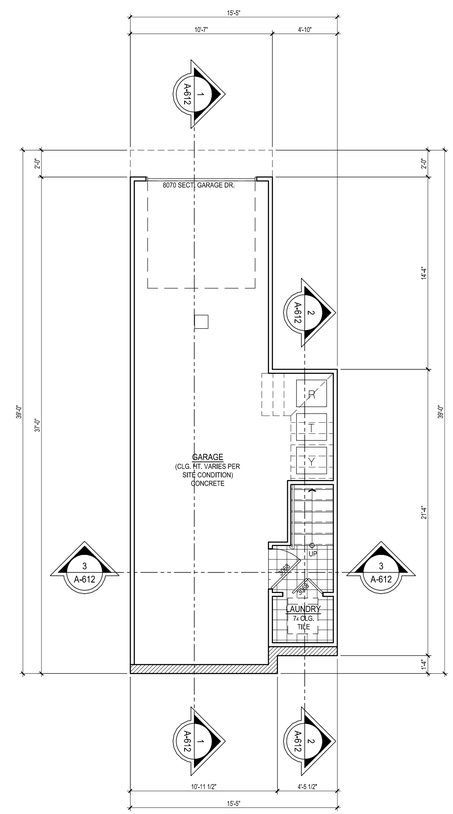
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 3



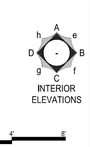
FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" | 2



GARAGE & GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 1



FLOOR PLAN AREAS

PLAN 2A:

GROUND FLOOR:	60 SQ. FT.
FIRST FLOOR:	516 SQ. FT.
SECOND FLOOR:	530 SQ. FT.
THIRD FLOOR:	228 SQ. FT.
TOTAL LIVING SPACE:	1,334 SQ. FT.
TOTAL GARAGE SPACE:	435 SQ. FT.
TOTAL EXTERIOR COVERED DECK	109 SQ. FT.
TOTAL COMBINED:	1,878 SQ. FT.

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UNIT 2A - GARAGE, FIRST & SECOND FLOOR PLAN & INT. ELEV.

A610

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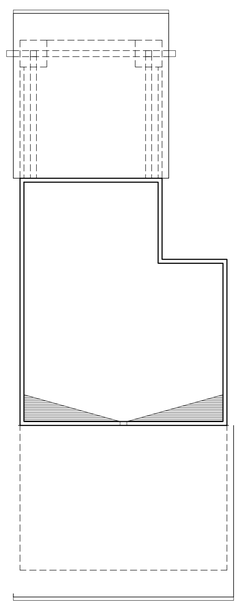
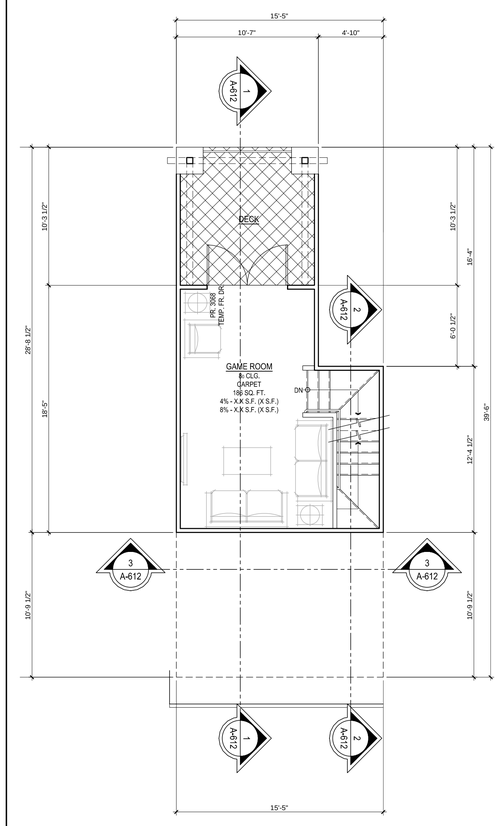


ROOF PLAN | SCALE: 3/16" = 1'-0" | 2



THIRD FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

FLOOR PLAN AREAS

PLAN 2A:

GROUND FLOOR:	60 SQ. FT.
FIRST FLOOR:	516 SQ. FT.
SECOND FLOOR:	530 SQ. FT.
THIRD FLOOR:	228 SQ. FT.
TOTAL LIVING SPACE:	1,334 SQ. FT.
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UNIT 2A - THIRD FLOOR PLAN & ROOF PLAN

A611

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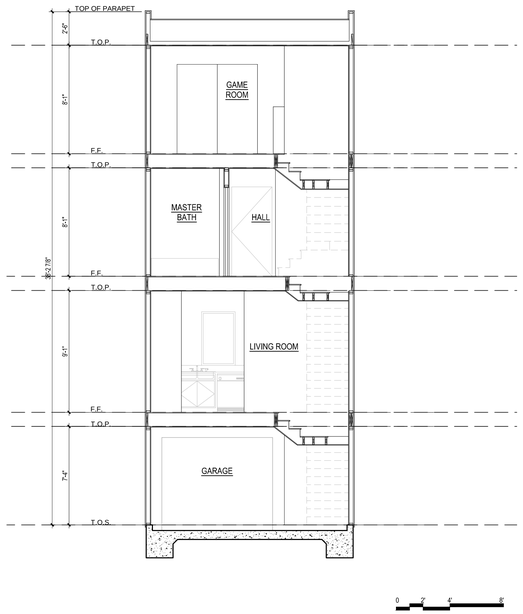
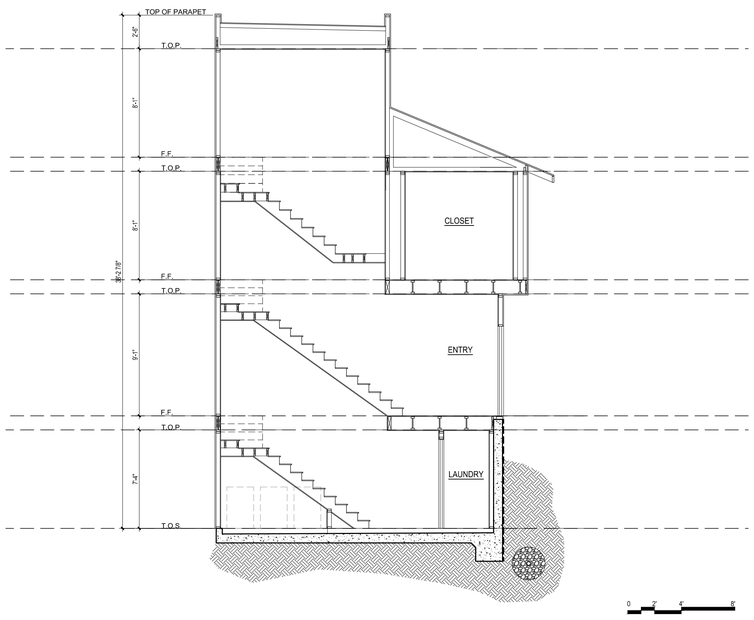
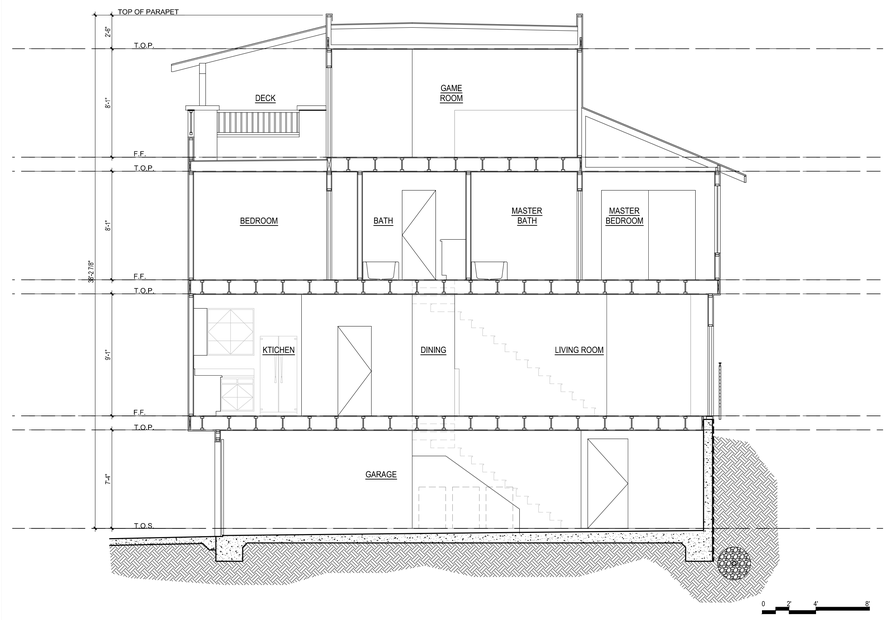


4 UNIT 2A - SECTIONS SCALE: 3/16" = 1'-0" 3



UNIT 2A - SECTIONS SCALE: 3/16" = 1'-0" 2



UNIT 2A - SECTIONS SCALE: 3/16" = 1'-0" 1

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UNIT 2A - SECTIONS & STAIR SECTIONS

A612

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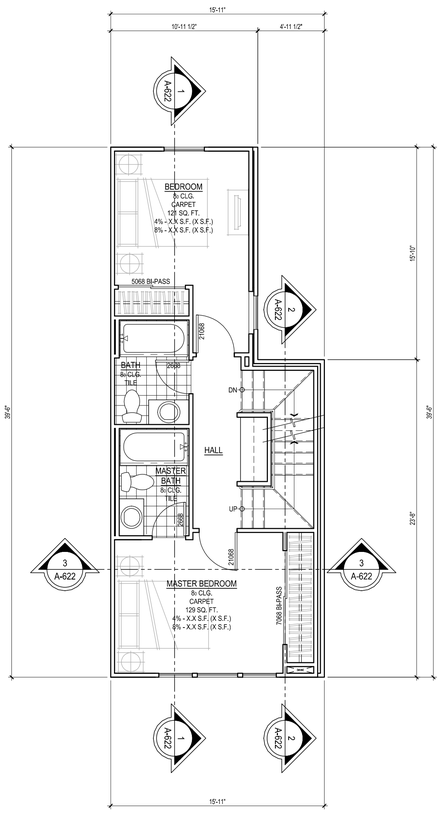
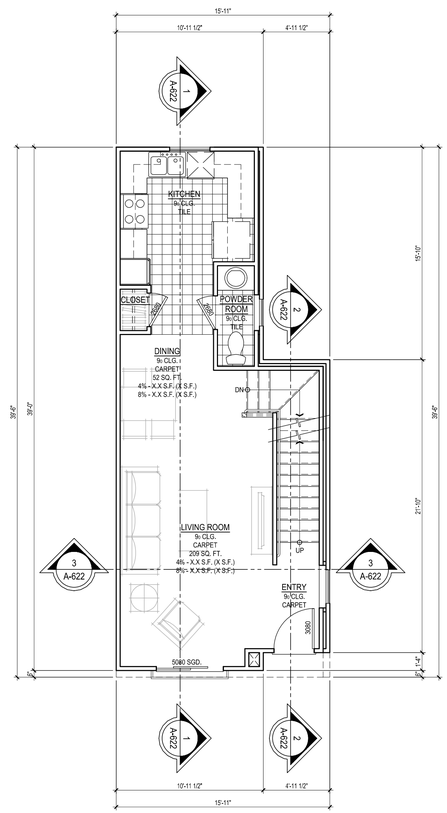
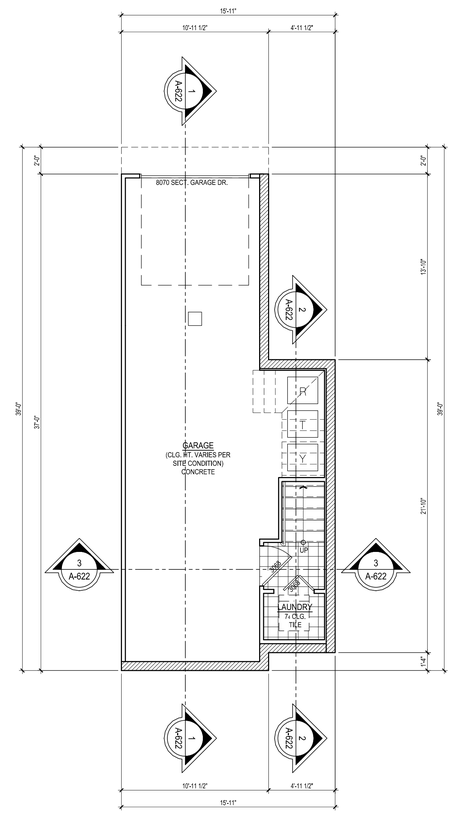


SECOND FLOOR PLAN | SCALE: 3/16" = 1'-0" | 3



FIRST FLOOR PLAN | SCALE: 3/16" = 1'-0" | 2



GARAGE & GROUND FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

REFER TO SHEET A610 FOR INTERIOR ELEVATIONS

FLOOR PLAN AREAS

PLAN 2A-ALT:

GROUND FLOOR:	67 SQ. FT.
FIRST FLOOR:	536 SQ. FT.
SECOND FLOOR:	550 SQ. FT.
THIRD FLOOR:	236 SQ. FT.
TOTAL LIVING SPACE:	1,389 SQ. FT.
TOTAL GARAGE SPACE:	447 SQ. FT.
TOTAL EXTERIOR COVERED DECK	113 SQ. FT.
TOTAL COMBINED:	1,949 SQ. FT.

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UNIT 2A ALT. - GARAGE, FIRST & SECOND FLOOR PLAN & INT. ELEV.

A620

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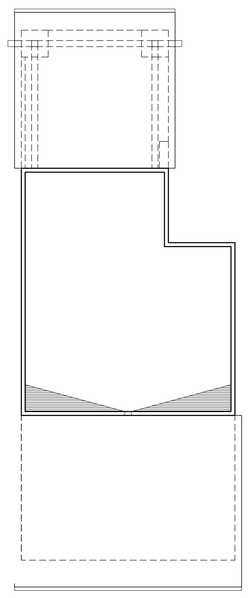
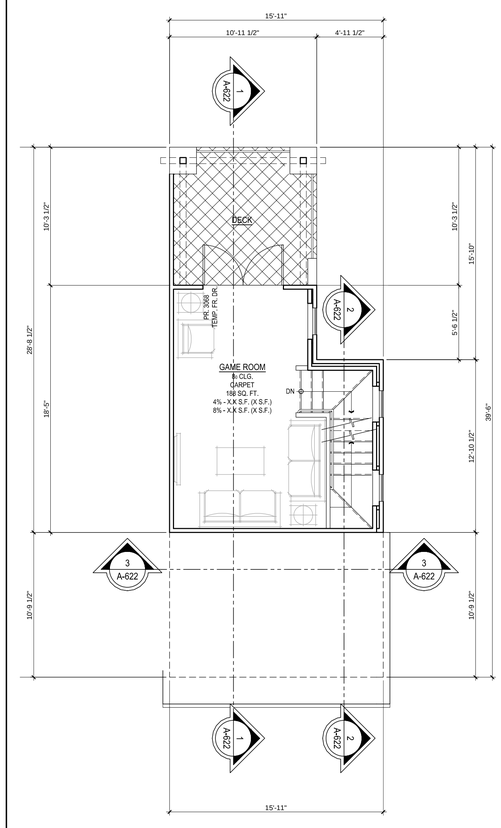


ROOF PLAN | SCALE: 3/16" = 1'-0" | 2



REFER TO SHEET A610 FOR INTERIOR ELEVATIONS

THIRD FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

FLOOR PLAN AREAS

PLAN 2A-ALT:

GROUND FLOOR:	67 SQ. FT.
FIRST FLOOR:	536 SQ FT.
SECOND FLOOR:	550 SQ FT.
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UNIT 2A ALT. - THIRD FLOOR PLAN & ROOF PLAN

A621

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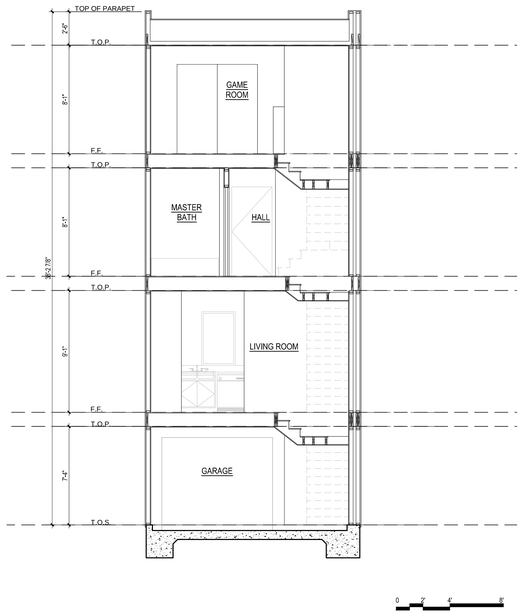
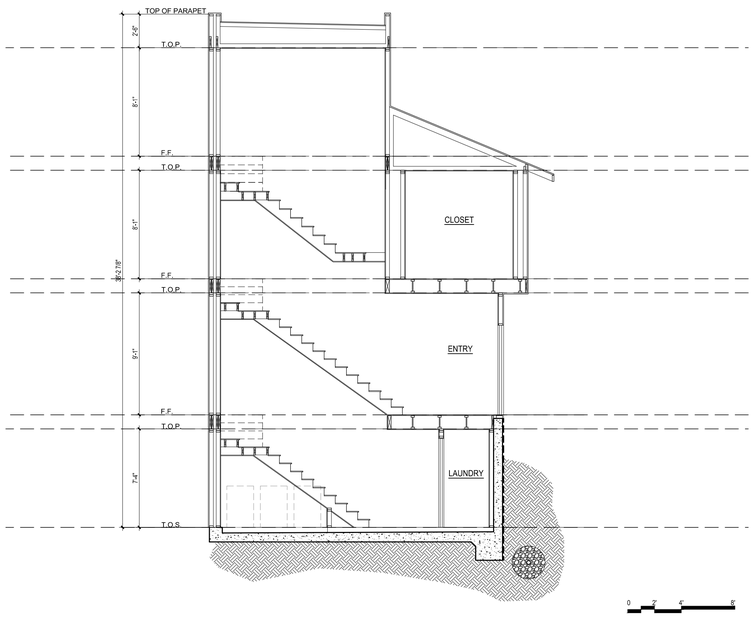
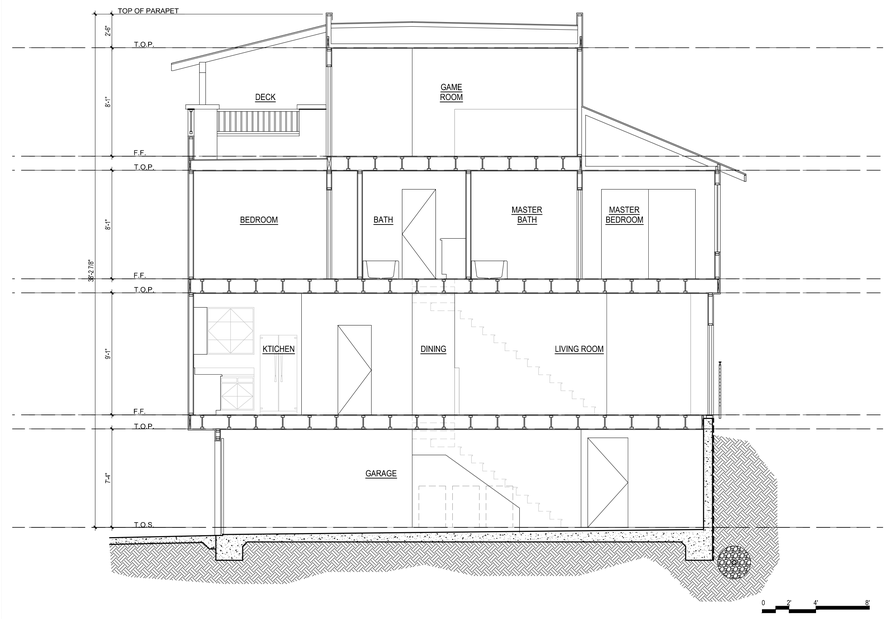


4 UNIT 2A ALT - SECTIONS SCALE: 3/16" = 1'-0" 3



UNIT 2A ALT - SECTIONS SCALE: 3/16" = 1'-0" 2



UNIT 2A ALT - SECTIONS SCALE: 3/16" = 1'-0" 1

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UNIT 2A ALT. - SECTIONS & STAIR SECTIONS

A622

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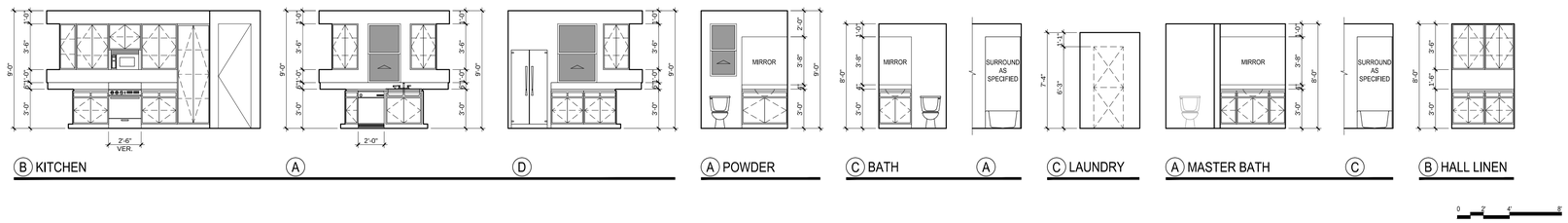
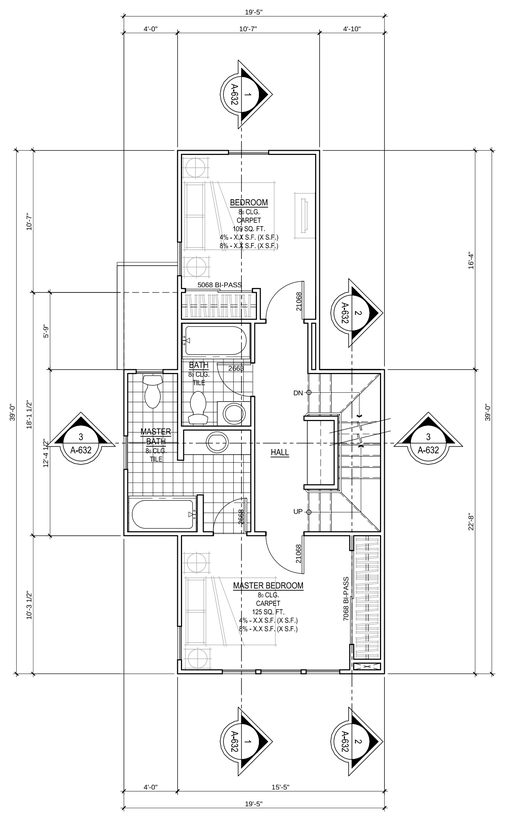


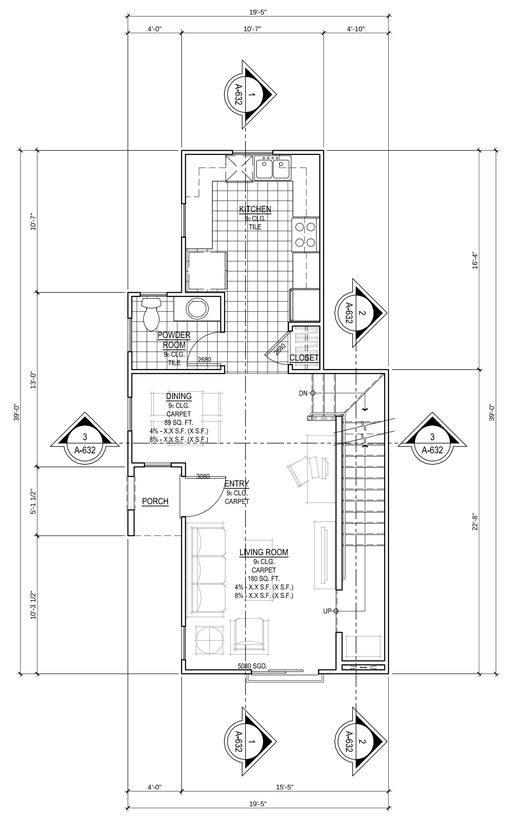
UNIT 2B - INTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0" | 4



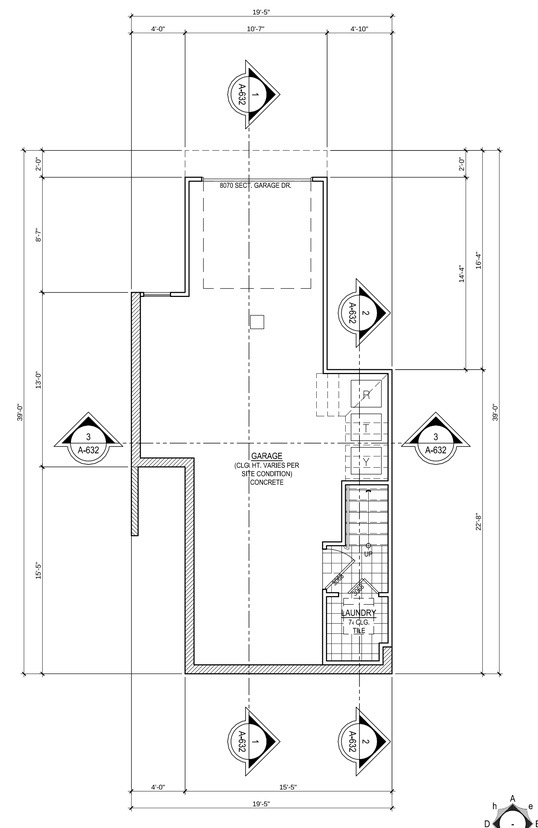
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 3



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" | 2



GARAGE FLOOR PLAN

SCALE: 3/16" = 1'-0" | 1

INTERIOR ELEVATIONS

FLOOR PLAN AREAS

PLAN 2B:

GROUND FLOOR:	68 SQ. FT.
FIRST FLOOR:	574 SQ. FT.
SECOND FLOOR:	572 SQ. FT.
THIRD FLOOR:	278 SQ. FT.
TOTAL LIVING SPACE:	1,492 SQ. FT.
TOTAL GARAGE SPACE:	485 SQ. FT.
TOTAL EXTERIOR COVERED DECK	109 SQ. FT.
TOTAL COMBINED:	2,086 SQ. FT.

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UNIT 2B - GARAGE, FIRST & SECOND FLOOR PLAN & INT. ELEV.

A630

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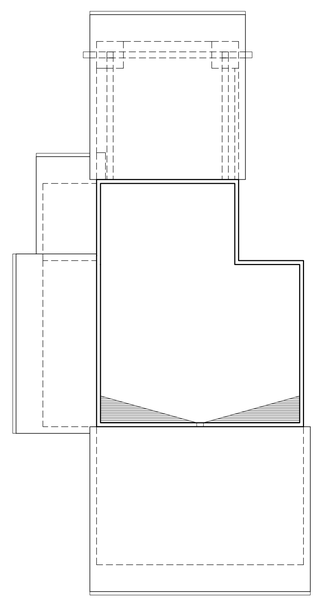
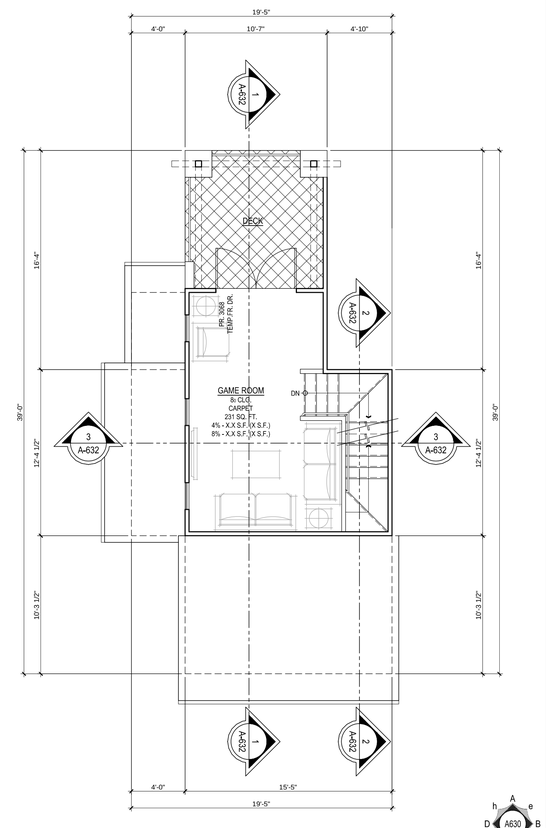


ROOF PLAN | SCALE: 3/16" = 1'-0" | 2



THIRD FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

INTERIOR ELEVATIONS

FLOOR PLAN AREAS

PLAN 2B:

GROUND FLOOR:	68 SQ. FT.
FIRST FLOOR:	574 SQ. FT.
SECOND FLOOR:	572 SQ. FT.
THIRD FLOOR:	278 SQ. FT.
TOTAL LIVING SPACE:	1,492 SQ. FT.
TOTAL GARAGE SPACE:	485 SQ. FT.
TOTAL EXTERIOR COVERED DECK	109 SQ. FT.
TOTAL COMBINED:	2,086 SQ. FT.

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KTGY Project No: 20140065

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Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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UNIT 2B - THIRD FLOOR PLAN & ROOF PLAN

A631

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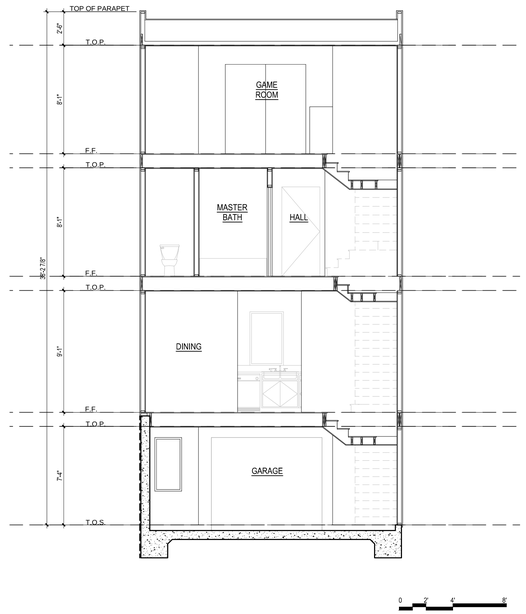
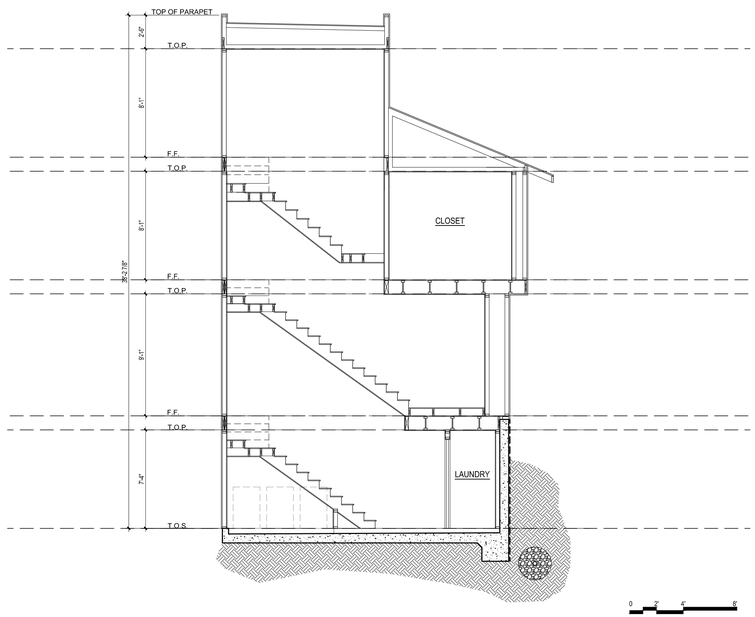
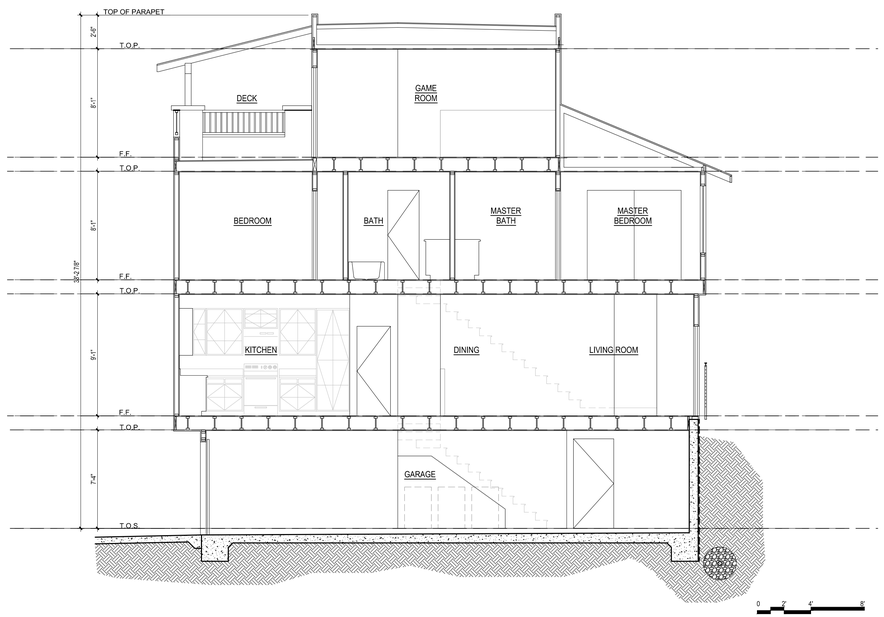


4 UNIT 2B - SECTIONS SCALE: 3/16" = 1'-0" 3



UNIT 2B - SECTIONS SCALE: 3/16" = 1'-0" 2



UNIT 2B - SECTIONS SCALE: 3/16" = 1'-0" 1

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GARDEN VALLEY
DALY CITY, CA

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UNIT 2B - SECTIONS & STAIR SECTIONS

A632

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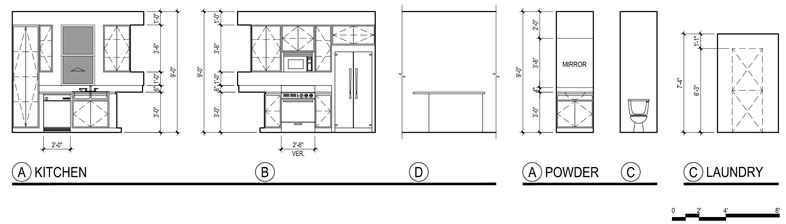
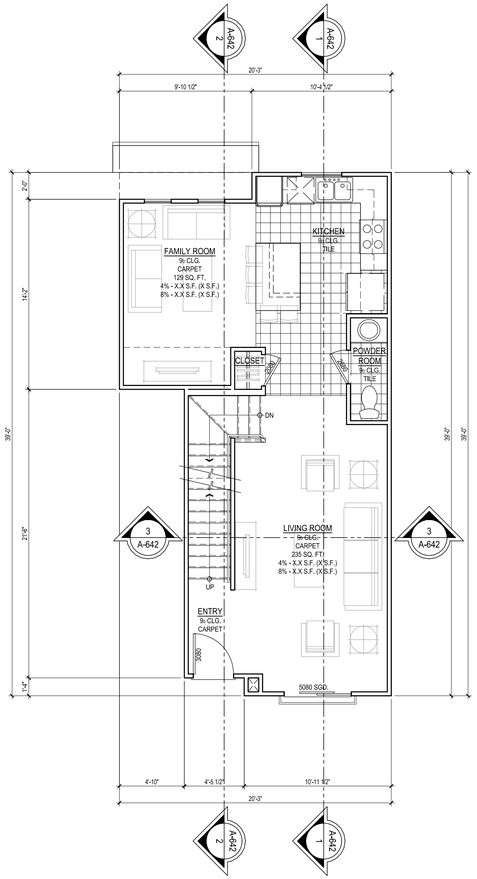


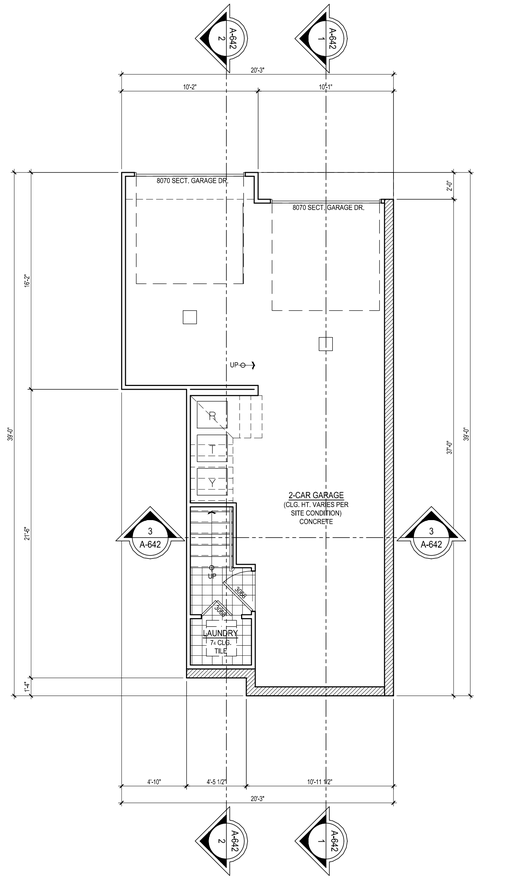
UNIT 3A - INTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0" | 4



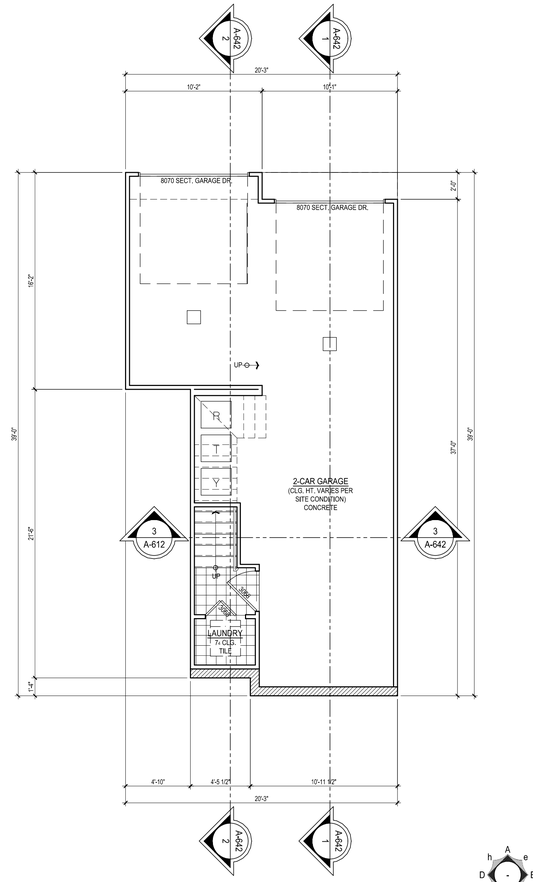
FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" | 3



GARAGE ALT & GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 2



GARAGE & GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 1

INTERIOR ELEVATIONS

FLOOR PLAN AREAS

PLAN 3A:

GROUND FLOOR:	60 SQ. FT.
FIRST FLOOR:	654 SQ. FT.
SECOND FLOOR:	654 SQ. FT.
THIRD FLOOR:	165 SQ. FT.
TOTAL LIVING SPACE:	1,533 SQ. FT.
TOTAL GARAGE SPACE:	593 SQ. FT.
TOTAL EXTERIOR COVERED DECK	153 SQ. FT.
TOTAL COMBINED:	2,279 SQ. FT.

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Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

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UNIT 3A - GARAGE, GARAGE-ALT & FIRST FLOOR PLAN & INT. ELEV.

A640

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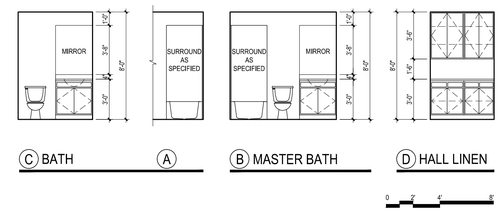
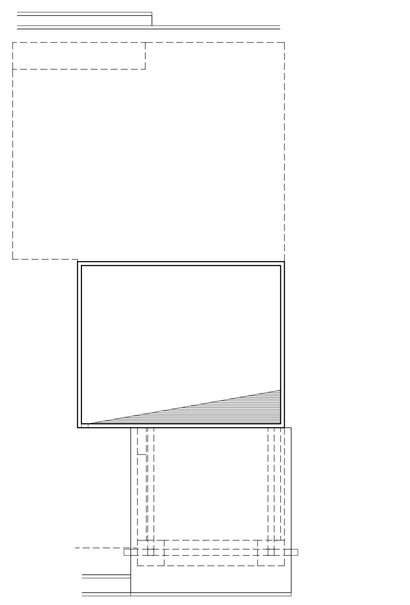
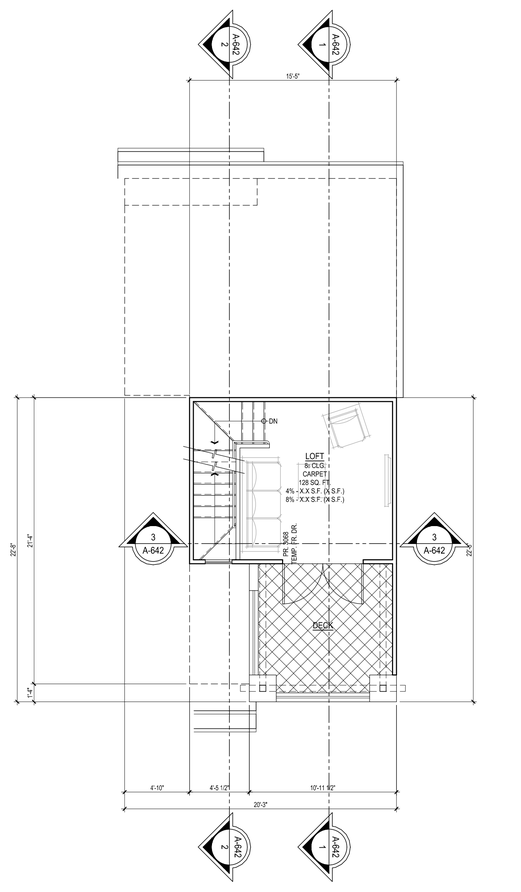


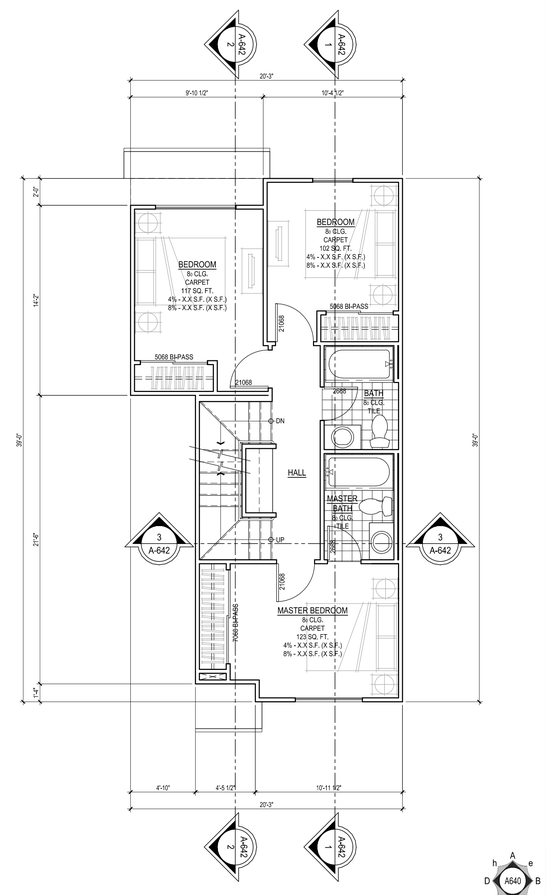
UNIT 3A - INTERIOR ELEVATIONS | SCALE: 3/16" = 1'-0" | 4



ROOF PLAN | SCALE: 3/16" = 1'-0" | 3



THIRD FLOOR PLAN | SCALE: 3/16" = 1'-0" | 2



SECOND FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

FLOOR PLAN AREAS

PLAN 3A:

GROUND FLOOR:	60 SQ. FT.
FIRST FLOOR:	654 SQ. FT.
SECOND FLOOR:	654 SQ. FT.
THIRD FLOOR:	165 SQ. FT.
TOTAL LIVING SPACE:	1,533 SQ. FT.
TOTAL GARAGE SPACE:	593 SQ. FT.
TOTAL EXTERIOR COVERED DECK	153 SQ. FT.
TOTAL COMBINED:	2,279 SQ. FT.

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GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
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UNIT 3A - SECOND, THIRD FLOOR PLAN & ROOF PLAN & INT. ELEV.

A641

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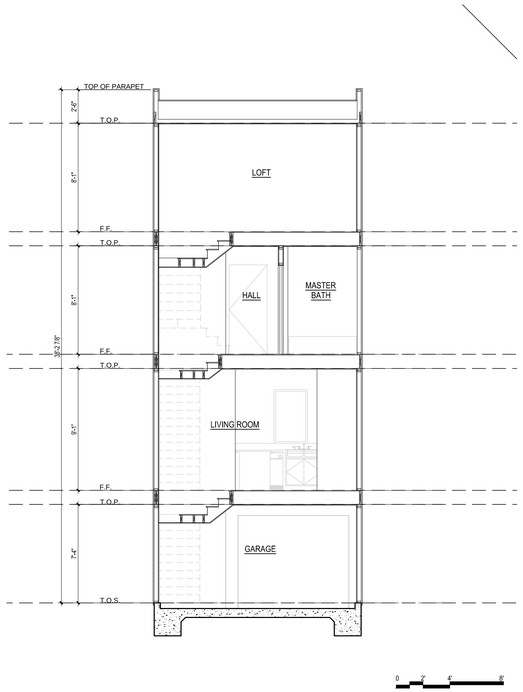
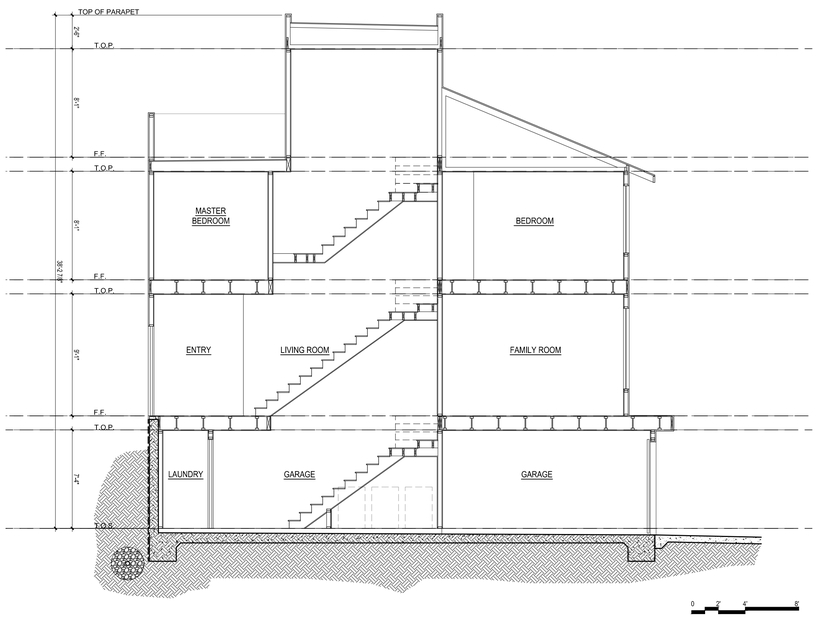
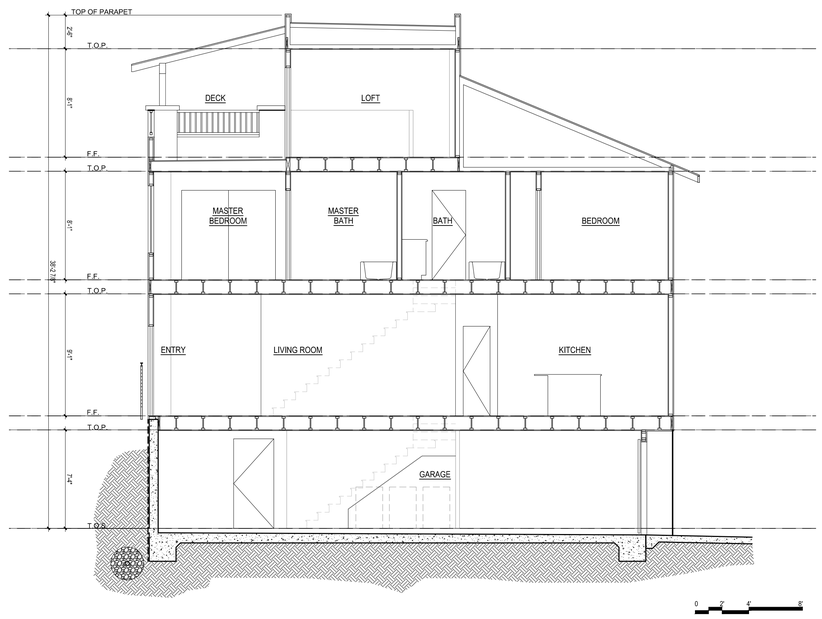


4 UNIT 3A - SECTIONS SCALE: 3/16" = 1'-0" 3



UNIT 3A - SECTIONS SCALE: 3/16" = 1'-0" 2



UNIT 3A - SECTIONS SCALE: 3/16" = 1'-0" 1

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UNIT 3A - SECTIONS & STAIR SECTIONS

A642

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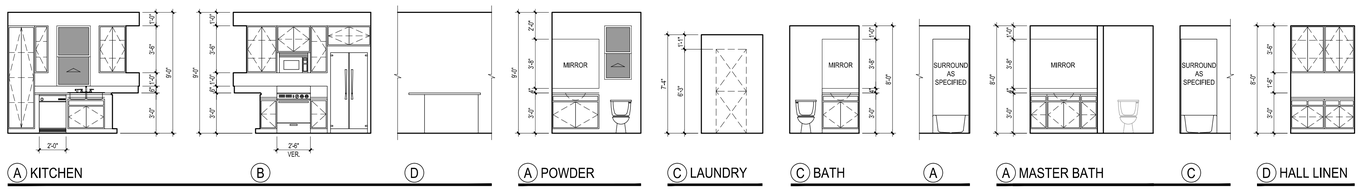
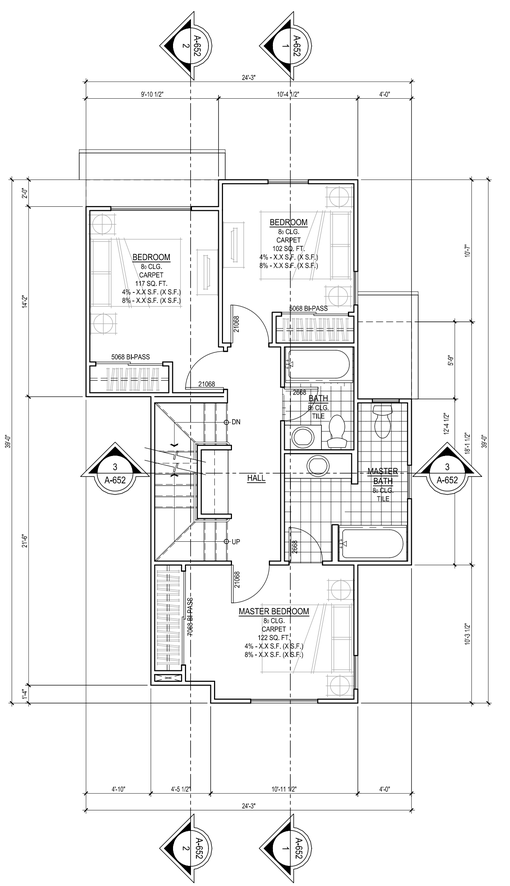


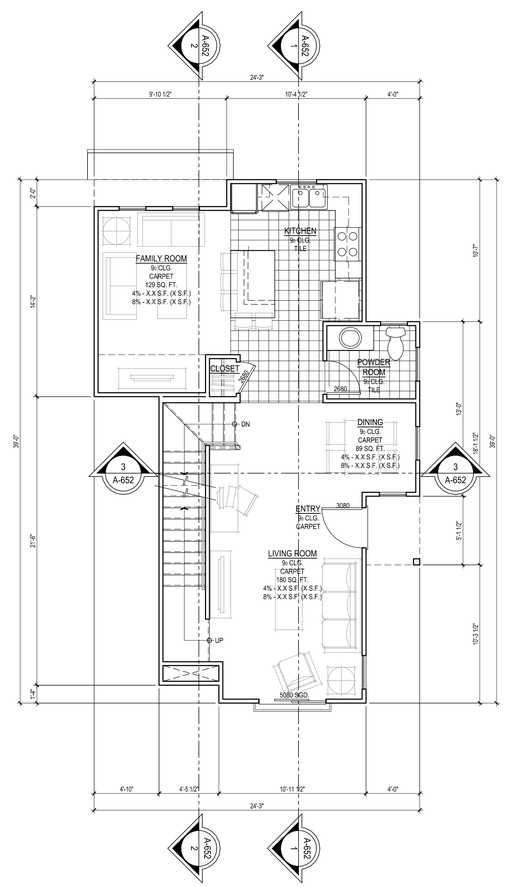
UNIT 3B - INTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0" | 4



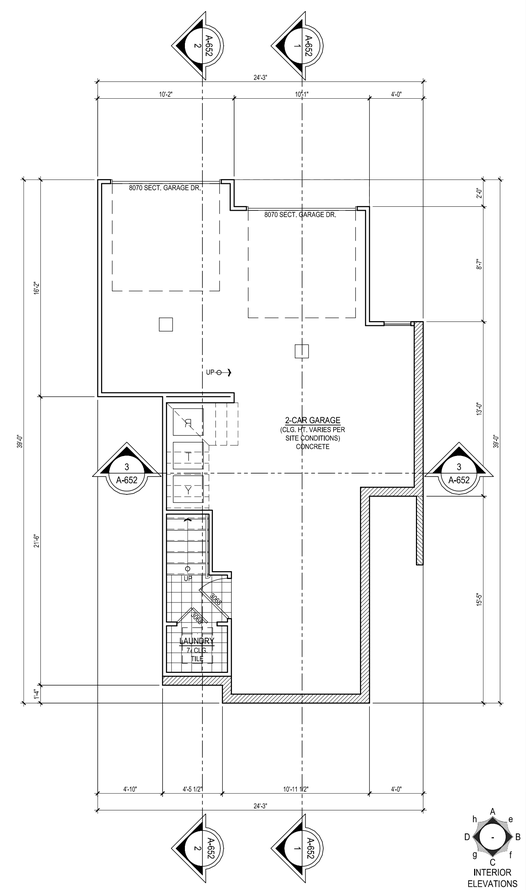
SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 3



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0" | 2



GARAGE & GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0" | 1

INTERIOR ELEVATIONS

FLOOR PLAN AREAS

PLAN 3B:

GROUND FLOOR:	61 SQ. FT.
FIRST FLOOR:	706 SQ. FT.
SECOND FLOOR:	703 SQ. FT.
THIRD FLOOR:	214 SQ. FT.
TOTAL LIVING SPACE:	1,684 SQ. FT.
TOTAL GARAGE SPACE:	645 SQ. FT.
TOTAL EXTERIOR COVERED DECK	153 SQ. FT.
TOTAL COMBINED:	2,482 SQ. FT.

ktgy

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UNIT 3B - GARAGE, FIRST & SECOND FLOOR PLAN & INT. ELEV.

A650

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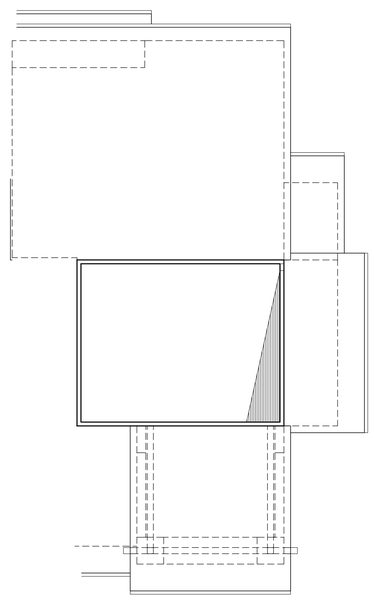
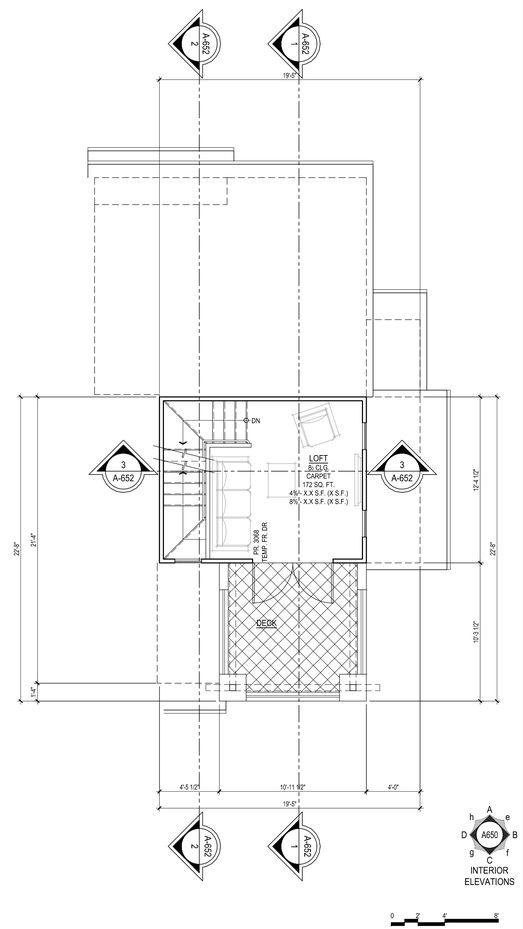


ROOF PLAN | SCALE: 3/16" = 1'-0" | 2



THIRD FLOOR PLAN | SCALE: 3/16" = 1'-0" | 1

FLOOR PLAN AREAS

PLAN 3B:

GROUND FLOOR:	61 SQ. FT.
FIRST FLOOR:	706 SQ. FT.
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UNIT 3B - THIRD FLOOR PLAN & ROOF PLAN

A651

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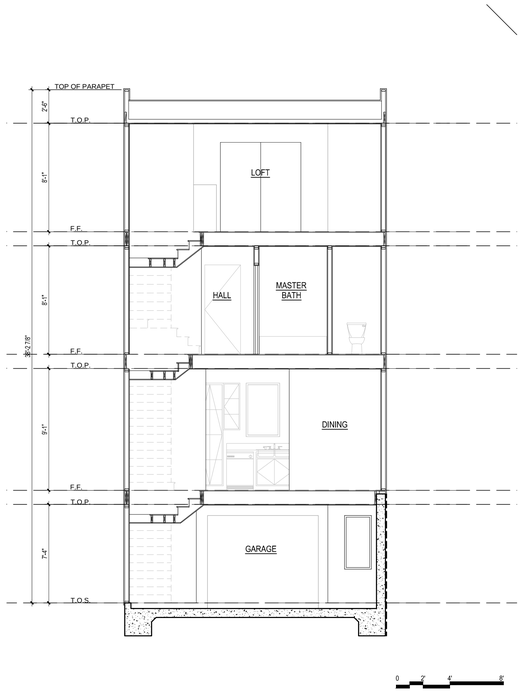
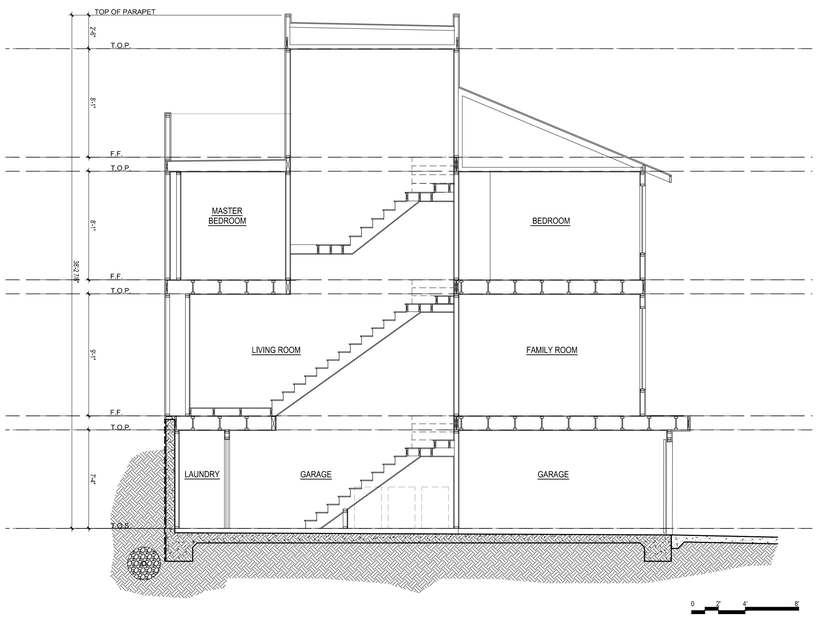
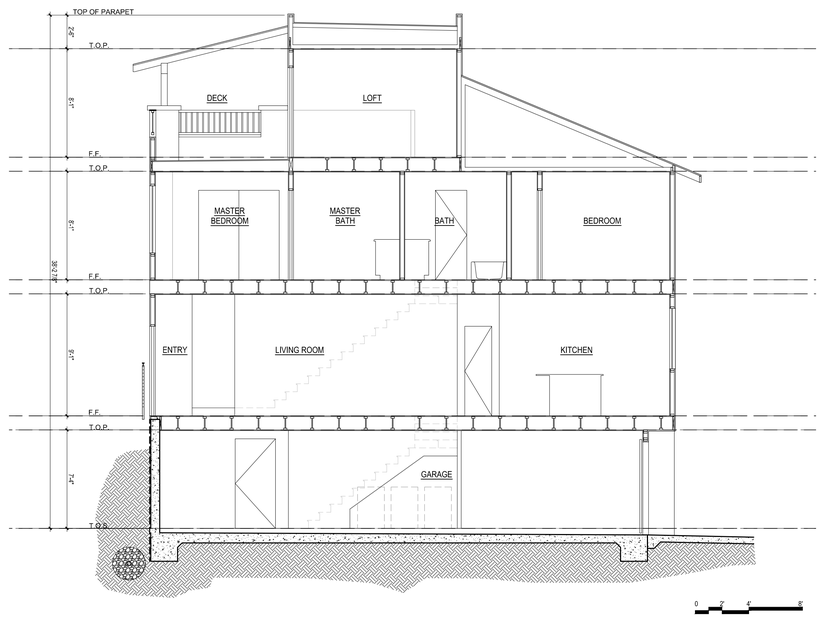


UNIT 3B - SECTIONS | SCALE: 3/16" = 1'-0" | 3



UNIT 3B - SECTIONS | SCALE: 3/16" = 1'-0" | 2



UNIT 3B - SECTIONS | SCALE: 3/16" = 1'-0" | 1

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UNIT 3B - SECTIONS & STAIR SECTIONS

A652

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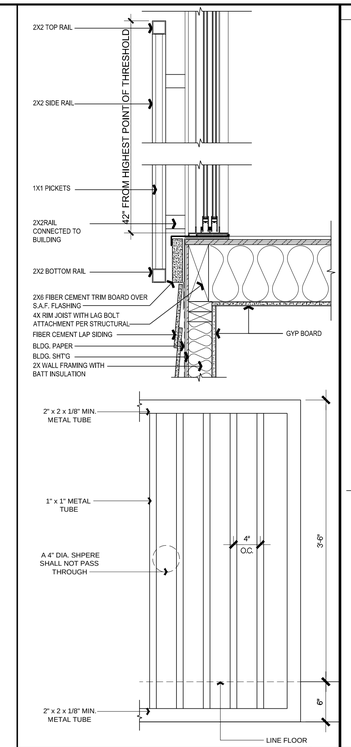
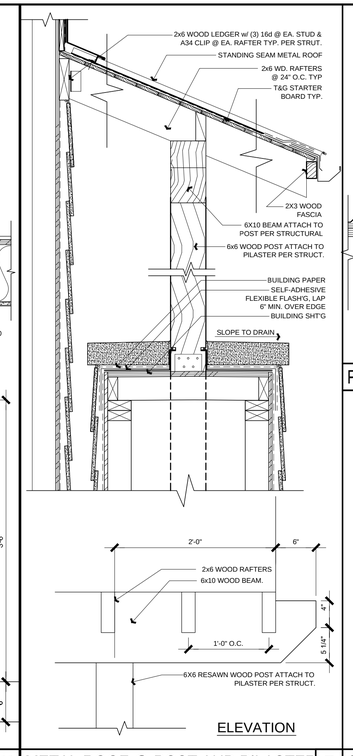
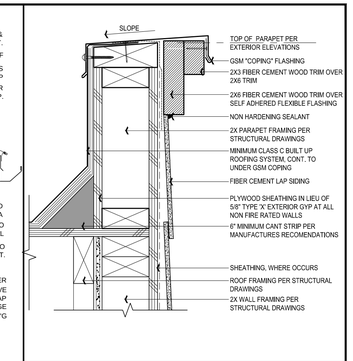


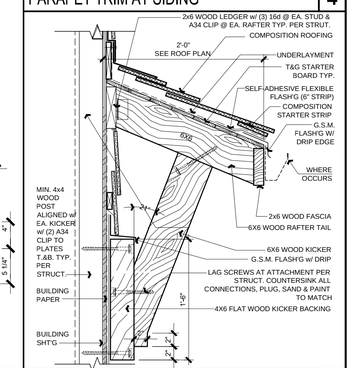
METAL RAILING | 11



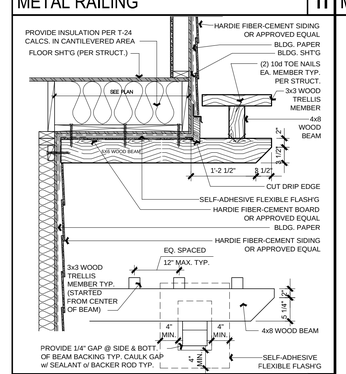
METAL ROOF @ POST AND PILASTER | 7



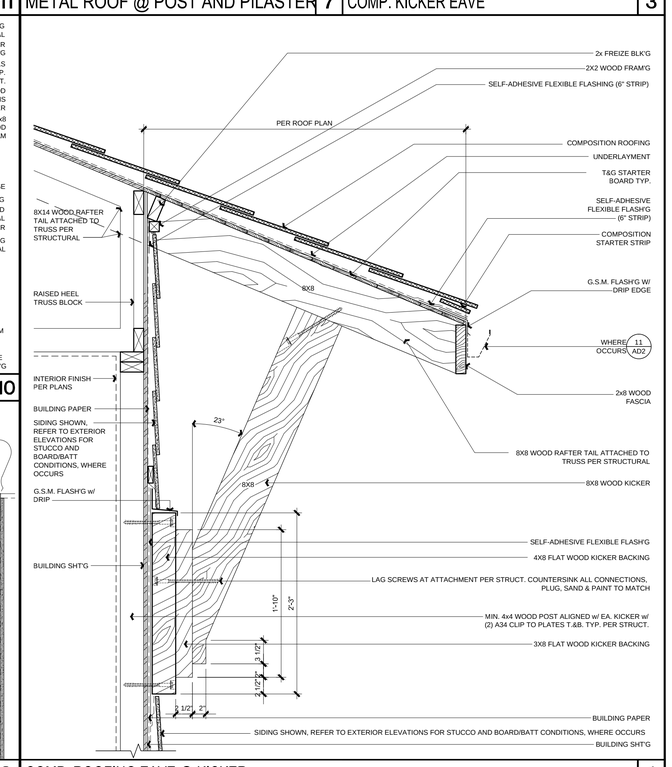
PARAPET TRIM AT SIDING | 4



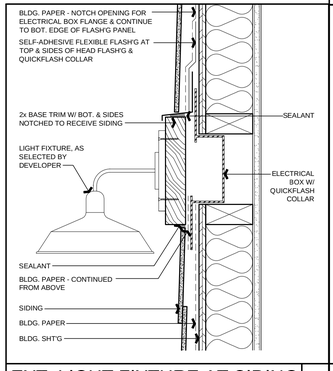
COMP. KICKER EAVE | 3



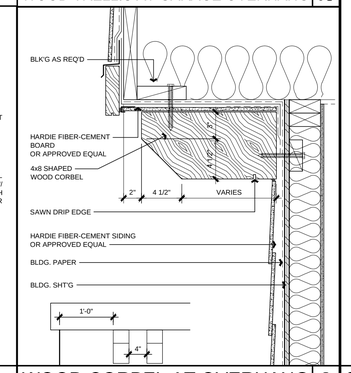
WOOD TRELLIS AT GARAGE OVERHANG | 10



COMP. ROOFING EAVE @ KICKER | 1



EXT. LIGHT FIXTURE AT SIDING



WOOD CORBEL AT OVERHANG | 9

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310 394 2623

KTGY Project No: 20140065

Project Contact: Ryan Flautz
Email: rflautz@ktgy.com

Principal: Manny Gonzalez
Project Designer: Ryan Flautz

Developer

GARDEN VALLEY

DALY CITY, CA

No.	Date	Description
	05-02-2014	DESIGN REVIEW

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly acquainted with the work would be expected to discover if construction is reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

EXTERIOR DETAILS

A900

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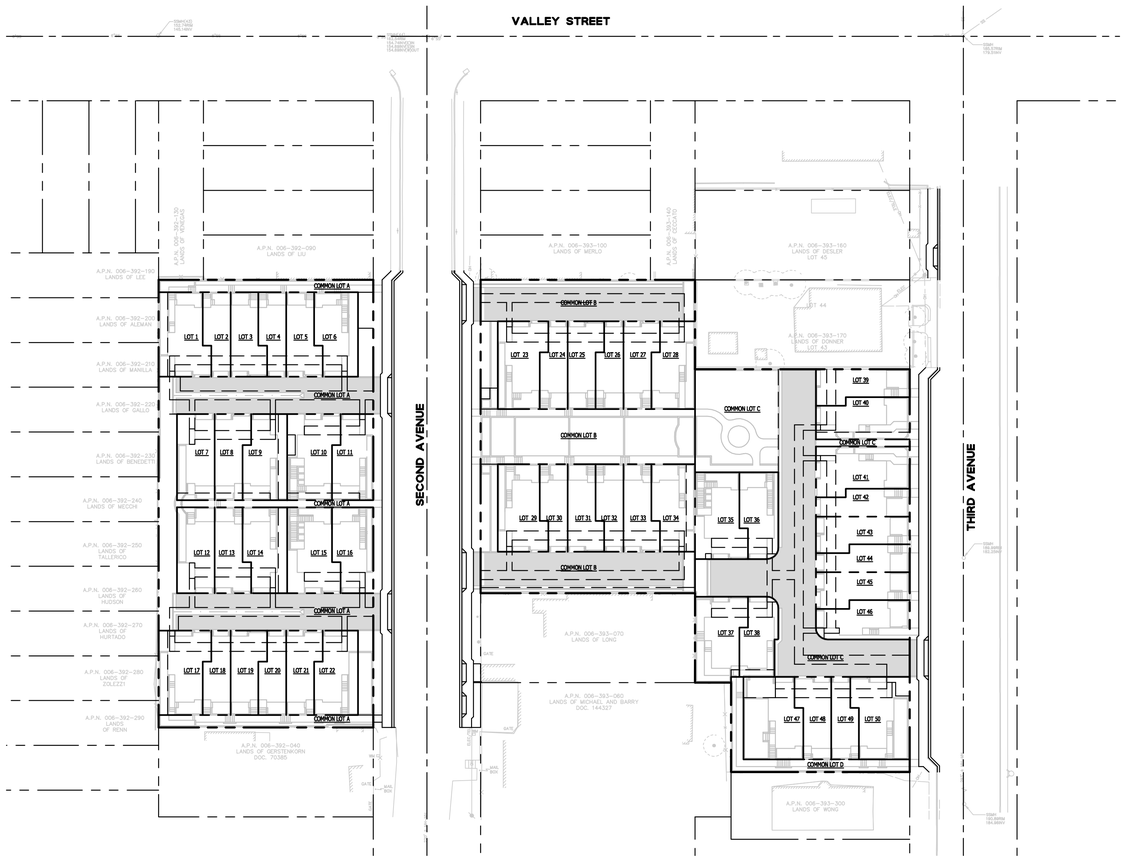
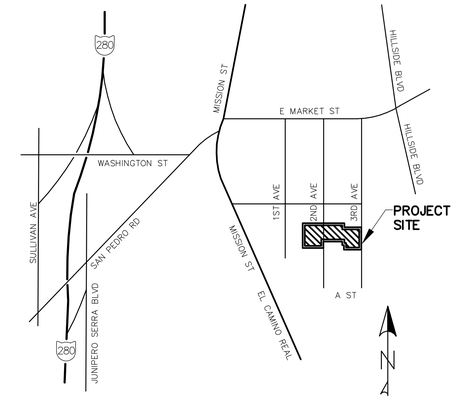
TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
DALY CITY, SAN MATEO COUNTY, CALIFORNIA

LEGEND

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTERLINE





VICINITY MAP
N.T.S.

PROJECT DATA

OWNER AND SUBDIVIDER:	JENNIFER CALLAN DESLER, TRUSTEE ROBERT LABOMARSINO TRUSTS 2790 JUNIPERO SERRA BOULEVARD DALY CITY, CA 94051 CONTACT: BRIAN DESLER (650) 755-6468
ENGINEER:	BKF ENGINEERS 1650 TECHNOLOGY DRIVE, SUITE 650 SAN JOSE, CA 95110 CONTACT: ISAAC KONTOROVSKY (408) 467-9100
AREA:	1.77± ACRES
EXISTING ZONE:	RESIDENTIAL
PROPOSED ZONING:	RESIDENTIAL
EXISTING USE:	LOW DENSITY (R-LD) & MEDIUM DENSITY (R-MD)
PROPOSED USE:	MEDIUM DENSITY (R-MD)
WATER SUPPLY:	DALY CITY
SEWAGE DISPOSAL:	DALY CITY
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE:	COMCAST
FLOOD ZONE:	THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06081C0037E, DATED OCT. 16, 2012.
NUMBER OF UNITS:	50 ON-GRADE RESIDENTIAL CARRIAGE STYLE TOWNHOMES.
NUMBER OF LOTS:	50 DEVELOPABLE LOTS, 4 NON-DEVELOPABLE COMMON LOTS.

BENCHMARK

TEMPORARY BENCHMARK AT TOP OF EXISTING FIRE HYDRANT LOCATED ON THE EASTERLY SIDE OF THIRD AVENUE AT THE SOUTHEAST CORNER OF PROJECT SITE.

ELEVATION = 193.95 FEET, BASED ON CITY OF DALY CITY DATUM.

SHEET INDEX

TM-1	TITLE SHEET
TM-2	EXISTING CONDITIONS
TM-3	TENTATIVE MAP SHEET
TM-4	PRELIMINARY GRADING AND DRAINAGE PLAN
TM-5	PRELIMINARY UTILITY PLAN
TM-6	PRELIMINARY STORMWATER MANAGEMENT PLAN
TM-7	TYPICAL CROSS SECTIONS
PS-1	LIFT STATION PLAN & PROFILE

GENERAL NOTES

1. TENTATIVE MAP: THIS TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
2. AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 1.77± ACRES AND ARE PROPOSED FOR SUBDIVISION INTO 50 DEVELOPABLE SINGLE FAMILY HOME LOTS AND 4 NON-DEVELOPABLE COMMON LOTS.
3. BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PD REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
4. UTILITIES: A PUBLIC UTILITY EASEMENT IN THE FAVOR OF THE CITY OF DALY CITY AND PG&E WILL BE CREATED TO FACILITATE MAINTENANCE OF ELECTRIC AND GAS METERS AND APPURTENANCES AND WATER SERVICE METERS AND APPURTENANCES. LATERALS BETWEEN THE BUILDINGS AND METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE SANITARY AND STORM DRAINAGE SYSTEMS WILL ALSO BE PRIVATELY OWNED AND MAINTAINED.
5. THIS TENTATIVE MAP ALLOWS FOR THE FILING OF MULTIPLE FINAL MAPS.

ENGINEER'S STATEMENT

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

SCOTT R. SCHORK, P.E. DATE
BKF ENGINEERS
R.C.E. NO. 47813

REGISTERED PROFESSIONAL ENGINEER — S. R. SCHORK — No. 47813 — Exp. 12-31-15 — CIVIL — STATE OF CALIFORNIA

1650 TECHNOLOGY DRIVE
SUITE 650
SAN JOSE, CA 95110
408-467-9100
408-467-9199 (FAX)

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
TITLE SHEET
SAN MATEO COUNTY CALIFORNIA
DALY CITY

No.	Revisions

Date: 08-05-2014
Scale:
Design: FCG
Drawn: FCG
Approved: SS
Job No: 20136001

Drawing Number:
TM-1
1 OF 8

DRAWING NAME: K:\DWG2\20136001 Garden Valley\DWG\ENGINEERING\SHEETS\MAP\G20-TMT01-0.dwg
LAST SAVED: 8/5/2014 9:44am
PLOTTED BY: Scott Schork

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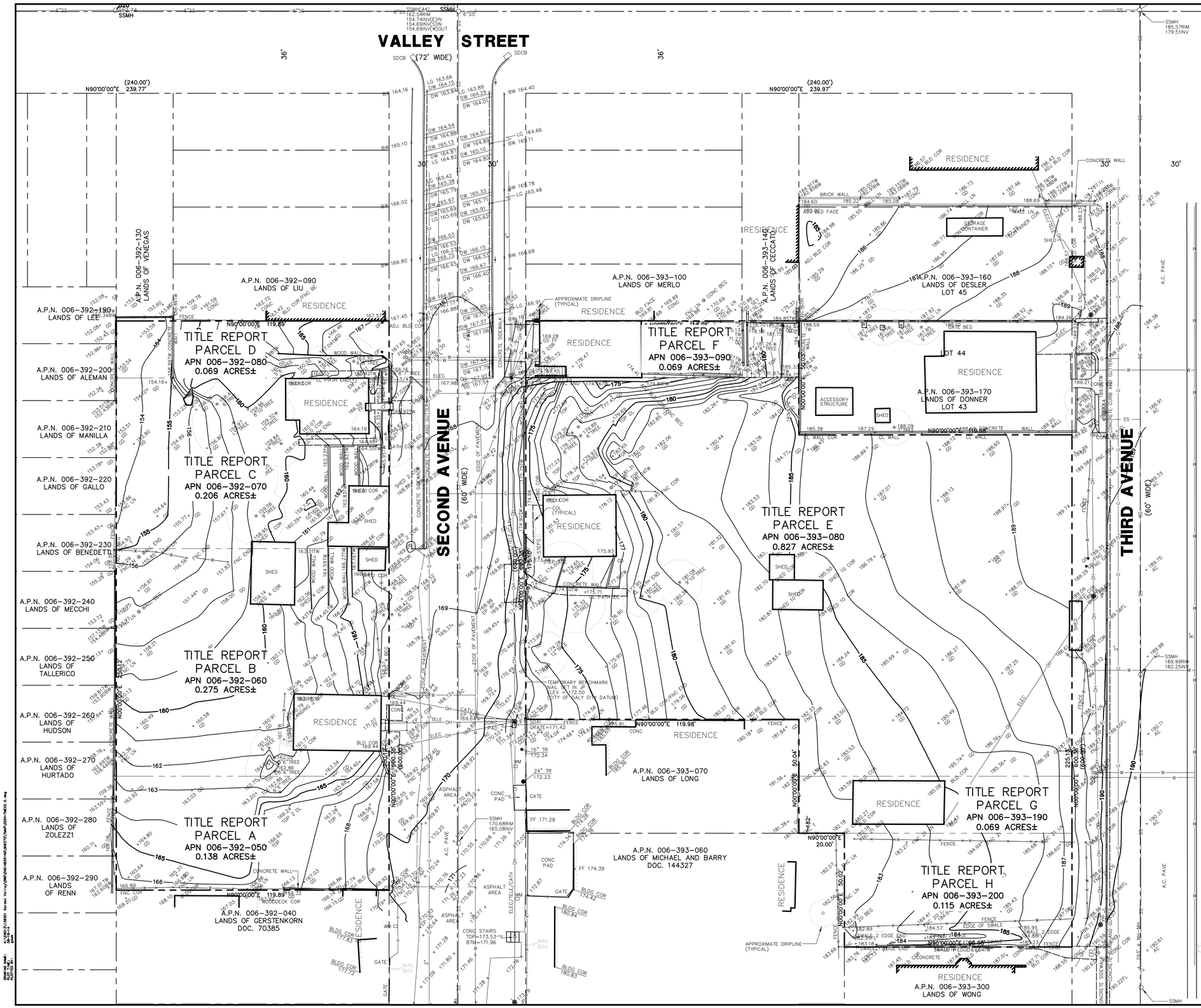

ABBREVIATIONS

AC	=	ASPHALT CONCRETE
ADJ	=	ADJACENT
AP	=	ASPHALT
BEG	=	BEGINNING
BLD	=	BUILDING
BW	=	BACK OF WALK OR BOTTOM OF WALL
CL	=	CENTER LINE
CO	=	CLEAN OUT
CONC	=	CONCRETE
COR	=	CORNER
DW	=	DRIVEWAY
EB	=	ELECTRICAL BOX
EP	=	EDGE OF PAVEMENT
FF	=	FINISHED FLOOR
FL	=	FLOW LINE
FNC	=	FENCE
GD	=	GROUND
GP	=	GATE POST
INV	=	INVERT ELEVATION
JP	=	JOINT POLE
LG	=	LIP OF GUTTER
LN	=	LINE
SDCB	=	STORM DRAIN CATCH BASIN
SSCO	=	SANITARY SEWER CLEAN OUT
SSMH	=	SANITARY SEWER MANHOLE
TC	=	TOP OF CURB
TW	=	TOP OF WALL
WM	=	WATER METER
WV	=	WATER VALVE
WVLT	=	WATER VAULT

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- LOT LINE
- G — GAS MAIN
- W — WATER MAIN
- E — ELECTRICAL LINE
- SS — SANITARY SEWER LINE
- ELEC/TELE OH — OVER HEAD WIRE (ELECTRIC/TELEPHONE)
- X — FENCE
- CURB, GUTTER, AND SIDEWALK
- FH — FIRE HYDRANT
- UTILITY BOX (GENERAL)
- MH — MANHOLE (UNSPECIFIED)
- SSCO — SANITARY SEWER CLEANOUT
- CO — SANITARY SEWER CLEANOUT
- JOINT UTILITY POLE
- SURVEY CONTROL PT
- STREET MONUMENT (SURVEY)
- SIGN (SINGLE POLE)
- SIGN (DOUBLE POLE)
- WM — WATER METER
- WV — WATER VALVE
- TREE
- BUILDING LIMITS

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
EXISTING CONDITIONS

SAN MATEO COUNTY, CALIFORNIA

DALY CITY

No.	Revisions

Date: 08-05-2014
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Design: FCG
Drawn: FCG
Approved: SS
Job No: 20136001

Drawing Number:
TM-2

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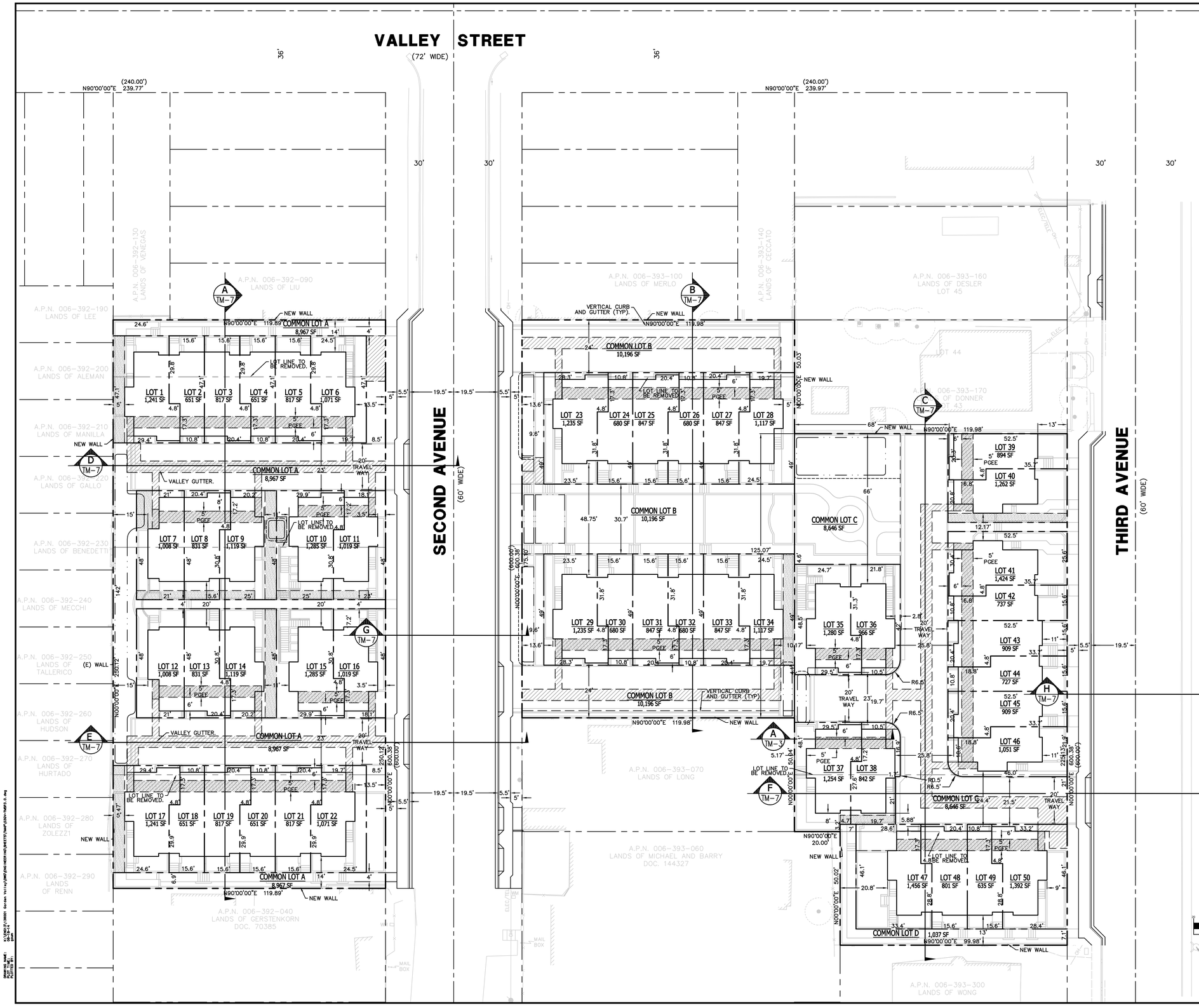

LEGEND

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTERLINE
- PG&E UTILITY EASEMENT (PUE)
- PRIVATE UTILITY EASEMENT (PRUE)
- PRIVATE INGRESS/EGRESS EASEMENT (PIE)
- PRIVATE GAS AND ELECTRIC EASEMENT (PGEE)

ABBREVIATIONS

PUE	=	PG&E UTILITY EASEMENT
PRUE	=	PRIVATE UTILITY EASEMENT
PGEE	=	PRIVATE GAS AND ELECTRIC EASEMENT LOCATED IN THE GARAGE SOFFIT
PIE	=	PRIVATE INGRESS/EGRESS EASEMENT

NOTES

COMMON LOTS A, B, C, AND D ARE NON-DEVELOPABLE.

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
TENTATIVE MAP SHEET

SAN MATEO COUNTY
CALIFORNIA
DALY CITY

No.	Revisions

Date: 08-05-2014
Scale: 1" = 20'
Design: FCG
Drawn: FCG
Approved: SS
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TM-3

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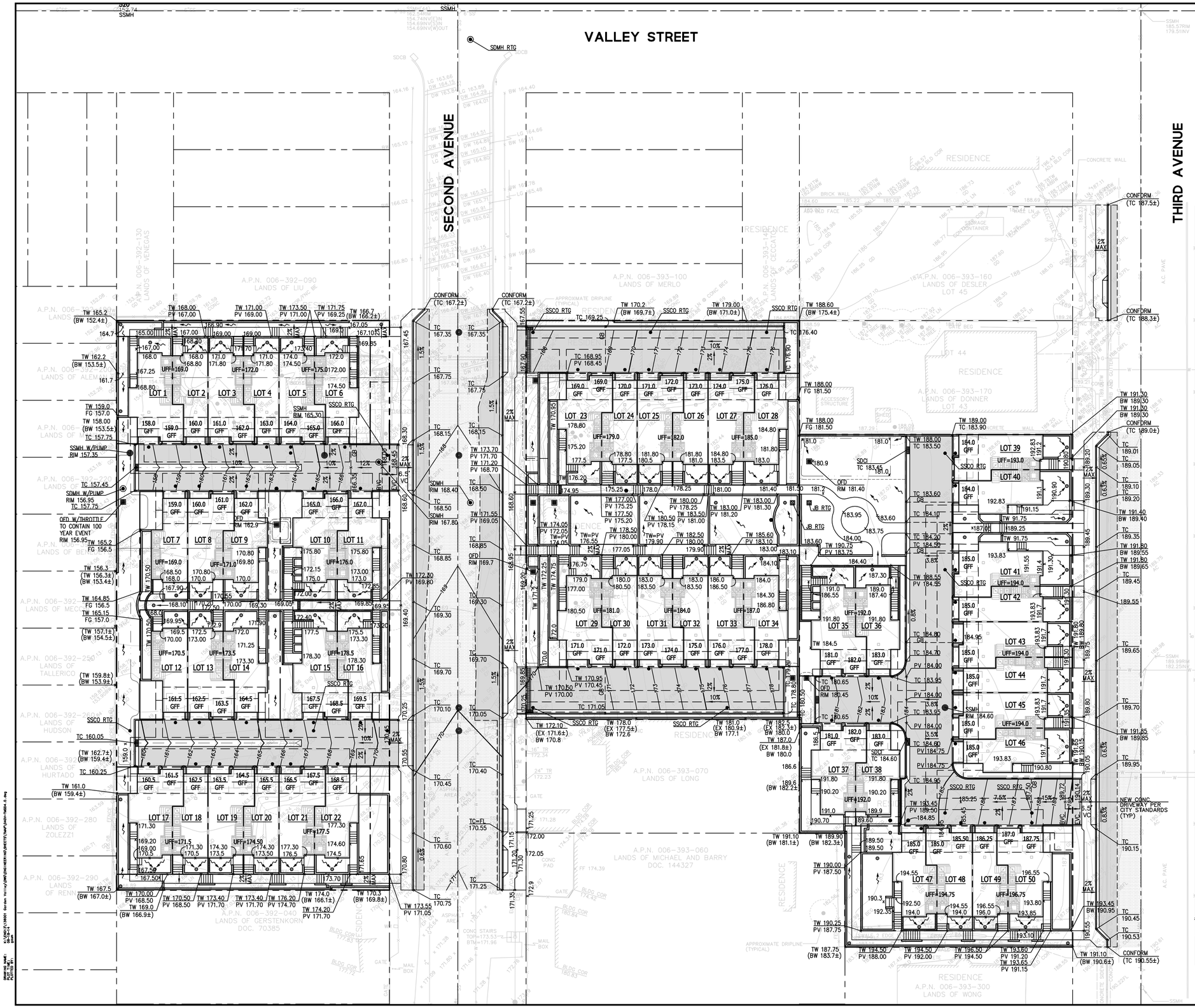

LEGEND

- PROJECT BOUNDARY
- PROPOSED LOT LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTERLINE
- PRIVATE GAS AND ELECTRIC EASEMENT
- 2" ASPHALT GRIND AND OVERLAY
- ASPHALT CONCRETE (AC) PAVEMENT
- CURB AND GUTTER
- 6" VERTICAL CURB
- SAWCUT LINE
- RETAINING WALL
- RETAINING WALL WITH GUARDRAIL
- BIORETENTION BASIN

ABBREVIATIONS

BW	BOTTOM OF WALL
CDC	CITY OF DALY CITY
CONC	CONCRETE
DWY	DRIVEWAY
EX	EXISTING GRADE
GFF	GARAGE FINISHED FLOOR
FF	FINISHED FLOOR
FL	FLOW LINE
LG	LIP OF GUTTER
PV	PAVEMENT
SD	STORM DRAIN
SRA	SELF RETAINING AREA
SS	SANITARY SEWER
STA	SELF TREATING AREA
STD	STANDARD
TC	TOP OF CURB
TD	TRENCH DRAIN
TH	TOP OF HEADER
TW	TOP OF WALL
UFF	UPPER FINISHED FLOOR
(X.XX±)	EXISTING ELEVATION

CUT: 5,900 CUBIC YARDS
FILL: 3,900 CUBIC YARDS

EARTHWORK QUANTITIES ARE APPROXIMATE QUANTITIES AND ARE FURNISHED FOR INFORMATION ONLY. THE ACTUAL AMOUNT OF EARTH MOVED WILL VARY DEPENDING ON THE PROPERTIES OF THE SOILS ENCOUNTERED, THE CONTRACTOR'S METHOD OF OPERATION, ETC. BIDDERS ARE RESPONSIBLE FOR DOING THEIR OWN QUANTITY TAKEOFF.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
PRELIMINARY GRADING & DRAINAGE PLAN

DALY CITY SAN MATEO COUNTY CALIFORNIA

No.	Revisions

Date: 08-05-2014
Scale: 1" = 20'
Design: FCG
Drawn: FCG
Approved: SS
Job No: 20136001

Drawing Number:

TM-4

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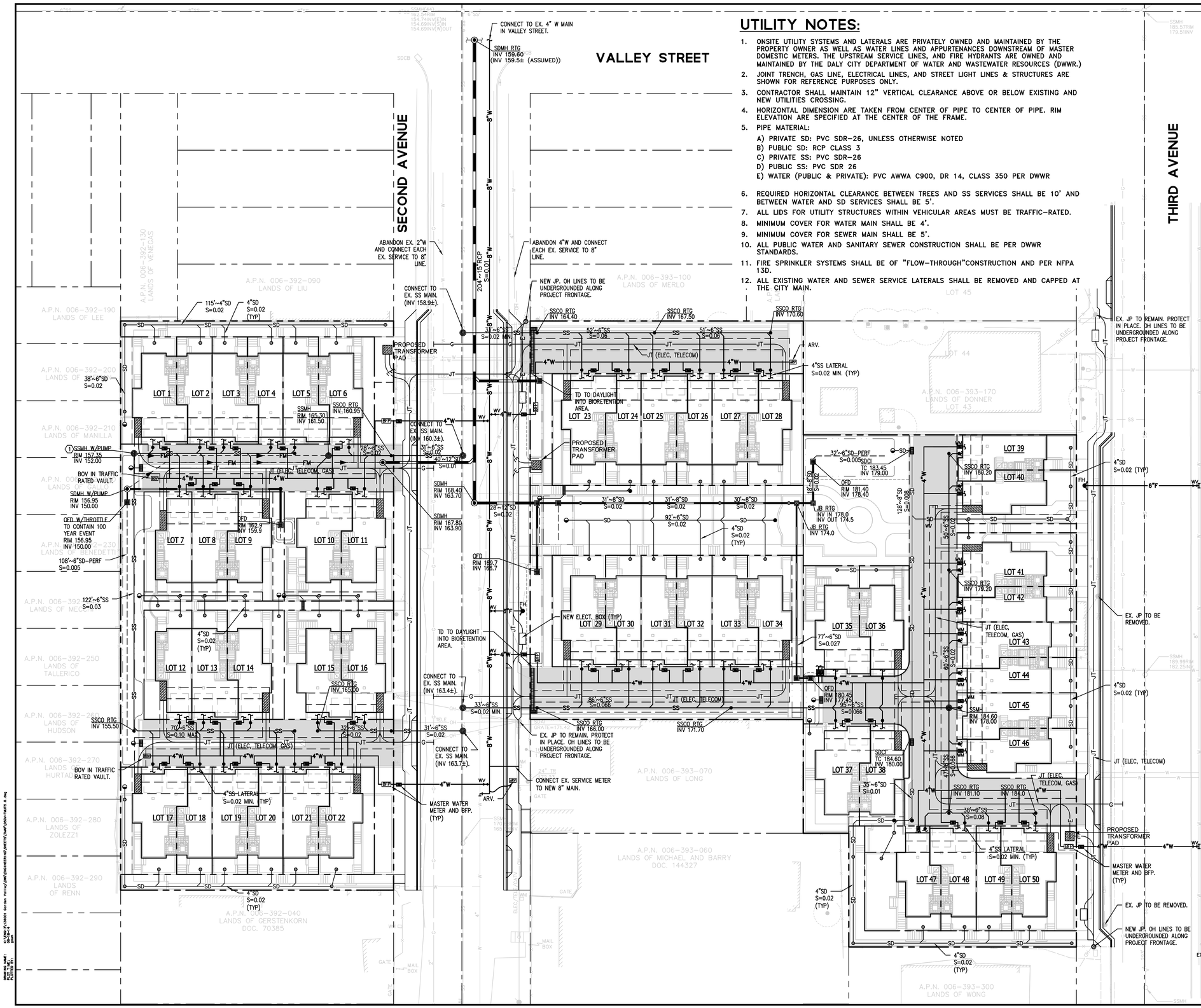

UTILITY NOTES:

1. ONSITE UTILITY SYSTEMS AND LATERALS ARE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER AS WELL AS WATER LINES AND APPURTENANCES DOWNSTREAM OF MASTER DOMESTIC METERS. THE UPSTREAM SERVICE LINES, AND FIRE HYDRANTS ARE OWNED AND MAINTAINED BY THE DALY CITY DEPARTMENT OF WATER AND WASTEWATER RESOURCES (DWWR.)
2. JOINT TRENCH, GAS LINE, ELECTRICAL LINES, AND STREET LIGHT LINES & STRUCTURES ARE SHOWN FOR REFERENCE PURPOSES ONLY.
3. CONTRACTOR SHALL MAINTAIN 12" VERTICAL CLEARANCE ABOVE OR BELOW EXISTING AND NEW UTILITIES CROSSING.
4. HORIZONTAL DIMENSION ARE TAKEN FROM CENTER OF PIPE TO CENTER OF PIPE. RIM ELEVATION ARE SPECIFIED AT THE CENTER OF THE FRAME.
5. PIPE MATERIAL:
   A) PRIVATE SD: PVC SDR-26, UNLESS OTHERWISE NOTED
   B) PUBLIC SD: RCP CLASS 3
   C) PRIVATE SS: PVC SDR-26
   D) PUBLIC SS: PVC SDR 26
   E) WATER (PUBLIC & PRIVATE): PVC AWWA C900, DR 14, CLASS 350 PER DWWR
6. REQUIRED HORIZONTAL CLEARANCE BETWEEN TREES AND SS SERVICES SHALL BE 10' AND BETWEEN WATER AND SD SERVICES SHALL BE 5'.
7. ALL LIDS FOR UTILITY STRUCTURES WITHIN VEHICULAR AREAS MUST BE TRAFFIC-RATED.
8. MINIMUM COVER FOR WATER MAIN SHALL BE 4'.
9. MINIMUM COVER FOR SEWER MAIN SHALL BE 5'.
10. ALL PUBLIC WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PER DWWR STANDARDS.
11. FIRE SPRINKLER SYSTEMS SHALL BE OF "FLOW-THROUGH"CONSTRUCTION AND PER NFPA 13D.
12. ALL EXISTING WATER AND SEWER SERVICE LATERALS SHALL BE REMOVED AND CAPPED AT THE CITY MAIN.

LEGEND

- STORM DRAIN LINE (TREATED)
- SD — STORM DRAIN LINE (UNTREATED)
- STORM SUBDRAIN (PERFORATED)
- FM — FORCE MAIN
- SS — SANITARY SEWER LINE
- X"W — DOMESTIC WATER LINE
- X"F — FIRE WATER LINE
- G — GAS LINE (FOR REFERENCE ONLY)
- E — ELECTRICAL LINE (FOR REFERENCE ONLY)
- JT — JOINT TRENCH (FOR REFERENCE ONLY)
- POINT OF CONNECTION. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- STORM DRAIN MANHOLE
- CATCH BASIN/CURB INLET
- AREA DRAIN
- JUNCTION BOX
- STORM DRAIN CLEANOUT
- STORM BUBBLER BOX
- TRENCH DRAIN
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WM — WATER METER
- WV — WATER VALVE
- FH — FIRE HYDRANT
- ARV — AIR RELEASE VALVE
- BOV — BLOW-OFF VALVE
- GAS OR ELECTRIC METER CLOSET

ABBREVIATIONS

ARV	AIR RELEASE VALVE
BFP	BACK FLOW PREVENTOR
BOV	BLOW-OFF VALVE
ELEC.	ELECTRIC(AL)
EX.	EXISTING
F	FIRE
FH	FIRE HYDRANT
INV	INVERT ELEVATION
(INV XX.X±)	EXISTING INVERT ELEVATION
JB	JUNCTION BOX
JP	JOINT POLE
JT	JOINT TRENCH
OFD	OVER FLOW DRAIN
OH	OVERHEAD
PERF	PERFORATED
RTG	RIM TO GRADE
S	SLOPE
SD	STORM DRAIN LINE
SDCI	STORM DRAIN CURB INLET
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER LINE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TD	TRENCH DRAIN
TELECOM	TELECOMMUNICATIONS
(TYP)	TYPICAL
W	WATER
W/	WITH

SHEET NOTES

1. SSMH AND LIFT STATION. SEE SHEET PS-1 FOR DETAILS.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
PRELIMINARY UTILITY PLAN

SAN MATEO COUNTY, CALIFORNIA
DALY CITY

No.	Revisions

Date: 08-05-2014
Scale: 1" = 20'
Design: FCG
Drawn: FCG
Approved: SS
Job No: 20136001

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5 OF 8

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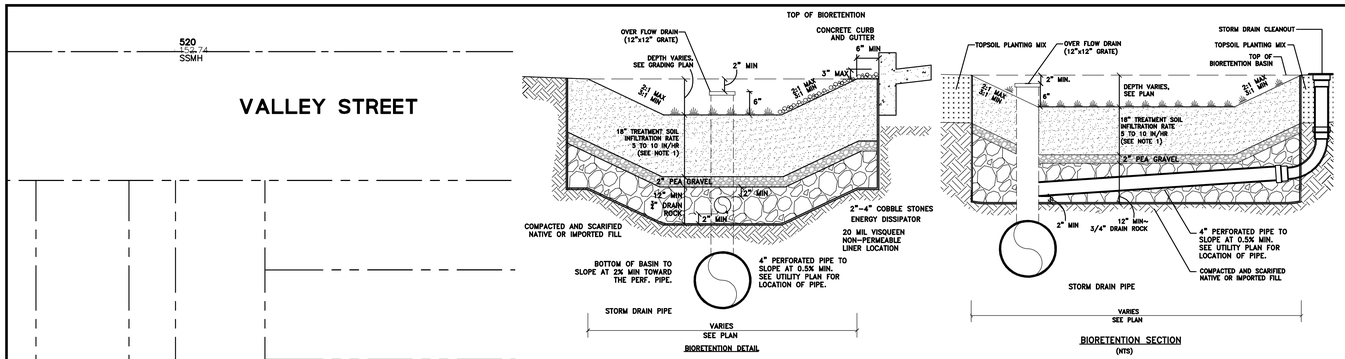


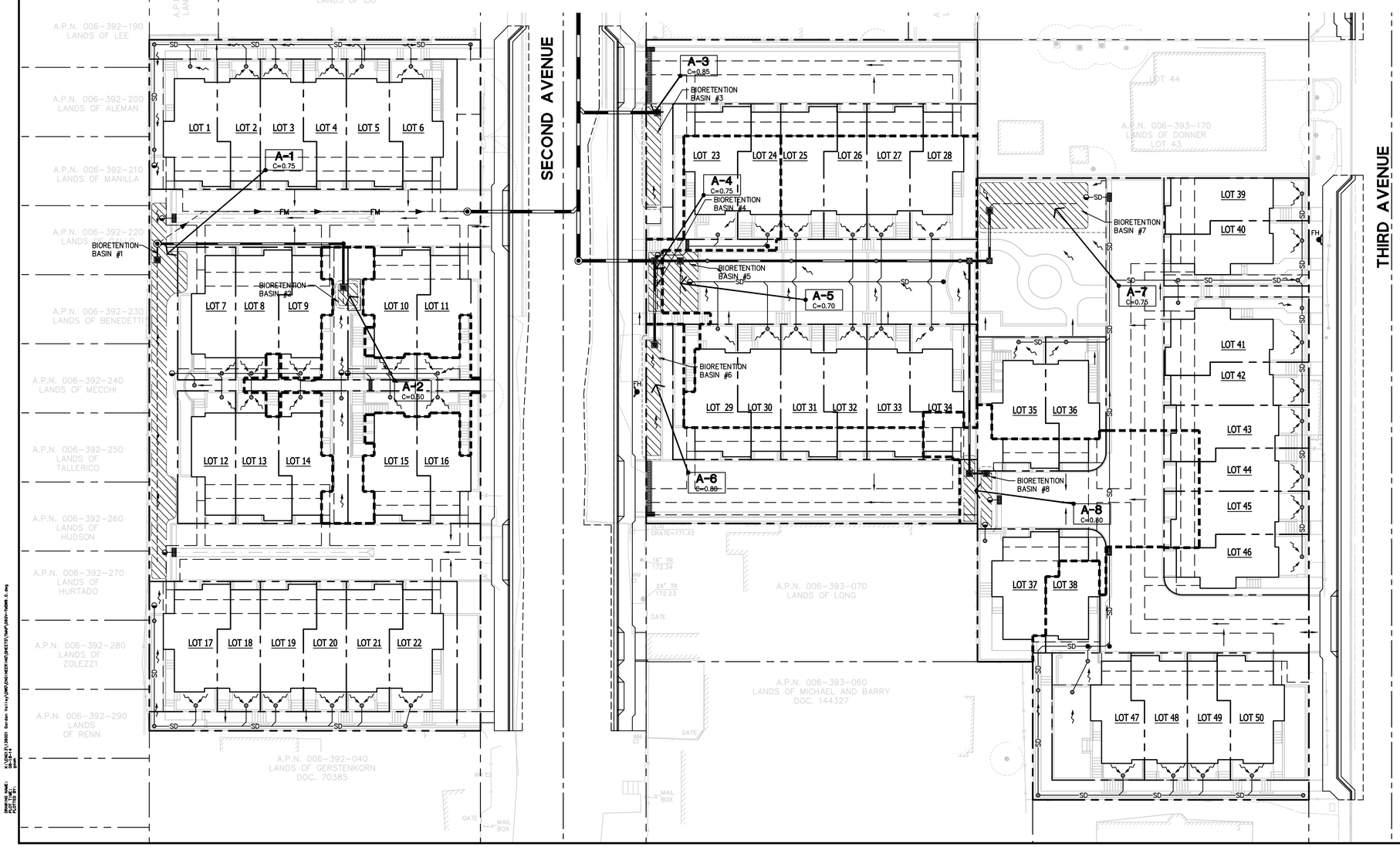
NOTE:
1. FOR TREATMENT SOIL SPECIFICATION, SEE APPENDIX C IN SCVURPPP C3 STORMWATER HANDBOOK DATED APRIL 2012.
2. BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR MUST COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.

TREATMENT CONTROL MEASURE SUMMARY TABLE

DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY (FLOW AND/OR VOLUME GENERATED)		PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
						REQUIRED (SF)	PROVIDED (SF)		
A-1	27,245	5,830	LANDSCAPE	21,415	ROOF PAVING CONCRETE	855	900	B.B.1 BIORETENTION BASIN 1	YES
A-2	2,740	1,465	LANDSCAPE	1,275	PAVING CONCRETE	50	55	B.B.2 BIORETENTION BASIN 2	YES
A-3	4,685	405	LANDSCAPE	4,280	ROOF PAVING CONCRETE	170	185	B.B.3 BIORETENTION BASIN 3	YES
A-4	2,135	570	LANDSCAPE	1,565	ROOF PAVING CONCRETE	65	90	B.B.4 BIORETENTION BASIN 4	YES
A-5	9,410	3,180	LANDSCAPE	6,230	ROOF PAVING CONCRETE	250	275	B.B.5 BIORETENTION BASIN 5	YES
A-6	4,310	850	LANDSCAPE	3,460	ROOF PAVING CONCRETE	140	220	B.B.6 BIORETENTION BASIN 6	YES
A-7	21,560	5,535	LANDSCAPE	16,025	ROOF PAVING CONCRETE	640	650	B.B.7 BIORETENTION BASIN 7	YES
A-8	4,915	985	LANDSCAPE	3,930	ROOF PAVING CONCRETE	155	165	B.B.8 BIORETENTION BASIN 8	YES

NEW IMPERVIOUS SURFACES IN PUBLIC RIGHT OF WAY INCLUDING SIDEWALK, CURB AND GUTTER, AND NEW ASPHALT = 9,450 SF. PER C.3.b.ii.(4) NO TREATMENT IS REQUIRED FOR THIS ROAD PROJECT.

PRELIMINARY STORM WATER MANAGEMENT PLAN



LEGEND

- A-X C=0.XX — DRAINAGE AREA BOUNDARY
- TREATMENT AREA
- DRAINAGE SLOPE
- B.B.# — BIORETENTION SWALE/BASIN
- DIRECTION OF RUNOFF
- STORM DRAIN LINE (TREATED)
- SD — STORM DRAIN LINE (UNTREATED)
- STORM SUBDRAIN (PERFORATED)
- FM — FORCE MAIN
- STORM DRAIN MANHOLE
- CATCH BASIN/CURB INLET
- AREA DRAIN
- JUNCTION BOX
- STORM DRAIN CLEANOUT
- STORM BUBBLER BOX
- TRENCH DRAIN

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
PRELIMINARY STORMWATER MANAGEMENT PLAN
DALY CITY
SAN MATEO COUNTY
CALIFORNIA

No.	Revisions

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TM-6
6 OF 8

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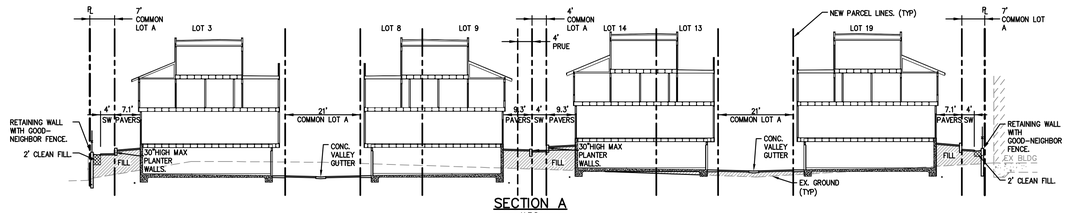
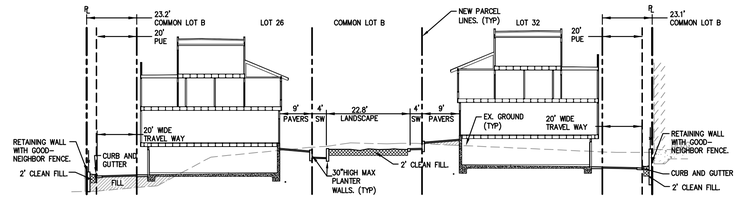


SECTION A
N.T.S.



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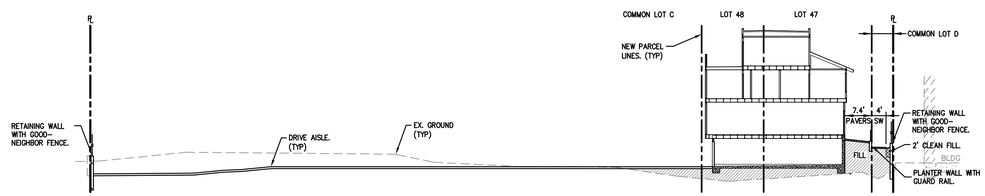

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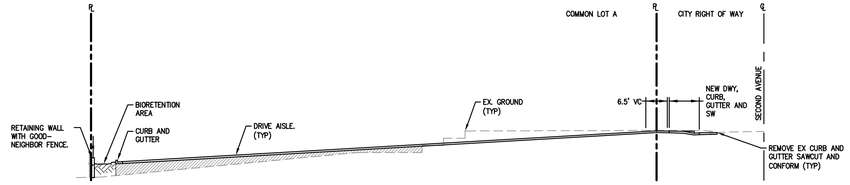

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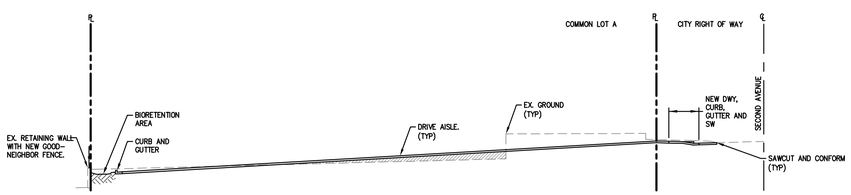

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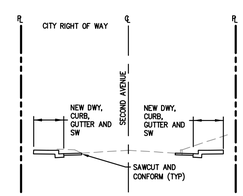
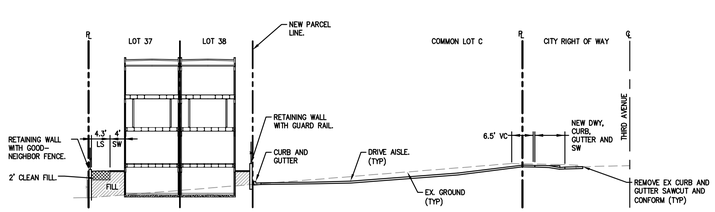


SECTION G
N.T.S.



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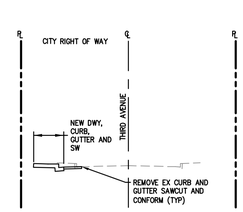
N.T.S.



SECTION H
N.T.S.

1650 TECHNOLOGY DRIVE
SUITE 650
SAN JOSE, CA 95110
408-467-9100
408-467-9199 (FAX)

BKF
ENGINEERS / SURVEYORS / PLANNERS

TENTATIVE MAP
GARDEN VALLEY SUBDIVISION
TYPICAL CROSS SECTIONS

SAN MATEO COUNTY CALIFORNIA

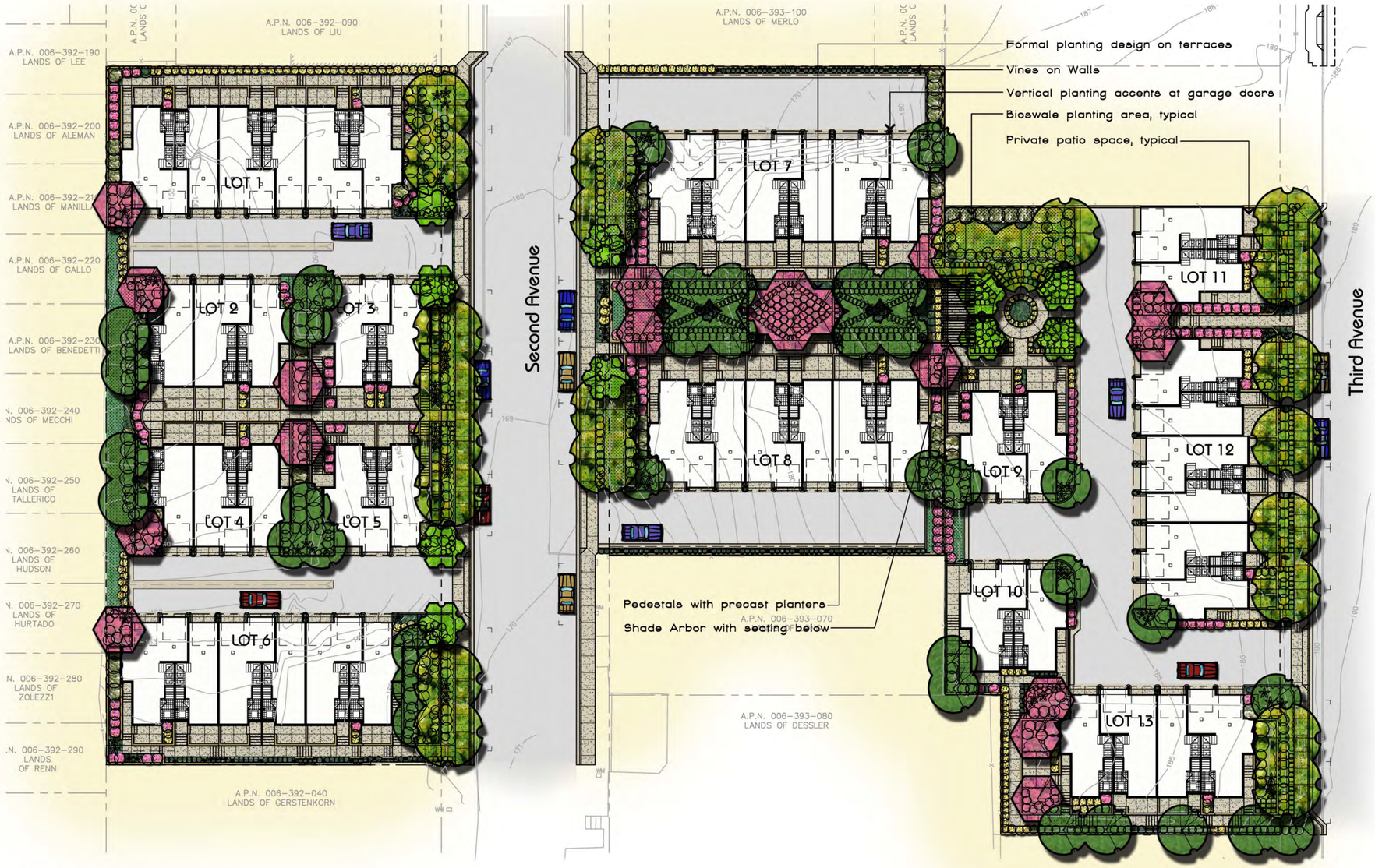
DALY CITY

No.	Revisions

Date: 08-05-2014
Scale:
Design: FCG
Drawn: FCG
Approved: SS
Job No: 20136001

Drawing Number:
TM-7
7 OF 8

DRAWING NAME: S:\20135\13601 Garden Valley\DWG\DESIGNER\MS\SHEETS\MAP\STCH-TM0CC7-0.dwg
LAST SAVED: 8/4/2014 9:44:41 AM
PLOTTED BY: Scott Gore



Planting Legend

CANOPY TREE

(Selection Options)	24" Box
Pistacia chinensis	CHINESE PISTACHE
Tristania conferta	BRISBANE BOX
Ulmus parvifolia	CHINESE ELM

SMALL SCALE TREE

(Selection Options)	24"-Box
Acer palmatum	JAPANESE MAPLE
Arbutus 'Marina'	N.C.N.
Prunus caroliniana	CAROLINA CHERRY LAUREL

FLOWERING ACCENT TREE

Selection Options:	24"-Box
Cercis canadensis	EASTERN REDBUD
Lagerstroemia x.f.	CRAPE MYRTLE

PALM

Selection Options:	14'-16'min.
Archontophoenix cunninghamiana	KING PALM
Phoenix canariensis	CANARY ISLAND DATE PALM

SHRUB AND GROUND COVER AREAS (Selection Options)

LARGE SHRUB

(Selection Options):	15-Gal
Cupressus s. 'Tiny Tower'	DW. ITALIAN CYPRESS
Lavatera assurgentiflora	TREE MALLOW
Podocarpus gracillior	FERN PINE
Podocarpus macrophyllus	YEW PINE
Photinia fraseri	PHOTINIA

MEDIUM SHRUB

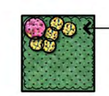
(Selection Options):	5-Gal
Berberis spp.	BARBERRY
Buxus spp.	BOXWOOD
Carex spp.	SEDGE
Coleonema spp.	BREATH OF HEAVEN
Correa spp.	AUSTRALIAN FUCSHIA
Dietes vegeta	FORTNIGHT LILY
Lantana montevidensis	LANTANA
Lavandula spp.	LAVENDER
Nandina spp.	HEAVENLY BAMBOO
Phormium spp.	NEW ZEALAND FLAX
Pittosporum spp	PITTOSPORUM
Rhaphiolepis indica	INDIA HAWTHORN
Rosea	ROSE
Teucrium fruticans	BUSH GERMANDER
Trachelospernum jasminoides	STAR JASMINE

SUB SHRUB

(Selection Options):	1-Gal
Agapanthus spp	LILY OF THE NILE
Hemerocallis	DAY LILY
Lavandula a. 'Munstead'	MUNSTEAD LAVENDER
Teucrium chamaedrys	GERMANDER

VINES

(Selection Options):	5-Gal
Bougainvieea	NCN
Ficus pumila	CREEPING FIG
Macfadyena unguis-cati	CAT'S CLAW VINE
Parthenocissus tricspidata	BOSTON IVY



BIOSWALE PLANTS

(Selection Options):	5-Gal & 1-Gal.
Carex divulsa	BERKELEY SEDGE
Chandropetalum	CAPE RUSH
Ceanothus 'Anchor Bay'	ANCHOR BAY CEANOTHUS
Iris douglasiana	DOUGLAS IRIS
Juncas patens	CALIFORNIA GRAY SEDGE
Muhlenbergia rigens	DEER GRASS
Ribes viburnifolium	EVERGREEN CURRENT

Shade Arbor
Arbor detailing not determined at this time

Precast Planters on Pedestal
Planter style and pedestal detailing not determined at this time

Metal Bench
Style 119-60 available from Dumor, Inc.
Color to be determined

Cluster Mailbox
Regency style
cluster mailbox available
from Mailboxes.com

Planting at Garage Door
Plant selection not determined at this time

Bioswale Planting
Plant selection not determined at this time

Formal Terrace Planting
Plant selection not determined at this time

Garden Valley

Preliminary Landscape Plan

Daly City, California

May 2014

0 5' 10' 20' 40'

HWA
Landscape Architecture
Site Planning
768 Rifesso Drive
Brentwood, California 95413
Phone 925.513.3091
Fax 925.513.3099
Project #

AFFORDABLE HOUSING PLAN

For
Garden Valley, Daly City, CA

Developer: TBD/Callan Properties
Contact: Brian Desler
Date Resubmitted: July 10, 2014

Per 17.47.100 of the City's Affordable Housing Ordinance, the City Manager must approve, conditionally approve, or reject the Affordable Housing Plan within 60 days of the date of a complete application for that approval.

Staff has reviewed this Affordable Housing Plan as attached and recommends approval.

Staff Review:

Betsy Zobell
HCD Supervisor

Tatum Mothershead
Interim ECD Director

Option 2 Approved: Build 5 Units of Affordable Housing and Pay Impact Fee on Remaining 1/2.

Approved by:

Patricia Martel, City Manager

8/01/2014

Date

AFFORDABLE HOUSING PLAN

For

Garden Valley, Daly City, CA

Developer: TBD / Callan Properties
Contact: Brian Desler, Principal Callan Properties
Date Originally Submitted: June 10, 2014
Date Resbumitted: July 10, 2014

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1. **Describe the location, structure (attached, semi-attached, or detached), proposed tenure, and size of the proposed market-rate, commercial space and/or Affordable Units and the basis for calculating the number of Affordable Units.**

Garden Valley is a community of 50 townhomes. The homes will range in size from 1,300 to 1,700 square feet and offer from two to three bedrooms. The townhomes will be three stories with two and three car garages. Market rate home prices are anticipated to be between $600,000 to $700,000. Homeowners would pay an HOA of approximately $260 per month.

Per the Daly City affordable housing ordinance, the project is required to offer 20% of the homes at a price affordable to moderate income families (household income of 120% of the San Mateo County median income per section 50093 of the California Health and Safety Code). We propose two options: the first providing an affordable housing impact fee based on total square footage to be developed and the second, to provide 10% of the below market rate housing requirement on-site (totaling 5 units), and to pay an affordable housing impact fee for the remaining 10%. The table below and attached site plan demonstrate the proposed location of the affordable units and the fee calculation for the remaining units in this option.

	Plan 2A	Plan 2B	Plan 3A	Plan 3B	Total
Total Unit Mix	13	13	14	10	50
Square Feet (Living Space)	1,334	1,492	1,533	1,684	75,040
Bedrooms/Bathrooms	2/2.5	2/2.5	3/3	3/3	
Garage/Story	2/3	2/3	3/3	3/3	
Total BMR Obligation				**50 Units x 20%**	**10 Units**
Option 1	**Pay 100% Impact Fee For All 50 Townhomes With 0 (Zero) Affordable Housing Units Built**				
	75,610 total sf x $18 (BMR Townhome Fee/SF) = Total Impact Fee of **$1,360,980.00**				
Option 2	**Build 5 Units of Affordable Housing and Pay Impact Fee On Remaining 1/2**				
1/2 BMRs Provided On Site	3 "Plan 2A" Units and 2 "Plan 3A" Units = **5 Total Affordable Units**				
½ Impact Fee Per Sq FT	37,805 sf (1/2 sf of project) x $18 (BMR Townhome Fee Per SF) = Remaining Impact Fee of **$680,490.00**				

2. **Provide a floor or site plan depicting the location of the Affordable Units.** *See Site Plan below.*

3. **Describe the income levels to which each Affordable Unit will be made affordable.** *All on site BMRs will be affordable to moderate income households per section 50093 of the California Health and Safety Code.*

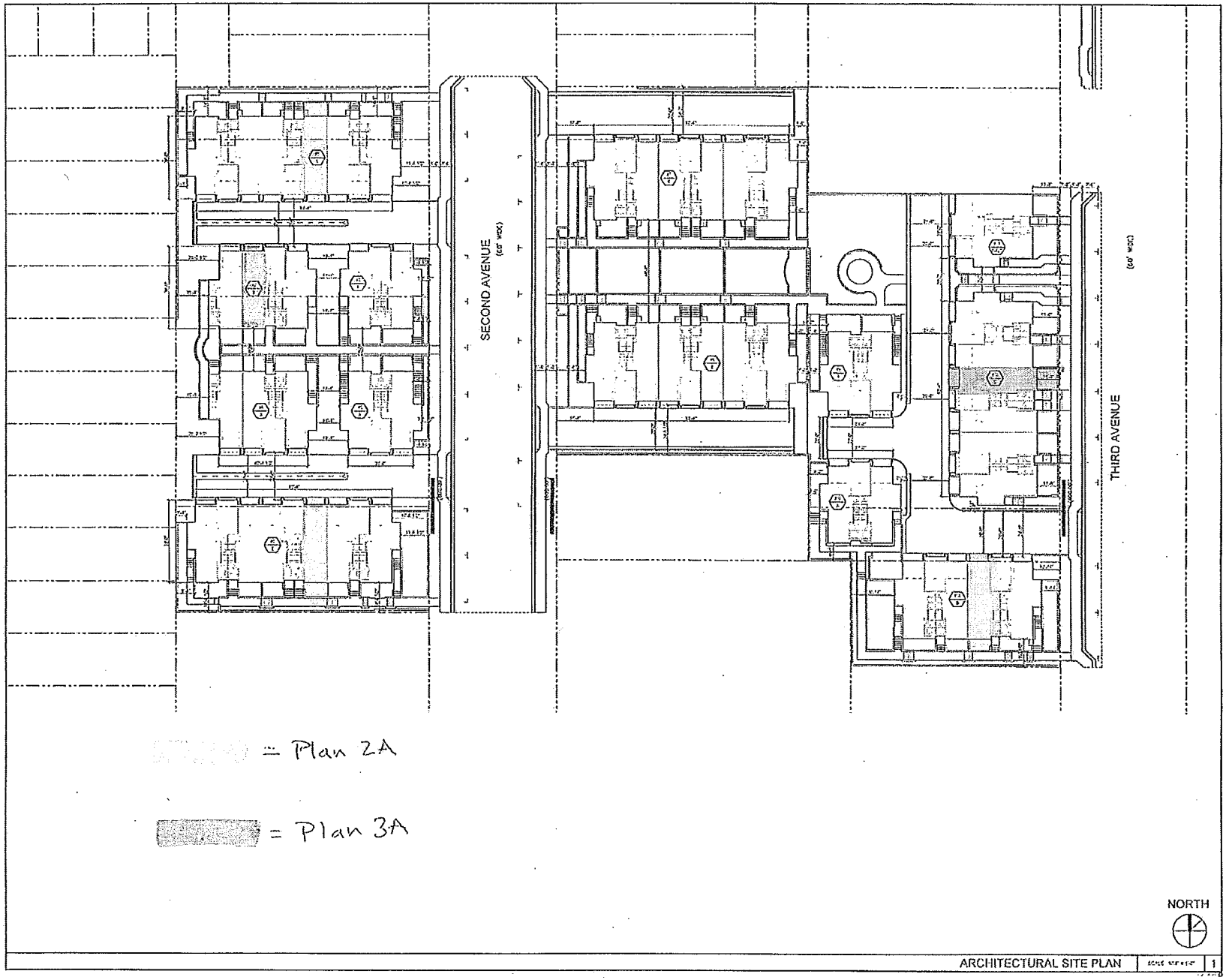
4. **Describe the mechanisms that will be used to assure that the units remain affordable for the desired term, such as resale and rental restrictions, deeds of trust, and rights of first refusal and other documents.** *The below market rate units will remain affordable for the duration of 55 years as required in section 17.47.070 of the Daly City affordable housing ordinance. Affordability will be secured through a deed restriction.*

5. **For phased Development, provide a phasing plan that provides for the timely development of the number of Affordable Units proportionate to each proposed phase of development as required by Section 17.47.050(B) of ordinance.** *The project phasing plan has not been finalized. However, the BMR units are evenly spread throughout the site which will assure BMR units become available in even flow with the market rate homes.*

6. **Describe any alternative means designated in Section 17.47.090 proposed for the Development along with information necessary to support the findings required by Section 17.47.090 for approval of such alternatives; and** *For Option 1, we are proposing an alternative to pay an impact fee as detailed in 17.47.080 (B). For Option 2, we are proposing Alternative 3 (under 17.47.090), which is a blend of on site and off site housing (made available through payment of an impact fee).*

7. **Provide any other information reasonably requested by the City Manager to assist with evaluation of the Plan under the standards of the ordinance.** *For Option 2, We are proposing to provide half the required below market rate homes on site and pay an impact fee for the remaining half. We want to do our part in providing below market rate housing to the community, but believe that funds allocated to an affordable housing developer (through the impact fees) will allow Daly City to achieve the maximum benefit in below market rate housing because of their expertise in this area.*

Garden Valley BMR Map



KTGY Group, Inc.
1733 Ocean Blvd., Suite 250
Santa Monica, California 90401
http://ktgy.com
310 394 3823

KTGY Project No: 20140065

Project Contact: Ryan Fleitz
Email: rfleitz@ktgy.com

Principal: Nancy Gonzalez
Project Designer: Ryan Fleitz

Developer

GARDEN VALLEY
XXX
DALY CITY, CA

No.	Date	Description
	DRAFT	PROGRESS SET

ARCHITECTURAL SITE PLAN

A100