

**CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING**

AGENDA

Tuesday, May 07, 2013 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL:

MINUTES:

1. Approval of Minutes of April 2, 2013

PUBLIC HEARING:

2. Use Permit UPR-3-12-5312 and Environmental Assessment for an Amendment to Use Permit UP86-20 to allow conversion of office and retail space within an existing storage building to additional storage warehousing use.

APPLICANT:	Scott A. Mommer Consulting
LOCATION:	6676 Mission Street (APN 003-121-030)
ENVIRONMENTAL ASSESSMENT:	Categorically Exempt per CEQA Guidelines Section 15301(a)
PLANNER:	Jeannie Naughton, Associate Planner

3. Use Permit UPR-3-13-6969 to allow a church to occupy an existing office building.

APPLICANT:	Suheil Shatara (representing St. George Orthodox Church) Shatara Architecture, Inc.
LOCATION:	1617 Southgate Avenue (APN 091-246-020)
ENVIRONMENTAL ASSESSMENT:	Categorically Exempt per CEQA Guidelines Section 15301(a)

PLANNER: Michael Van Lonkhuysen, Senior Planner

4. Use Permit UPR-7-12-5801 and Environmental Assessment to allow an auto body and auto repair business in a vacant building previously occupied by an auto repair business.

APPLICANT: James Lok

LOCATION: 72 Bismark Street (APN 003-429-010)

ENVIRONMENTAL ASSESSMENT: Categorically Exempt per Section 15301(a): Existing Facilities

PLANNER: Tatum Mothershead, Planning Manager

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT:

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

Availability of Public Records: All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

**CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING**

Minutes

Tuesday April 2, 2013 - 7:00 PM

Council Chambers, City Hall

OPENING OF MEETING: Chair Crump called the meeting to order at 7:00 p.m.

PLEDGE TO THE FLAG:

ROLL CALL: PRESENT: Edelman, Kelly, Lubiano, Sylvester, Crump
ABSENT: None

STAFF PRESENT: Schott, Naughton, Millar, Oasay

MINUTES: Approval of Minutes of March 5, 2013

Moved by Commissioner Kelly, seconded by Commissioner Sylvester, that the minutes of March 5, 2013 meetings be approved. Motion carried 5-0.

PUBLIC HEARING:

1. Use Permit UPR-1-13-6728, Design Review DR-4-12-5412 for a Master Sign Program and Design Review for the Redevelopment of an Existing Shopping Center.

Staff report presented by: Jeannie Naughton, Associate Planner

Commissioner Kelly referenced the newly adopted Bicycle and Pedestrian Master Plan and asked staff to confirm that there was direct pedestrian access to the project site from Gellert Boulevard. Staff referred to the site plan and confirmed that there is direct pedestrian access from Gellert Boulevard to the project. The applicant, Kenneth Rodrigues, further explained the improved pedestrian connectivity throughout the site.

Commissioners Kelly, Crump, and Sylvester expressed concern regarding the on-site circulation for the project, especially during the holiday shopping season. The applicant, Kenneth Rodrigues, responded that the existing building is sited significantly west of, and offset from, the adjacent Ross building, creating a misaligned drive aisle, and that there is currently only one option to turn into the site once a vehicle turns off of Gellert Boulevard. The new site configuration will add a second ingress/egress option once vehicles have turned into the site off Gellert Blvd., the new building will be sited to align with the adjacent Ross

building, and the internal drive aisles will be aligned to accommodate a traditional retail parking lot circulation pattern. These improvements will significantly improve on-site circulation. The Planning Commission was satisfied with this explanation, however; Chair Crump directed staff to bring a formal item to the Traffic Safety Committee to explore opportunities to signalize the project's ingress/egress driveway on Gellert Boulevard.

Staff recommended that condition of approval number seven, regarding design of a gate at the loading dock area, be deleted from the conditions of approval, as it was not applicable to the project.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to close the public hearing. Motion carried 5-0.

Moved by Commissioner Kelly, seconded by Commissioner Edelman, to adopt the findings as outlined in the staff report of April 2, 2013. Motion carried 5-0.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to affirm the Environmental Assessment. Motion carried 5-0.

Moved by Commissioner Kelly, seconded by Commissioner Sylvester, to approve Use Permit UPR-1-13-6728, Design Review DR-4-12-5412 subject to the Findings and Conditions outlined in the staff report of April 2, 2013 with the modified conditions of approval per staff recommendation. Motion carried 5-0.

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

Brian Millar informed the Commissioners that City Council adopted the General Plan update along with the EIR certification at the previous Council meeting. Mr. Millar also informed the Commissioners that a study session will be held on April 9 at 7pm regarding an informational presentation on the Grand Boulevard initiative.

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT: Staff adjourned the meeting at 7:33 p.m.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

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Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: May 7, 2013

Application: Use Permit UPR-3-12-5312

Project Planner: Jeannie Naughton, Associate Planner

Project Location: 6676 Mission Street (APN 003-121-030)

Project Description: Amendment to Use Permit UP86-20 to Allow Conversion of Office and Retail Space into Storage Warehousing Use Within an Existing Storage Facility

Applicant: Scott A. Mommer Consulting
Scott Mommer
10657 E. San Felipe Avenue
Clovis, CA 93619

Property Owner: Public Storage, Inc.
Jim Fitzpatrick
701 Western Avenue
Glendale, CA 91201

Environmental Assessment: Categorically Exempt per CEQA Guidelines Section 15301(a)

Applicable Daly City
Municipal Code Sections: Chapter 17.44 Use Permits
Chapter 17.18 C-1 Light Commercial

Site Information

Property Size	Existing Use	Proposed Use	General Plan Designation	Current Zoning
0.549 Acres	Warehouse, Office, Retail	Warehouse, retail	C-RO Commercial Retail and Office	C-1 Light Commercial

Area Information

Land Use	Zoning
North: Auto Repair	C-1 Light Commercial
South: Retail Commercial	C-1 Light Commercial
West: Single Family/Duplex Residential	R-1/A Single Family/Duplex Residential
East: War Memorial Building	U Unzoned

Background

The applicant, Scott Mommer, on behalf of Public Storage, Inc., is requesting approval for the amendment of Use Permit UP86-20 (Attachment C) to convert third floor office space to storage use at 6676 Mission Street (Attachment A - Location Map). On October 31, 1986, the City Council approved Use Permit UP86-20 and Variance V86-7 for the new construction of a mixed-use commercial, office and storage warehousing development that currently exists at 6676 Mission Street. The Variance was granted for reduced parking standards of an unspecified number, to accommodate the retail, commercial, and office uses, as well as the manager's apartment. The original Use Permit UP86-20 specified that the first floor tenant spaces were to be utilized as retail commercial uses, the second floor, although it would be utilized as storage warehousing use, should be made readily convertible to office space, and that the third floor be utilized as office use. Because the original Use Permit specified the allowable uses for each respective floor of the development, the applicant must modify the original entitlement in order to convert the third floor office spaces into storage warehousing use.

Discussion

Based on the high demand for storage use and the low vacancy rate of the existing facility at 6676 Mission Street, the applicant is requesting to convert the third floor office space to storage uses. At the time of the original entitlements in 1986, there were significant concerns regarding land use compatibility of a storage warehousing use on Mission Street, as well as the compatibility of the project with residential land uses along Santa Barbara Avenue. The project went through several iterations and what was ultimately approved was seen as a major improvement from the initial proposal due to the addition of the retail tenants on the first floor and office use on the third floor. One of the conditions of approval made clear that the second floor should be designed in a manner that facilitates conversion of the space from storage to office, indicating that the preferred use for this property along Mission Street was predominantly office and retail commercial as opposed to purely storage warehousing.

The applicant is proposing in conjunction with the conversion of the third floor from office to storage use, façade improvements, including enhanced window treatments, new landscaping, and a new color scheme for the development. The new color scheme will include a six color palette that will create the effect of three distinct buildings, with each portion containing a base and trim color. An existing entry door facing Mission Street will be removed, and an adjacent equipment access door painted to match the building. New trim along the top of the middle portion of the building will be added to distinguish the Public Storage use from the two smaller retail tenant

spaces. New storefront and glass windows will be added to the two ground floor retail tenants, as well as new landscaping planters. New landscaping will also be installed around an equipment area that currently has no screening. The façade improvements will significantly enhance the aesthetic quality of the site.

On February 28, 2008, the City Council adopted a Resolution endorsing the Guiding Principles of the Grand Boulevard Initiative and directing staff to incorporate them into future plans involving Mission Street. The Grand Boulevard Initiative (GBI) is a collaboration of 19 cities, the counties of San Mateo and Santa Clara, local and regional agencies, private business, labor and environmental organizations united to improve the performance, safety and aesthetics of Highway 82 on the Peninsula from Daly City to downtown San Jose. Two of the ten Guiding Principles of the Grand Boulevard Initiative are applicable to this proposal: Encourage compact mixed-use development and high quality urban design and construction; and create a pedestrian-oriented environment and improve streetscapes, ensuring full access to and between public areas and private developments. The retention of the ground floor retail tenant spaces in conjunction with the façade improvements serve to further both of these principles of the Grand Boulevard Initiative.

The existing ground floor retail spaces (+/-2,825 square feet) are roughly two thirds the size of the retail space called out in the original entitlements (+/-4,050 square feet), although building permit records show the existing configuration was approved at the time of construction. Business license and building permit records show a consistent stream of office uses in the third floor tenant spaces, which collectively total approximately 6,800 square feet, with businesses such as law, real estate, investment, and tax service offices, and a variety of commercial and retail uses occupying the first floor retail spaces, such as a senior services office, vocational college office, and retail card and comic book store. Business license and building permit records also show that one of the first floor tenant spaces have been occupied by church use as early as 1992 until the present. While staff would not support the idea of a complete conversion to storage use in the future, a third floor conversion from office to storage use is supportable, contingent on the retention of the two ground floor retail tenant spaces.

Parking

The original Variance V86-7 did not specify a number of parking spaces that were granted as part of the parking Variance, but there was discussion in the earlier entitlement request in 1985, that specifically states that the parking Variance request was for the 4,380 square feet of retail spaces. While the required parking for office and retail use at 1/300 is considerably higher than warehousing use at 1/1,500, it is clear from the original entitlements that the inclusion of retail and office use in this mixed-use development was an important factor in approval of the project. Even if the entire building (+/- 51,000 square feet) was parked at the warehousing rate of 1/1,500, the site would still be deficient on parking. The issue of third floor conversion therefore, is more a matter of land use policy the City would like to promote along the Mission Street corridor, rather than a parking Variance issue. As noted above, staff supports the proposed conversion of the third floor office space to storage.

Findings

Staff finds that, as conditioned, the proposed Use Permit UPR-3-12-5312 is in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the proposed project, by allowing the conversion of the third floor from office use to storage warehouse use and the retention of the first floor retail commercial spaces, would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission will conduct a public hearing on May 7, 2013; notice of said hearing was by newspaper publication on April 26, 2013 posting and first class mailing to property owners within 300 feet.
2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorically Exempt per Section 15301(a): Existing Facilities.
3. The subject property is zoned C-1 (Light Commercial District), which requires a Use Permit for the operation of a storage warehousing business.
4. The subject use, as a mixed-use building, is consistent with the Guiding Principles of the Grand Boulevard Initiative and the C-1 Light Commercial district standards and, together with the provisions for its design and operation, would not be detrimental to the health, safety, morals, comfort and general welfare of the neighborhood.

CONDITIONS OF APPROVAL:

Staff recommends modified approval of Use Permit UPR-3-12-5312 based on the following conditions as specified by each Department and Division.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. Within thirty (30) days of Council approval, the applicant shall file with the City Clerk a Declaration of Acceptance of all conditions. Until said declaration is filed, the project shall not be granted for any permits sought from the City.
2. If building permits are not issued and construction diligently pursued within one year of approval of the use permit, the use permit shall become invalid.
3. The existing +/-2,825 square feet retail tenant spaces on the first floor shall be retained for use by allowable uses in the C-1 Light Commercial District and shall not be utilized as storage warehousing.

4. A detailed landscaping plan shall be submitted as part of the building permit submittal and shall be subject to approval by the Planning Division. No landscaping planters may encroach into the public right of way and are subject to review by the Engineering Division. Improvements shall match plans reviewed by the Planning Commission and City Council.
5. Landscaping shall be maintained in a healthy and vigorous manner, including the regular pruning of all trees, replacement of dead and dying vegetation, and routine service of irrigation.
6. New exterior paint color scheme shall be called out on building permit plans and shall match plans reviewed by the Planning Commission and City Council. Any minor color changes shall be approved by the Director of Economic and Community Development, while major changes shall require City Council review.
7. The east elevation shall be treated with anti-graffiti finish to both prevent graffiti, and promote the timely removal of it.
8. Enhanced window trim on the exterior façade shall be called out on building permit plans and shall match plans reviewed by the Planning Commission and City Council.
9. The existing entry door-way/canopied entry facing Mission Street, adjacent to the entry drive aisle shall be removed and filled-in with materials and colors to match the rest of the building façade, per plans reviewed by the Planning Commission and City Council.
10. All signage related to Public Storage shall be removed from the building façade, except that which is shown on the proposed elevation, reviewed by the Planning Commission and City Council. Any minor changes to signage may be approved by the Director of Economic and Community Development, while major changes shall require City Council review.
11. The building and site shall remain clean and clear of all graffiti, debris, and other visual nuisances at all times. The building and site shall be periodically cleaned, as needed, to prevent discoloration and debris accumulation.
12. All retail tenants shall obtain sign permits for any and all signage.

B. FIRE DEPARTMENT

13. The building must be altered to meet NFPA 72 requirements.
14. The building must be altered to meet NFPA 13 requirements.

C. ENGINEERING DIVISION

15. Any and all work on public ROW requires permit from both the City and Caltrans.

16. Any excavation of Mission Street frontage requires restoration of recently installed improvements.

Recommendation

Staff recommends the Planning Commission forward to the City Council the following recommendations:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment;
3. Approve Use Permit UPR-3-12-5312, as conditioned herein.

Staff is available to provide any additional information desired by the Planning Commissioners.

Respectfully submitted,



Jeannie Naughton, AICP
Associate Planner



Brian Millar
Director of Economic and Community
Development

Attachments

Attachment A – Location Map
Attachment B – Project Plans
Attachment C – Original Entitlements

LOCATION MAP



UPR-3-12-5312

Amendment of UP86-20

6676 Mission Street

Public Storage

Planning Commission Review



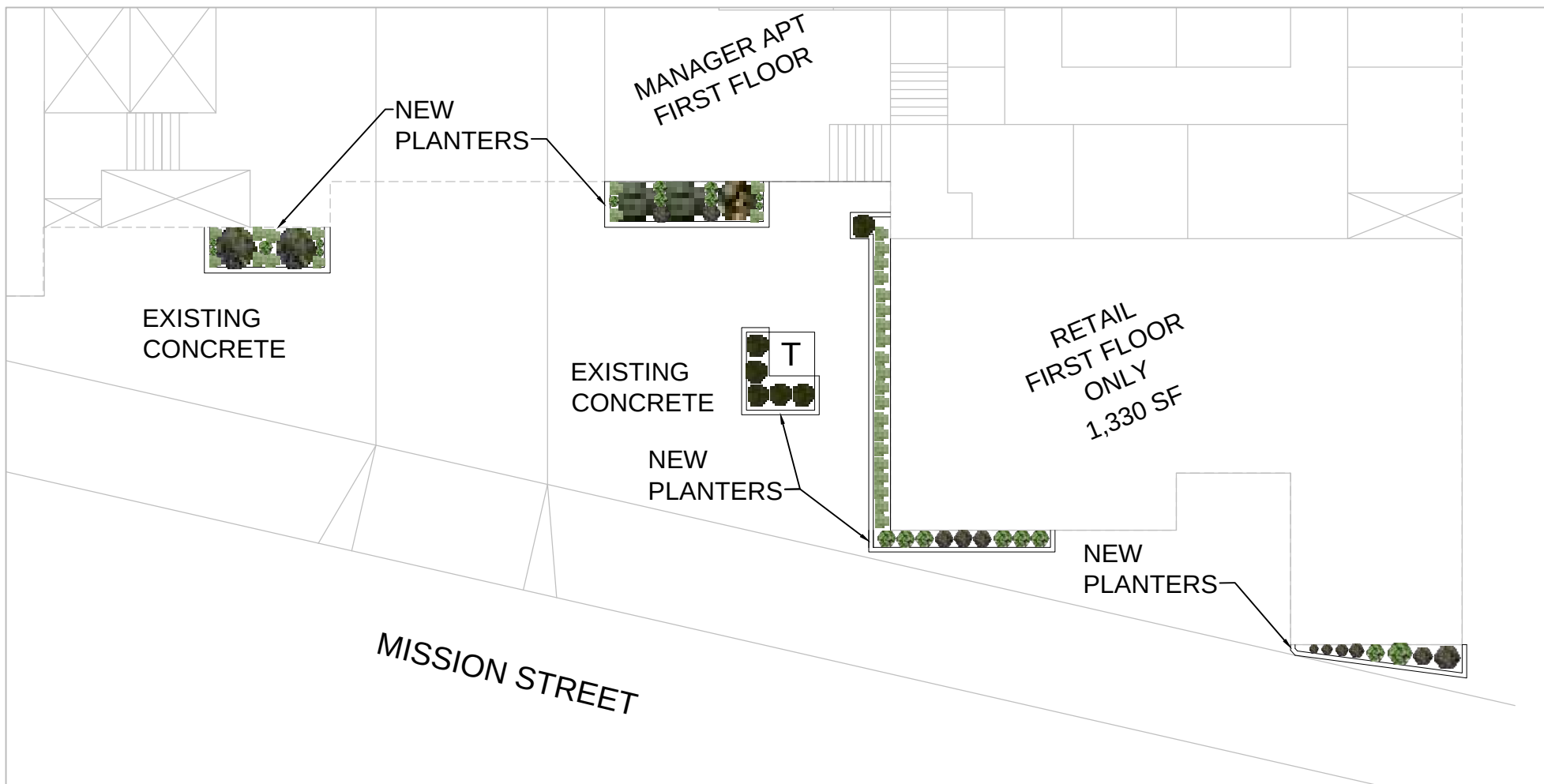


AERIAL LOCATION MAP

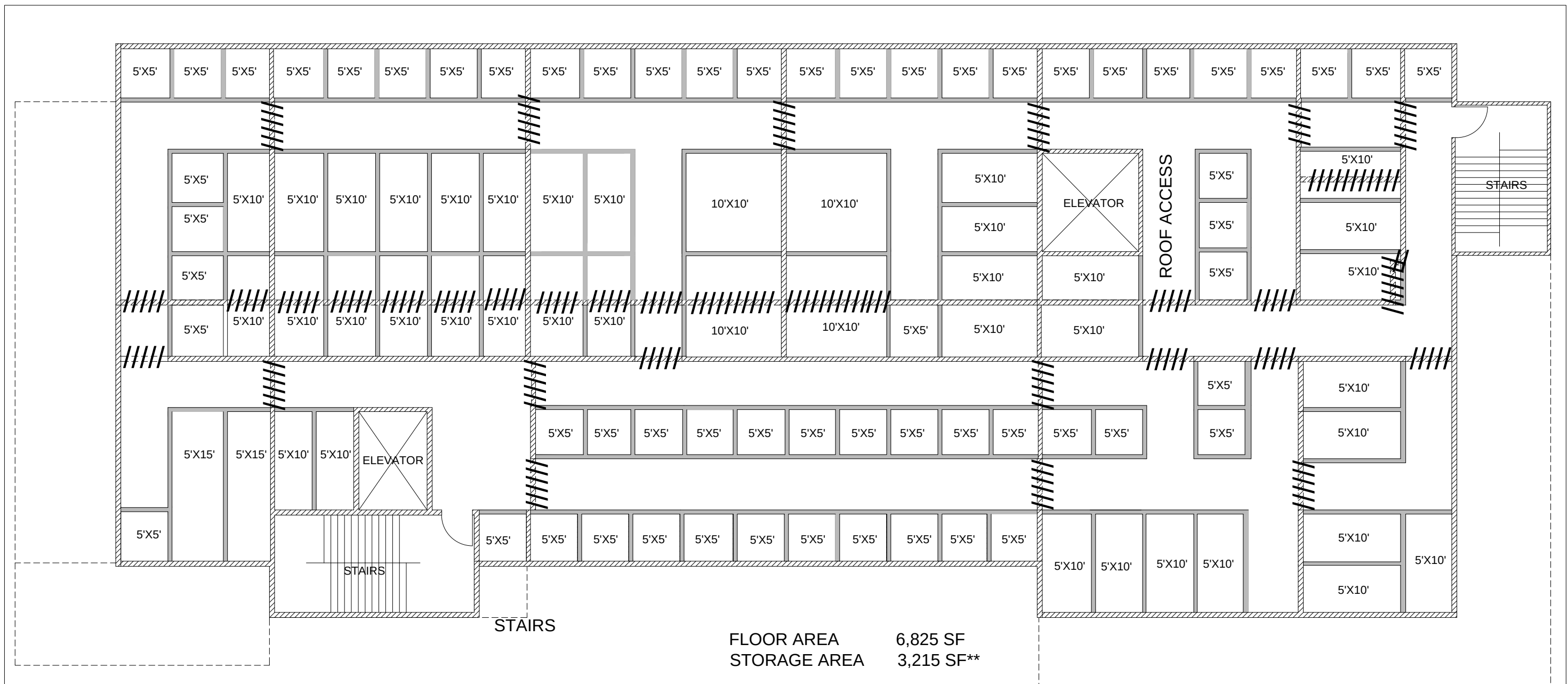


ENTITLEMENT PLANS
FOR
COMMERCIAL USE PERMIT FOR
3RD FLOOR TI ONLY

FOR
PUBLIC STORAGE, INC.
6676 MISSION STREET
DALY CITY, CALIFORNIA
APN: 003-121-030



ENLARGED STREETSCAPE PLAN



PROPOSED TENANT IMPROVEMENT TO 3RD FLOOR

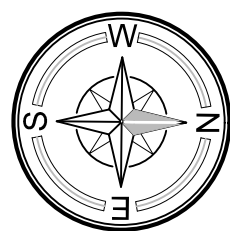


LOWER BASEMENT

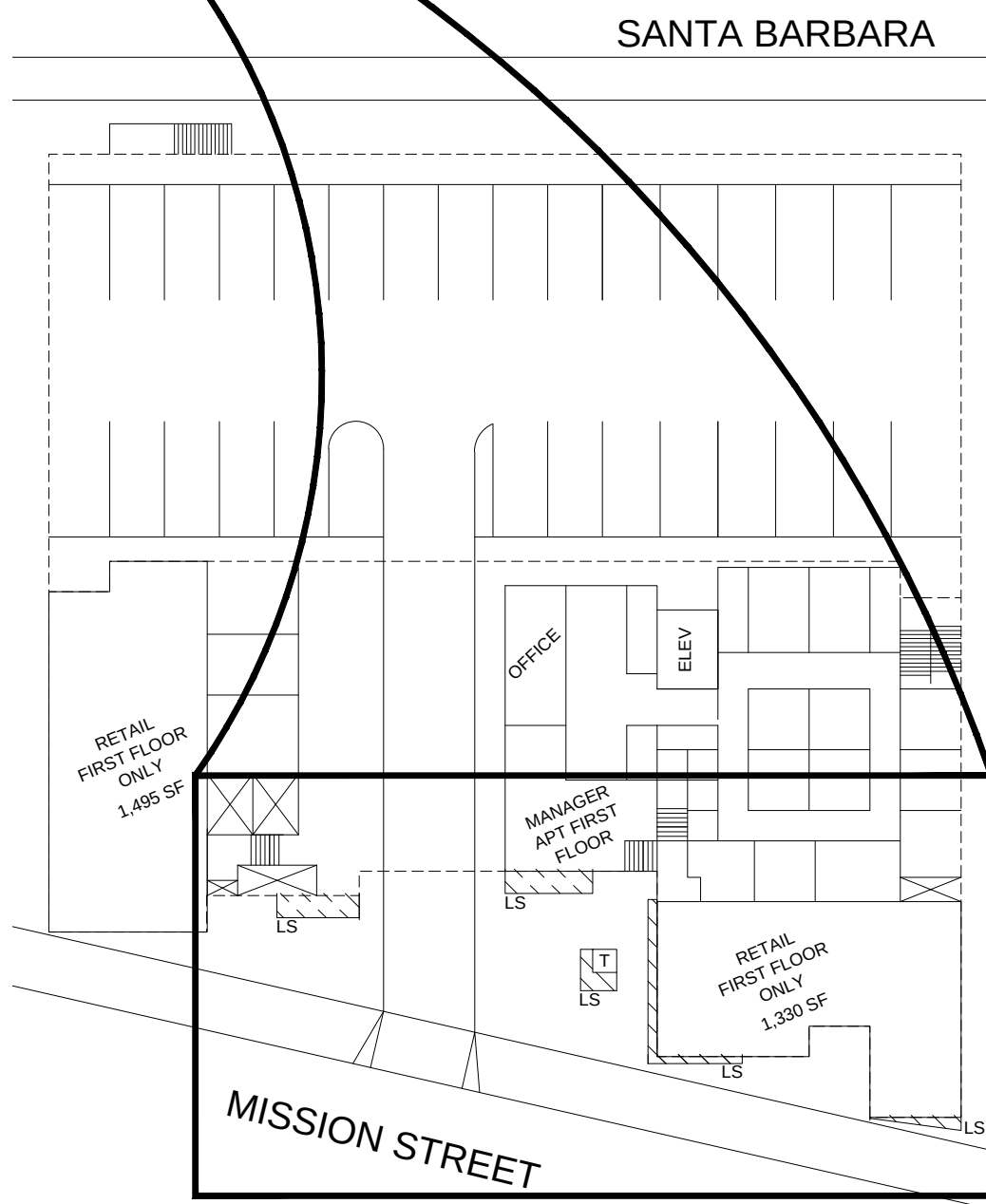
Not A Part
11,400 SQFT*
EXISTING STORAGE AREA 7,550 SF**

UPPER BASEMENT

Not A Part
17,300 SQFT*
EXISTING STORAGE AREA 12,105 SF**

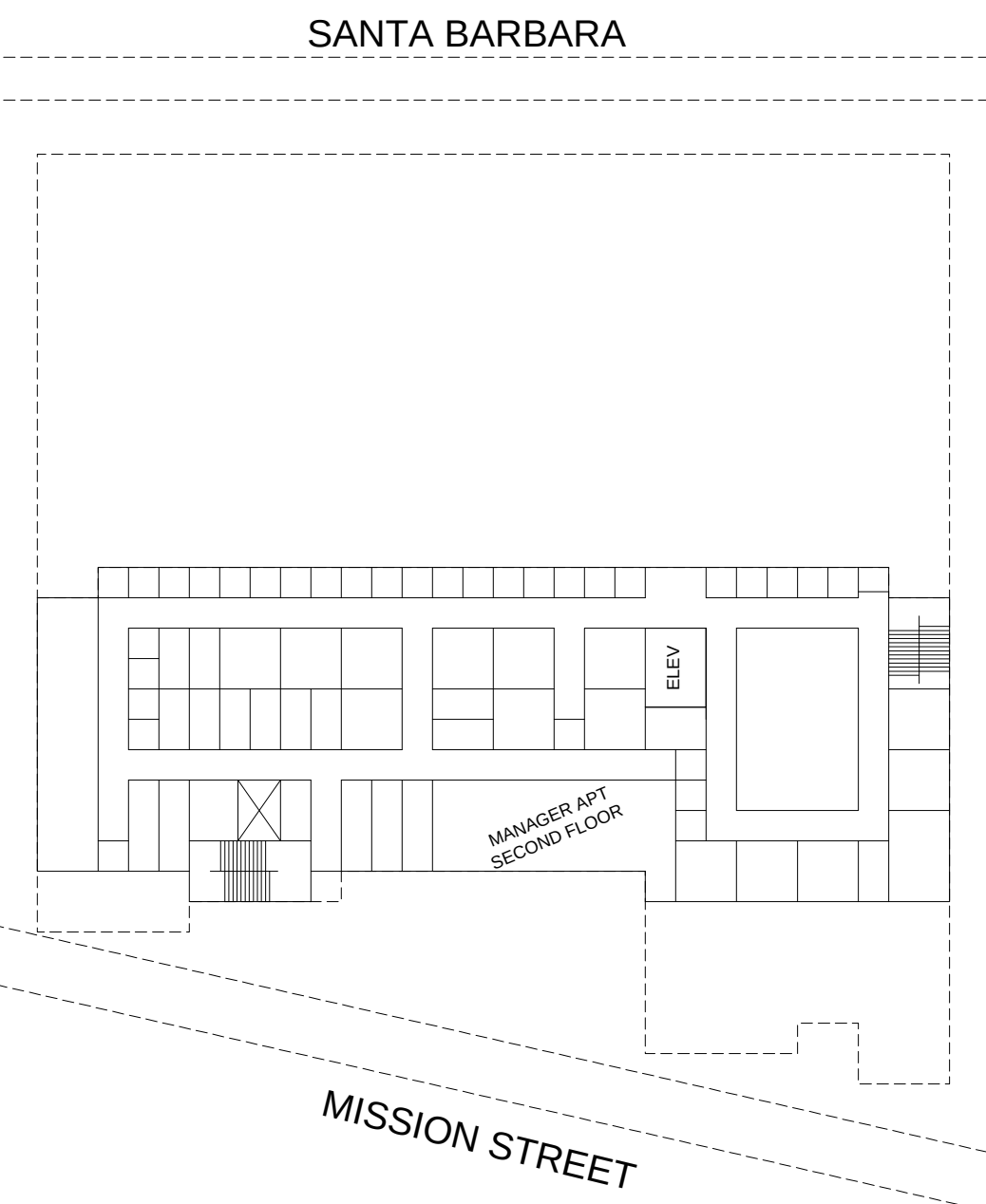


(TYPICAL ALL FLOOR PLANS)



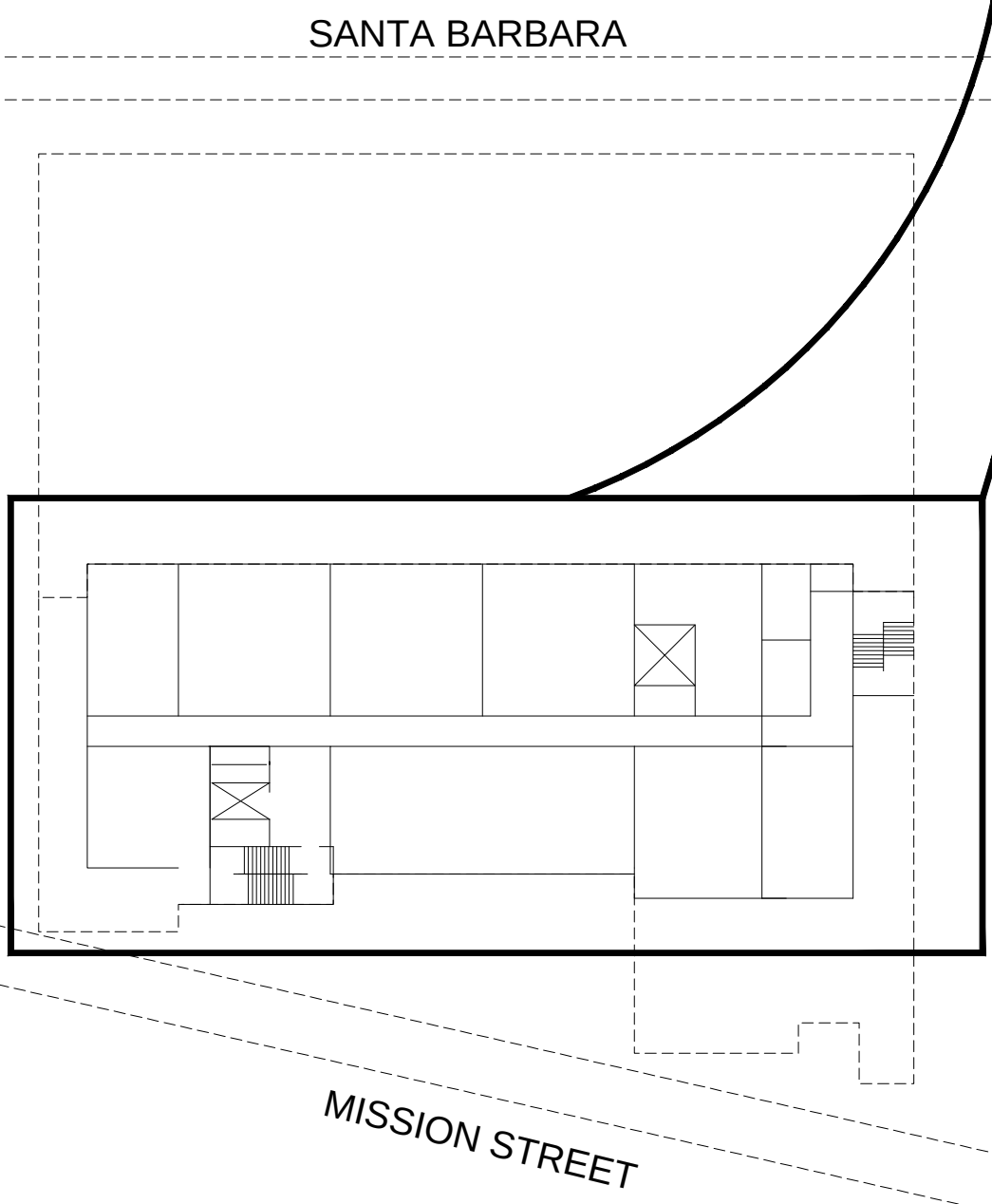
SITE PLAN - 1ST FLOOR

7,893 SQFT*
EXISTING STORAGE AREA 2,254 SF**
EXISTING RETAIL AREA 2,825 SF



2ND FLOOR

Not A Part
6,700 SQFT*
EXISTING STORAGE AREA 4,545 SF**



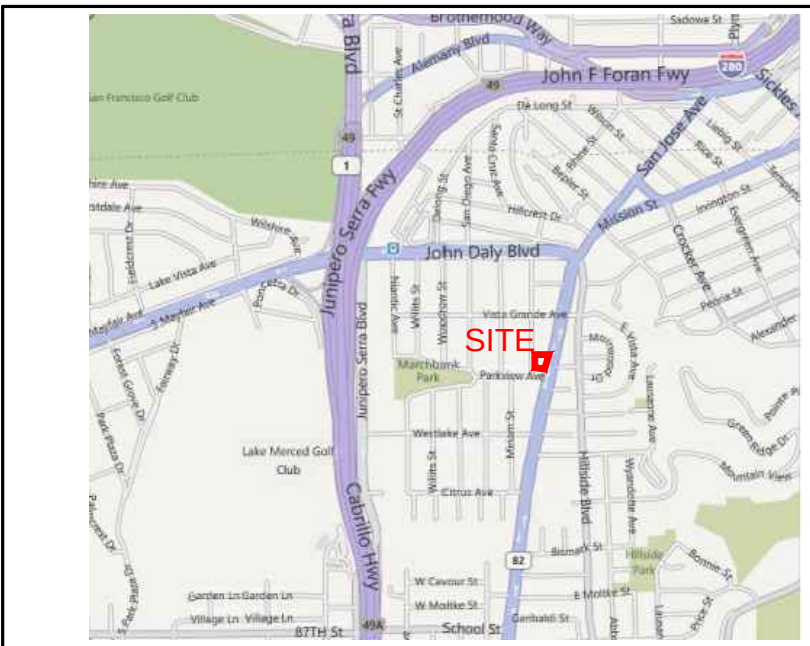
3RD FLOOR

6,825 SQFT*
EXISTING OFFICE

SCOTT A. MOMMER CONSULTING

LAND DEVELOPMENT SERVICES

4694 WEST JACQUELYN AVENUE - FRESNO, CA 93722
TEL: 559 276-2790 FAX: 559 276-0850 SMOMMER@LARSANDERSEN.COM



VICINITY MAP

PROPERTY INFORMATION:

ADDRESS: 6676 MISSION STREET
DALY CITY, CALIFORNIA
APN: 003-121-030

OWNER: PUBLIC STORAGE
701 WESTERN AVENUE
GLENDALE, CA 91201

ATTN: JIM FITZPATRICK -
SR. VICE PRESIDENT OF DEVELOPMENT
PH: (714) 244-8080 EXT. 1476

EXISTING USE: MINI-STORAGE & OFFICE WAREHOUSE

APPLICANT:
SCOTT A MOMMER CONSULTING
ATTN: SCOTT MOMMER
4694 W. JACQUELYN AVENUE
FRESNO, CA. 93722
PH: (559) 978-1000

LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL
- LANDSCAPE
- TRANSFORMER



6676 MISSION STREET
DALY CITY, CA.

DATE: 4/15/2013

SAMC PROJECT NO: SM141.11

REVISIONS

- Changed configuration of 3rd floor and added 1st floor modifications
- Clarify square footage

SITE PLAN

SHEET NUMBER
1 OF 2



EXISTING ELEVATION

SCOTT A. MOMMER CONSULTING

LAND DEVELOPMENT SERVICES

4694 WEST JACQUELYN AVENUE - FRESNO, CA 93722

TEL: 559 276-2790 FAX: 559 276-0850 SMOMMER@LARSANDERSEN.COM

VICINITY MAP

PROPERTY INFORMATION:

ADDRESS: 6676 MISSION STREET
DALY CITY, CALIFORNIA
003-121-030

OWNER: PUBLIC STORAGE
701 WESTERN AVENUE
GLENDALE, CA. 91201

ATTN: JIM FITZPATRICK -
SR. VICE PRESIDENT OF DEVELOPMENT
PH: (714) 244-8080 EXT. 1476

EXISTING USE: MINI-STORAGE & OFFICE WAREHOUSE

APPLICANT:
SCOTT A MOMMER CONSULTING
ATTN: SCOTT MOMMER
4694 W. JACQUELYN AVENUE
FRESNO, CA. 93722
PH: (559) 978-1000



PROPOSED ELEVATION

KEY NOTES:

- 1

EXISTING TILE ROOFING
- 2

EXISTING DOOR TO BE PAINTED
- 3

NEW STORE-FRONT GLASS & DOOR(S)
- 4

EXISTING DOOR-WAY / OPENING TO BE FILLED-IN
- 5

NEW CORNICE TRIM

1

SW 2059 SAND

2

2060 CASA BLANCA

3

SW 2071 COBBLE STONE

4

SW 7705 WHEAT PENNY

5

SW 6103 TEA CHEST

6

SW 6395 ALCHEMY

6676 MISSION STREET
DALY CITY, CA.

DATE: 4/15/2013

SAMC PROJECT NO: SM141.11

ELEVATIONS

SHEET NUMBER
2 OF 2

6676 Mission St.

UP 86-20

CITY OF DALY CITY

Office of Planning

TO: Honorable City Council

FROM: Planning Commission

SUBJECT: Use Permit UP86-20, Variance V86-7
and Environmental Assessment

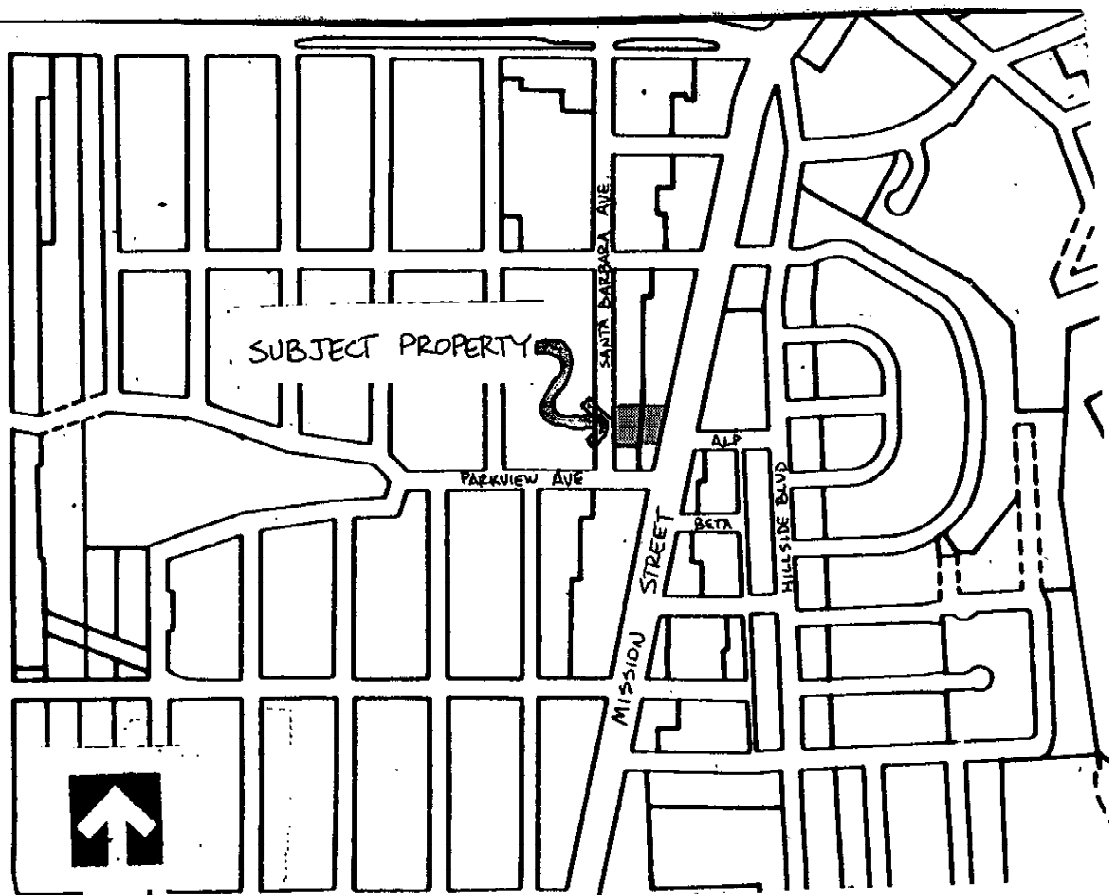
APPLICANT: Public Storage, Inc.

LOCATION: 6676 Mission Street

ZONING: C-1 (Light Commercial District)

PURPOSE: Mixed use commercial, office & storage
space development

PLANNING COMMISSION ACTION: Approved (5-0) October 21, 1986





1021

CITY OF DALY CITY

333-90TH STREET

DALY CITY, CA 94015-1895

PHONE: (415) 991-8078
891-8078

November 13, 1986

Public Storage, Inc.
11818 Dublin Boulevard
Dublin, CA 94568

Re: Use Permit UP86-20, Variance V86-7 - 6676 Mission Street

Gentlemen:

At its regular meeting held on November 10, 1986, the City Council of the City of Daly City received the report and recommendation of the Planning Commission with respect to your application for a use permit and variance under the Provisions of Ordinance No. 635.

After review and consideration of the Environmental Assessment, the City Council found that this project will not have a significant effect on the environment and instructed that a Negative Declaration be filed.

After consideration of all evidence submitted to it, the City Council voted to affirm the findings of the Planning Commission and grant Conditional Use Permit UP86-20 and Variance V86-7 to allow construction of a mixed-used development at 6676 Mission Street subject to the following conditions:

1. All demolition, grading and new construction on the site, including signage, shall be done with proper permits and shall be consistent with current City codes in effect at the time when the permit is issued. Specifically, the applicant shall comply with the requirements of the Fire Department as outlined in the January 8, 1986 memo. The requirements of the Public Works Department as outlined in the January 21, 1986 memo, shall be met to the satisfaction of the Director of Public Works prior to issuance of a building permit.
2. Applicant must secure all necessary encroachment and curb cut permits necessary along Mission Street frontage from appropriate departments of CalTrans.
3. Public Storage, Inc. shall make available mini-storage units to the tenants of the retail commercial for storage of merchandise in an effort to increase the marketability of the development.



4. The Design Review Committee established as a part of the Mission Street CIP shall approve the site plan, as well as all site improvements, including on and off-site landscaping plans, building plans, signage, building materials and colors prior to the issuance of a building permit. The Committee may, at its discretion, require additional pedestrian oriented amenities, such as awnings on Mission Street for weather protection and benches on Santa Barbara Avenue in order to further the creation of usable open space.
5. Parking provided on-site shall remain available for use by the customers of the mini storage, office, and retail commercial. Mission Street shall not be used as a loading zone for the development.
6. The applicant and any successor in interest agrees to financially participate to the same extent and manner as is applicable to other properties similarly situated in any mechanism established to provide additional off-street parking for the Mission Street/Top of the Hill area by the City of Daly City or its Redevelopment Agency.
7. The building's second story on the Mission Street frontage shall be designed in a manner that facilitates conversion of the space from storage to office use.
8. During construction, hours of operation on-site shall be 8:00 a.m. to 5:30 p.m., Monday through Friday; there will be no start-up of machines or equipment prior to 7:30 a.m., Monday through Friday; no delivery of materials or equipment will be made past 5:30 p.m. on Monday through Friday. There shall be no construction on weekends. Exceptions to these time restrictions may be granted by the City Engineer for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and have given approval in advance of said work.
9. The applicant shall obtain all required permits and licenses from the City prior to opening the business.
10. The applicant shall file with the City Clerk a Declaration of Acceptance of all the above Conditions of Approval within thirty (30) days of City Council approval. Until said Declaration is filed, the use permit shall not be valid.

Very truly yours,

Betty Mazza
BETTY MAZZA
City Clerk

BM/lv

Encl.

cc: City Attorney
City Engineer
City Planner
Dennis Mann, County Assessor's Office

10/31/86

BACKGROUND

On October 21, 1986 the Planning Commission conducted a public hearing on a use permit application by Public Storage, Inc. to allow construction of a mixed-used development at 6676 Mission Street. At the conclusion of the hearing the Commission unanimously approved the request. The proposed 51,170 square foot building includes retail space, office area, mini-storage and a manager's apartment. A previous submittal was recommended to be denied by the Planning Commission in February 1986, and subsequently denied by the Council. Comments and criticisms made in the previous process have been used by the applicant in revising the plans. Staff believes the new plans represent a significant improvement in the building's design. Comparing some of the project characteristics between the previous proposal and the current submittal illustrates changes made in the development:

<u>Character</u>	<u>Previous Project</u>	<u>Current Request</u>
Retail space	4,380 square feet	4,050 square feet
Office space	-0-	8,400 square feet
Mini-storage space	37,170 square feet	35,115 square feet
Manager's unit	1,350 square feet	1,505 square feet
Off-street parking	6 stalls	31 stalls

Two major concerns were raised in the previous application -- land use and parking. Land use issues included the desirability of having a mini-storage facility in the Mission Street Redevelopment Area and the compatibility of the project with residential land uses along Santa Barbara Avenue. The applicant has reduced the square footage of storage use and added third floor office space on Mission Street. This has resulted in a three-fold increase in the office/retail space in the project -- 4,380 square feet versus 12,450 square feet. Additionally, under the Conditions of Approval the second story on the Mission Street frontage, which is currently proposed to be storage area, would be designed in a manner that readily accommodates conversion of the area to office use. Were this floor converted, the office/retail space would increase to 20,850 square feet or 40 percent of the building.

While the proposal is not an ideal land use for the Santa Barbara street frontage, it does respect the residential character of that street. The building is set back, landscaped, and at a height compatible with other two-story structures on the street. The roof line and facade of the building are detailed in a manner that contributes to compatibility. The only curb cut on Santa Barbara would be for the manager's private garage and the remainder of the curb area would be retained for on-street parking serving neighborhood residents.

Off-street parking has increased from the six spaces previously proposed to 29 spaces plus two spaces for the manager's apartment. A major concern in the previous design had been how parking would function with loading and unloading of

10/31/86

storage goods versus customers for the retail area. The redesign has rooftop parking with easy access for storage users and separate areas for office or retail use.

Three neighbors, all residents on Santa Barbara, spoke in opposition to the request. Their concerns included loss of privacy, view impacts, shadows, traffic on Santa Barbara, safety of neighborhood children, property values, and the type of clientele this type of facility would attract. One person spoke in favor of the proposal because it would improve Mission Street and not generate a great deal of automobile traffic. Letters favoring the project were received from Eugene Lagomarsino, the Mission Merchants Association, Southwest Diversified and Frank Gigli of Gigli Plumbing and Heating.

ENVIRONMENTAL ASSESSMENT

The Planning Commission has reviewed the proposal under the requirements of the California Environmental Quality Act and has determined that, based on the Findings and Conditions of Approval specified for the project, the proposed use permit and variance will not have a detrimental impact on the environment. This is based upon the Findings and Conditions of Approval as specified herein. Pursuant to Daly City environmental review procedures, a Negative Declaration has been prepared.

FINDINGS

The Planning Commission finds that pursuant to the general requirements of Chapter 17 of the Daly City Municipal Code, the proposed commercial structure with mini storage, retail space, and manager's residence, will not, under the circumstances of this application, be detrimental to the health, safety, morals, general comfort and welfare of persons residing or working in the neighborhood or to the general welfare of the City. These findings are based in part on the following facts:

1. Proper notice of the Planning Commission's public hearing was given by legal notice in a newspaper of general circulation, posting in the area, and first class mailing to property owners within 300 feet of the subject site. The Commission considered all testimony before making a recommendation.
2. The proposed structure and uses were reviewed and approved in concept on January 22, 1986 by the Project Area Committee of the Redevelopment Agency.
3. The proposed use will utilize a partially vacant infill site and remove a used car lot on Mission Street which is an eyesore on the subject block front. The vacant lot on Santa Barbara Avenue has been a constant attraction for abandoned vehicles which present both an eyesore to the single family neighborhood as well as a potential danger for children.
4. The proposed use will under-utilize the commercial potential for the Mission Street frontage and not fully realize the goals envisioned by the Design Guidelines as adopted by the Redevelopment Agency. The subject site is one of

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the last remaining developable lots in the Top of the Hill Mission Street area; and as such, the proposed use may be a lost opportunity in terms of realizing the full commercial potential.

5. The design of the Santa Barbara Avenue side of the proposed structure respects the residential neighborhood on that street. The design for this portion of the project is compatible with the surrounding land use.
6. Facade improvements and signage for the proposed structure and its commercial occupants will have to conform to the Guideline Plan of the Mission Street Commercial Improvement Program (CIP). Facade designs will be reviewed by the Design Review Committee of the CIP Program.
7. The City rezoned the entire subject site to C-1 (Light Commercial District) on February 25, 1986. During the public review of this rezoning, the residents in the area voiced concerns that access to the site off of Santa Barbara Avenue would be a detriment to the community.
8. Upon entering the subject property from Mission Street, the site has topographic constraints that limit parking availability.
9. Most of the businesses along Mission Street have little or no off-street parking. A reduction in off-street parking for the proposed retail space and manager's apartment would not be inconsistent with this situation.
10. The "Commercial Rehabilitation Project Area Consumer Survey", April 1985, prepared by Gruen Gruen + Associates for the City, shows that approximately 30% of the patrons walk to do their shopping in the Top of the Hill area. This tends to reduce the overall demand for parking, as well as the fact that Mission Street is served by a major Sam Trans bus route.

CONDITIONS OF APPROVAL

The Planning Commission recommends approval of UP86-20, V86-7 subject to the following conditions:

1. All demolition, grading and new construction on the site, including signage, shall be done with proper permits and shall be consistent with current City codes in effect at the time the permit is issued. Specifically, the applicant shall comply with the requirements of the Fire Department as outlined in the January 8, 1986 memo. The requirements of the Public Works Department as outlined in the January 21, 1986 memo, shall be met to the satisfaction of the Director of Public Works prior to issuance of a building permit.
2. Applicant must secure all necessary encroachment and curb cut permits necessary along Mission Street frontage from appropriate departments of CalTrans.

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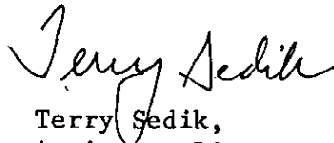
3. Public Storage, Inc. shall make available mini storage units to the tenants of the retail commercial for storage of merchandise in an effort to increase the marketability of the development.
4. The Design Review Committee established as a part of the Mission Street CIP shall approve the site plan, as well as all site improvements, including on and off-site landscaping plans, building plans, signage, building materials and colors prior to the issuance of a building permit. The Committee may, at its discretion, require additional pedestrian oriented amenities, such as awnings on Mission Street for weather protection and benches on Santa Barbara Avenue in order to further the creation of usable open space.
5. Parking provided on site shall remain available for use by the customers of the mini storage, office, and retail commercial. Mission Street shall not be used as a loading zone for the development.
6. The applicant and any successor in interest agrees to financially participate to the same extent and manner as is applicable to other properties similarly situated in any mechanism established to provide additional off-street parking for the Mission Street/Top of the Hill area by the City of Daly City or its Redevelopment Agency.
7. The building's second story on the Mission Street frontage shall be designed in a manner that facilitates conversion of the space from storage to office use.
8. During construction, hours of operation on-site shall be 8:00 a.m. to 5:30 p.m., Monday through Friday; there will be no start-up of machines or equipment prior to 7:30 a.m., Monday through Friday; no delivery of materials or equipment will be made past 5:30 p.m. on Monday through Friday. There shall be no construction in weekends. Exceptions to these time restrictions may be granted by the City Engineer for one of the following reasons: (1) inclement weather affecting work, (2) emergency work, or (3) other work, if work and equipment will not create noise that may be unreasonably offensive to neighbors as to constitute a nuisance. The City Engineer must be notified and have given approval in advance of said work.
9. The applicant shall obtain all required permits and licenses from the City prior to opening the business.
10. The applicant shall file with the City Clerk a Declaration of Acceptance of all the above Conditions of Approval within thirty (30) days of City Council approval. Until said Declaration is filed, the use permit shall not be valid.

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PLANNING COMMISSION RECOMMENDATIONS

The Planning Commission recommends to the City Council:

1. Affirm the findings as outlined herein;
2. Affirm the Environmental Assessment and grant a Negative Declaration;
3. Approve Use Permit UP86-20, Variance V86-7, subject to the conditions herein.



Terry Sedik,
Assistant Director of Community Development



Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: May 7, 2013

Application: Use Permit UPR-3-13-6969

Project Planner: Michael Van Lonkhuysen, Senior Planner

Project Location: 1617 Southgate Avenue (APN 091-246-020)

Project Description: Use permit to allow a church to occupy an existing office building

Applicant: Suheil Shatara (representing St. George Orthodox Church)
Shatara Architecture, Inc.
26 Lakeview Drive
Daly City, California 94015

Property Owner: Iglesia Ni Cristo (Church of Christ)
770 Airport Boulevard
Burlingame, California 94010

Environmental Assessment: Categorically Exempt per CEQA Guidelines Section 15301(a)

Applicable Daly City Municipal Code Sections: Chapter 17.34 Off-Street Parking and Loading
Chapter 17.44 Use Permits

Site Information

Property Size	Existing Use	Proposed Use	General Plan Designation	Current Zoning
31,800 sq.ft. (.73 acres)	Church administrative office	Assembly area (first floor) Office/dining/kitchen (second floor)	C-O Commercial Office	C-O Office Commercial District

Area Information

Land Use	Zoning
North: Freeway (Interstate 280)	None
South: Serramonte Shopping Center	C- 2 Heavy Commercial District
West: Freeway (Interstate 280)	None
East: Freeway (Highway 1)	None

Background

The applicant, Shatara Architecture, Inc., on behalf of St. George Orthodox Church, is requesting approval to use the property at 1617 Southgate Avenue for a church. The site has been occupied by an office building since 1972, when the California Automobile Association constructed a branch office there. In 1993, the current property owner, Iglesia Ni Cristo (Church of Christ), established administrative offices on the site, which remain in use today.

Discussion

The proposed church would occupy both floors of an existing two-story building, with the second floor used for church services and the first floor used primarily for social activities after services. According to the project description supplied with the application, there would never be an occasion that both floors would be used simultaneously. While services would occur primarily on weekends, weekday use would be limited to administrative functions.

The church would continue to use a single access driveway from Southgate Avenue and the existing parking lot would be restriped to maximize the total number of parking spaces provided. In total, the church proposes to provide 42 parking spaces in the lot, exceeding the 38 spaces required by the Zoning Ordinance. As is presently the case, the parking lot consists of three segments, each separated by a three-foot elevation difference. Short concrete staircases facilitate pedestrian access between the parking lot segments and the front entrance of the building.

Although the parking lot drive-aisle locations and dimensions are the same as those that presently exist, the proposed parking lot restriping would impact both pedestrian circulation and parking lot landscaping. Specifically, parking spaces have been shifted in such a way that the top and bottom landings of the existing concrete staircases are no longer in between parking spaces. Likewise, existing landscape planters have been reduced in size to accommodate parking space provision. To address these impacts, staff has proposed Conditions of Approval that require that the existing stairs connecting parking lot segments be relocated so that landings occur between parking spaces and that the total amount of parking lot landscaping either be retained or, if reduced, reduced in such a manner that maintains two percent of the parking lot as landscaping in compliance with the Zoning Ordinance.

With regard to the building exterior, the applicant has proposed repainting all trim materials and wood panels at the exterior elevation the same color as existing, replacing the existing windows with stained glass-windows, and adding a small cross to the rooftop ridge. The existing pebbled rock that exists throughout most of the exterior elevation would remain. Due to the building's generally acceptable appearance, staff has not recommended any additional exterior building modifications.

Overall, there appears to be no significant issues with a church operating at this location. The property is surrounded by either freeways or non-residential land uses, and the potential for spillover parking onto the adjacent street (Southgate Avenue) is limited because the full dimension of Southgate Avenue is used for traffic flow. Due to the use of the church property primarily on weekends, no significant traffic impacts are anticipated for this project.

Furthermore, the loss of general office space that would result if the church were to be approved would be insignificant given the maximum potential for jobs in the 7,750 square foot building.

Site Condition

Although the overall site condition is generally acceptable, the parking lot and landscaping at the site have aged and could use refurbishment. Furthermore, the site presently provides no trash enclosure, which is a requirement for all new non-residential and multi-family projects. Staff is therefore recommending the following Conditions of Approval to address these issues:

1. The applicant shall revise the project plans to identify the placement of a slurry seal over the entire parking lot. The seal shall not include work that results in the removal of existing asphalt surfaces. Once the seal is applied, the applicant shall restripe the lot in conformance with the approved parking lot layout. All parking spaces shall be dimensioned in conformity with the Zoning Ordinance and shall receive wheel stops. The applicant may re-use the existing wheel stops at the site, but broken impartial stops shall be replaced with new stops.
2. The applicant shall revise the project plans to include the placement of a trash enclosure on the site. The enclosure shall be constructed from concrete with decorative cap, painted to match the building color, and shall receive a powder-coated metal door painted to match the building color. The capacity, design, and location of the structure shall be approved by both the Planning Division and Allied Waste Services prior to incorporation in the project plans that are submitted to the Building Division for permit issuance. The enclosure shall not displace required parking or landscaping.
3. The applicant shall revise the project plans to include a detailed landscape plan that incorporates new trees and shrubs to replace those trees and shrubs that are dead or dying on the site, and to replace landscaping removed to increase parking should the overall provision of parking lot landscaping be less than two percent of the parking lot area. New plant and tree material shall be drought-tolerant, be of a native species, and be designed in compliance with the City's Water in Conservation in Landscaping Ordinance.
4. The applicant shall revise the project plans to identify the repair, repainting, and/or replacement of all non-functioning parking lot lights.

In addition to the above requirements, the City's Department of Water and Wastewater (DWWR) has required the removal of several street trees that exist in the Southgate Avenue right-of-way. The trees are presently situated over a shallow water main and the DWWR is concerned that the continued presence of these trees could compromise the main. While the removal of the street trees has been added as a Condition of Approval, staff is recommending that new trees be incorporated elsewhere on the site to mitigate the loss of the street trees.

Findings

Staff finds that, as conditioned, the proposed Use Permit UPR-3-13-6969 is in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the use permit would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission conducted a public hearing on May 7, 2013; notice of said hearing was by newspaper publication on April 27, 2013; posting and first class mailing to property owners within 300 feet of the site was sent April 24, 2007;
2. The site is located in an area which is predominately non-residential in nature and there is no evidence that the proposed use of the property for a church would be in conflict with adjacent land uses;
3. The property on which the church would be located is generally flat and physically suitable for a church. As conditioned, all required parking spaces would be easily-accessed from the church and driveways to and from church property would allow for easy access to Southgate Avenue;
4. There is adequate water and sewer service capacity to serve the church use on the site and, since the use permit proposal involves no new construction, the amount of impervious surfaces on the site are not increased;
5. The church would provide all of the parking spaces required by the Daly City Zoning Ordinance (38 spaces) given the number of fixed seats identified in the project plans (one space for every six permanent seats);
6. Given that the church will primarily operate on weekends, the adjacent roadway and intersection infrastructure is sufficient to accommodate a church on the subject property without degrading existing traffic levels;
7. Although the Daly City General Plan designates the subject property as Commercial — Office (C-O) and the City encourages maximum job creation in an area so designated, the loss of general office space caused by the church approval would be insignificant given the maximum potential for jobs in the 7,750 square foot building (31 jobs) and Daly City's overall current employment figure (22,760 jobs). Furthermore, current church administrative office employment (three jobs) is almost identical to the employment anticipated by the current applicant (two jobs); and
8. The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15301 – Existing Facilities. The project consists primarily of minor interior and exterior alterations, and no new floor area or exterior modifications are associated with the project.

Conditions of Approval

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. Within thirty (30) days of Council approval, the applicant shall file with the City Clerk a Declaration of Acceptance of all conditions. Until said declaration is filed, the project shall not be granted for any permits sought from the City.
2. If building permits are not issued and construction diligently pursued within one year of approval of the use permit approval, the use permit shall become invalid.
3. The applicant shall submit signage material details for review and approval by the Planning Division.
4. The Use Permit shall be valid for a period of one year from the date of City Council approval. The approval shall terminate if a building permit has not been obtained and construction commenced within one-year of City Council approval of the project.

Parking Lot Design

5. The existing stairs connecting parking lot segments shall be relocated so that landings occur between parking spaces and that the total amount of parking lot landscaping either be retained or, if reduced, reduced in such a manner that maintains two percent of the parking lot as landscaping in compliance with the Zoning Ordinance.

Site Condition

6. The applicant shall revise the project plans to identify the placement of a slurry seal over the entire parking lot. The seal shall not include work that results in the removal of existing asphalt surfaces. Once the seal is applied, the applicant shall restripe the lot in conformance with the approved parking lot layout. All parking spaces shall be dimensioned in conformity with the Daly City Zoning Ordinance and shall receive wheel stops. The applicant may re-use the existing wheel stops at the site, but broken impartial stops shall be replaced with new stops.
7. The applicant shall revise the project plans to include the placement of a trash enclosure on the site. The enclosure shall be constructed from concrete with decorative cap, painted to match the building color, and shall receive a powder-coated metal door painted to match the building color. The capacity, design, and location of the structure shall be approved by both the Planning Division and Allied Waste Services prior to incorporation in the project plans that are submitted to the Building Division for permit issuance. The enclosure shall not displace required parking or landscaping.

8. The applicant shall revise the project plans to include a detailed landscape plan that incorporates new trees and shrubs to replace those trees and shrubs that are dead or dying on the site, and to replace landscaping removed to increase parking should the overall provision of parking lot landscaping be less than two percent of the parking lot area. New plant and tree material shall be drought-tolerant, be of a native species, and be designed in compliance with the City's Water in Conservation in Landscaping Ordinance.
9. Street trees removed for the Southgate Avenue right-of-way in compliance with Condition of Approval #16 shall be replaced with new trees incorporated elsewhere on the site to mitigation the loss of these street trees.
10. The applicant shall revise the project plans to identify the repair or replacement of all non-functioning parking lot lights.
11. The applicant shall include a detailed sign plan with the building permit submittal. The plan shall be in conformity with the City's sign regulations and

B. BUILDING DIVISION

12. The building shall receive a seismic upgrade to current code requirements for Seismic Design Category E per CBC 3408.4 and ASCE7-05 for Change of Occupancy.
13. The building shall provide a 60-ft setback distance to ensure a fire rating on an A-3 occupancy from the right-of-way or yard (CBC 507.6 and 507.7). If the 60-foot setback is not possible, the applicant shall provide methods of providing fire rating on the exterior wall between the adjacent property or building

C. ENGINEERING DIVISION

14. Fronting sidewalk and driveway approaches shall be made compliant with current accessibility standards. All damaged and/or uplifted sidewalk must be repaired or replaced to the satisfaction of the City Engineer and all driveways and approaches must be upgraded to meet current accessibility standards.

D. FIRE DEPARTMENT

15. The building shall provide fire alarms and fire sprinklers, as required by the Daly City Municipal Code and/or NFPA.

E. WATER AND WASTEWATER RESOURCES DEPARTMENT

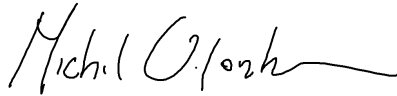
16. No large trees or shrubs shall be planted in the strip fronting Southgate Avenue. Only small drought tolerance plantings will be allowed. Planting shall not grow to an extent where they may damage the City's water infrastructure or inhibit routine maintenance of said infrastructure.
17. The applicant shall modify the site plan to identify the removal of several large trees planted over the City's existing water main in the Southgate Avenue right-of-way.

Recommendations

Staff recommends that the Planning Commission forward to the City Council the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment;
3. Approve Use Permit UPR-3-13-6969, subject to the Findings and Conditions outlined herein.

Respectfully submitted,



Michael VanLonkhuysen
Senior Planner



Brian Millar
Director of Economic and Community Development

Attachments

Attachment A – Location Map
Attachment B – Project Description
Attachment C – Project Plans

LOCATION MAP

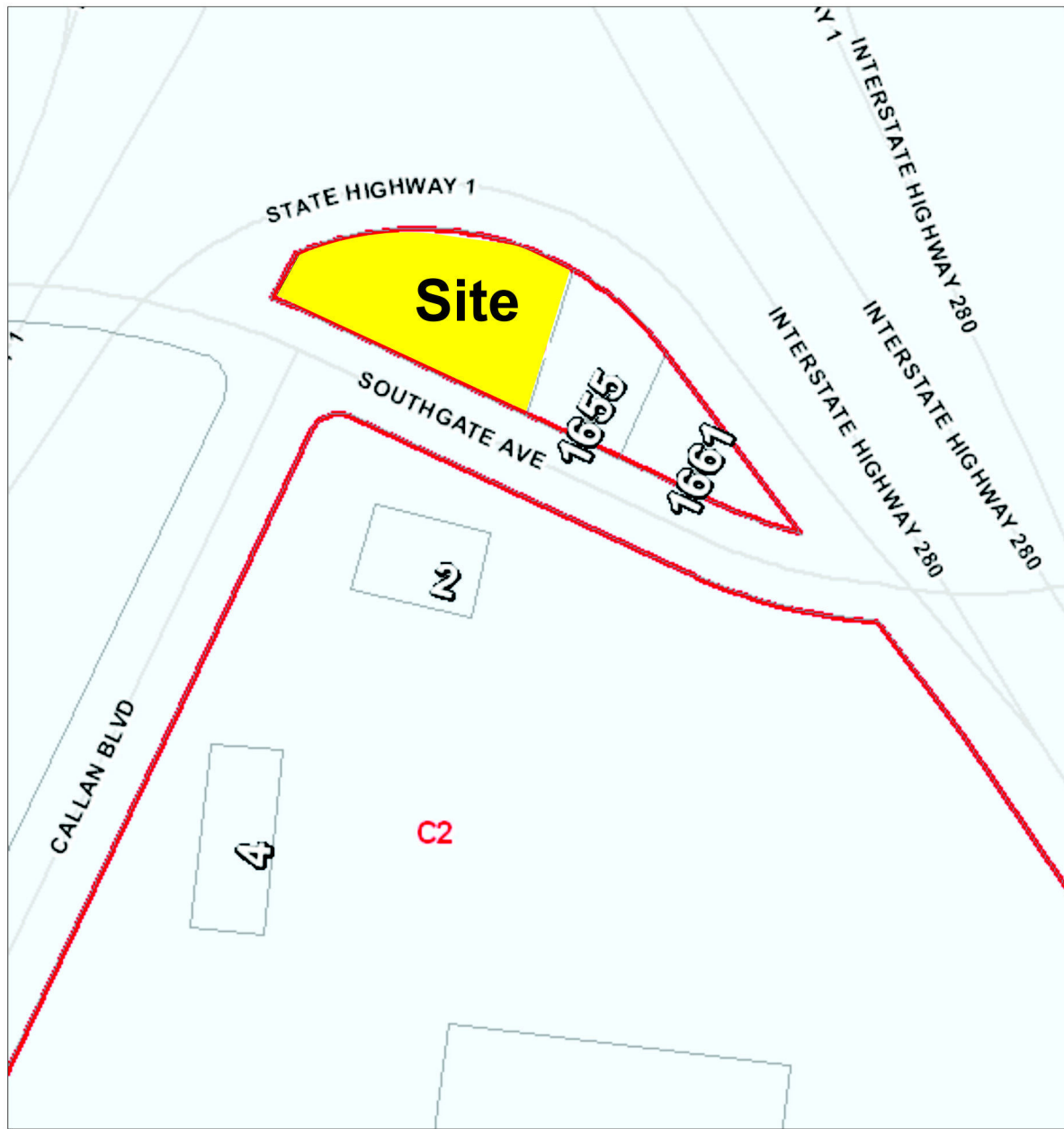


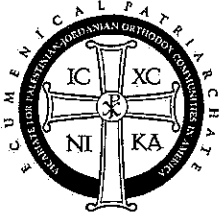
UPR-3-13-6969

1617 Southgate Avenue

Use Permit for St. George Orthodox Church

Planning Commission Review





ST. GEORGE ORTHODOX CHURCH

كنيسة القديس جاورجيوس الأرثوذكسية

399 San Fernando Way, San Francisco, California 94127

stgeorgesf@sbcglobal.net www.stgeorgesf.org

St. George Orthodox Church has been serving our community in the San Francisco area for more than twenty years. The majority of our congregation is located in the north peninsula. St. George has deep roots in the Holy Land that enriches the beauty of our services and the community to which we serve.

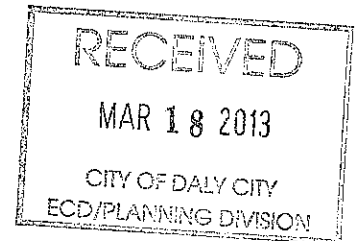
Our Church was established in 1993 when His Beatitude Patriarch Diodoros of Jerusalem blessed the ordination of our head priest, The Very Rev. Father George Jweinat, as the first Jerusalem Priest in North America. With Gods' grace & hard work, Fr. George helped establish numerous churches throughout California. Due to our small size, administration rights were passed from the Patriarchate of Jerusalem to the Ecumenical Patriarchate of Constantinople and receive our Spiritual guidance from Archbishop Demetrios of the Greek Orthodox Archdiocese of North America.

Since our establishment, we have been renting an Episcopalian Church in San Francisco on the corner of San Fernando way and Ocean Avenue for our services. We have been actively seeking a place of worship to call home for sometime. Our San Francisco chapter is comprised of approximately 250 parishioners and our services are conducted both in Arabic and English, with Vespers being held every Saturday from 6:00 p.m. to 7:00 p.m., Matins & Divine Liturgy every Sunday from 12:00 p.m. to 2:00 p.m.

Our planned use of the proposed new site for our Church would have the same Saturday time services and on Sundays would be from 10:00 a.m. to 12:30 p.m. Attendance at our services on Saturdays would be minimal and the majority of people attending usually is for Sunday Liturgy. We average about 150 people per service and on special occasions such as Easter and Christmas services will have up to 250 people. The upper half of the building will be used as our sanctuary and would strictly be used for liturgical services. The same people attending would use the lower floor for fellowship, coffee and luncheons after our services. There would never be an occasion that both floors would be used simultaneously. The use of our Church during the regular business week would be very minimal and mostly for administrative purposes only, with exception to Holy week during Easter and special services such as memorials.

Fr. George Jweinat

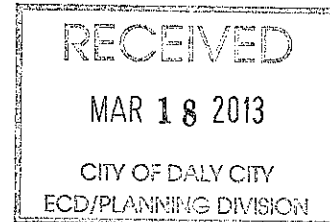
Archiepiscopal Vicar



shatara**ARCHITECTURE** Inc.

March 18, 2013

Daly City Planning Department
333 90th Street
Daly City, CA 94015



Re: 1617 Southgate Avenue

St. George Orthodox Church has been serving our community in the San Francisco area for more than twenty years.

It is comprised of approximately 250 parishioners. Vespers being held every Saturday from 6:00 p.m. to 7:00 p.m., Matins & Divine Liturgy will be held on Sundays from 10:00 a.m. to 12:30 p.m.

Attendance at services on Saturdays would be minimal and the majority of people attending usually is for Sunday Liturgy. They average about 150 people per service and on special occasions such as Easter and Christmas services will have up to 250 people. The upper half of the building will be used as our sanctuary and would strictly be used for liturgical services.

The same people attending Liturgies would use the lower floor for fellowship, coffee and luncheons after our services. There would never be an occasion that both floors would be used simultaneously. The use of our Church during the regular business week would be very minimal and mostly for administrative purposes only, with exception to Holy week during Easter and special services such as memorials and weddings.

The church will hold occasional functions like Pizza Night for our youth or Family Night dinners every couple of months for its parishioners. Attendance usually is around 70-100 parishioners.

Please note that a lot of our parishioners come to church by public transportation. Shuttles will drop and pick up some of our senior parishioners

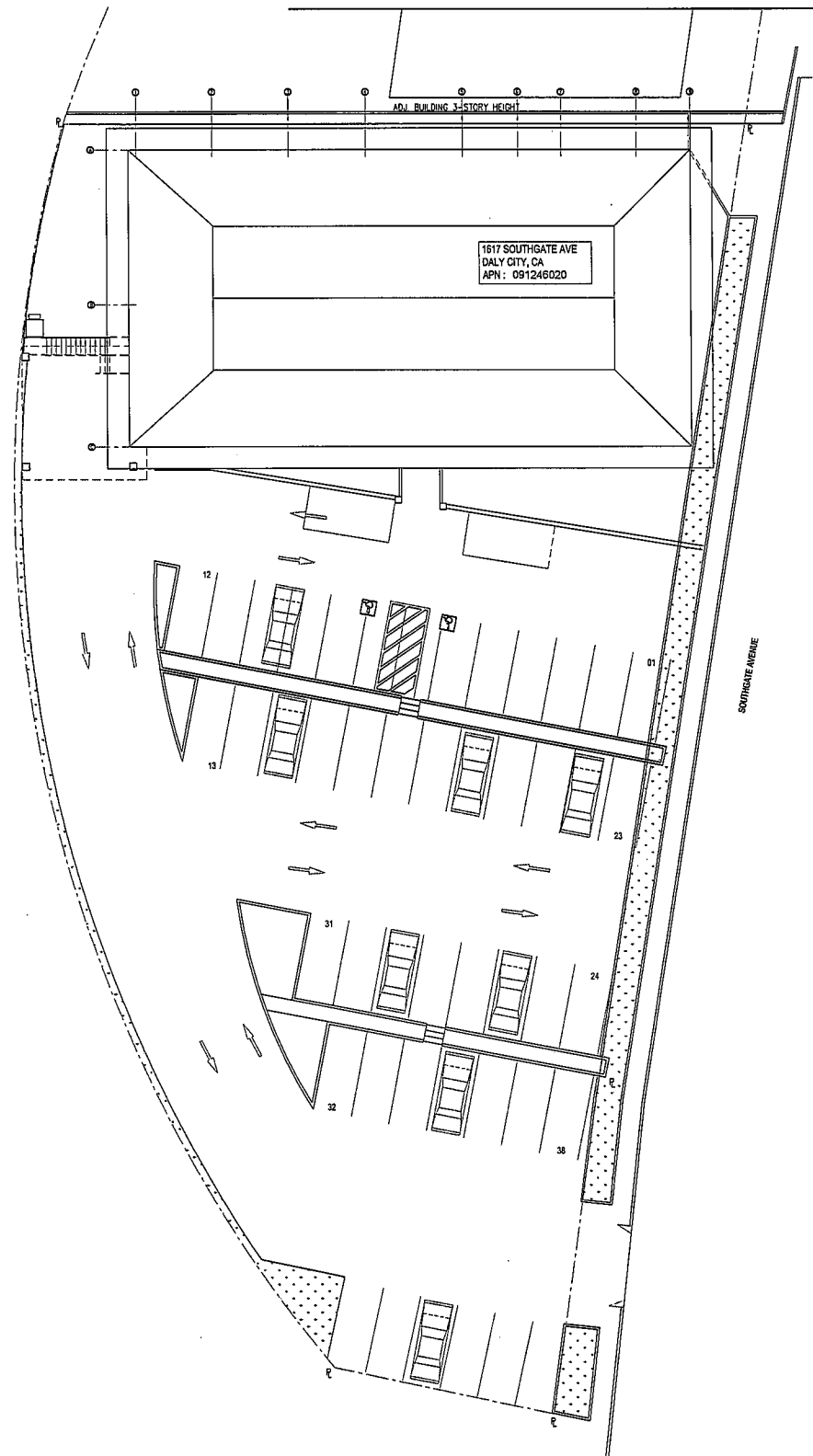
In conclusion we feel that the impact on the church is minimal and we will accommodate future growth with shuttle services and/ or valet parking services.

Should you have any questions please do not hesitate to contact us.

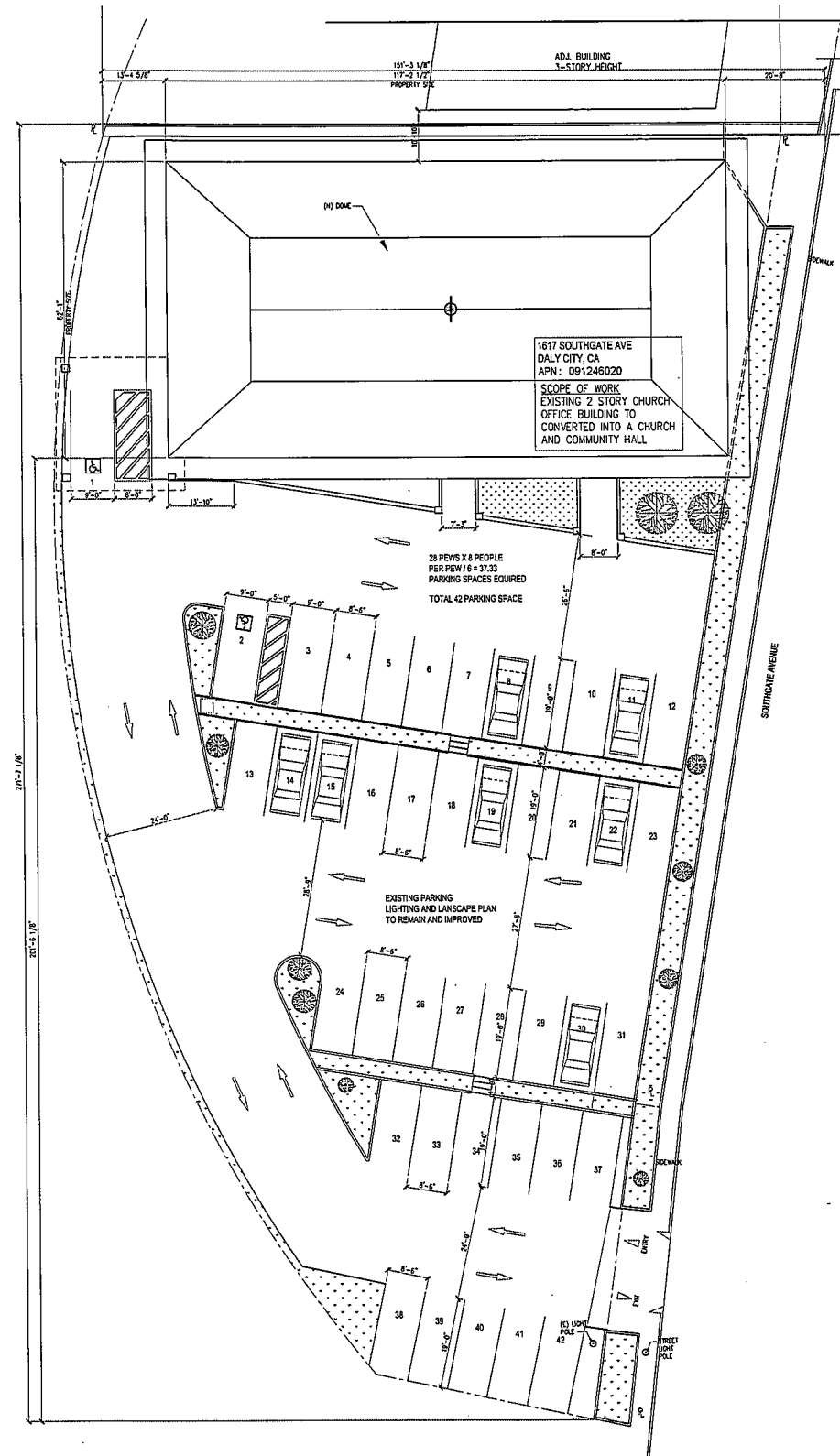
Regards,

A handwritten signature in black ink, appearing to read 'Suheil Shatara', with a long horizontal flourish extending to the right.

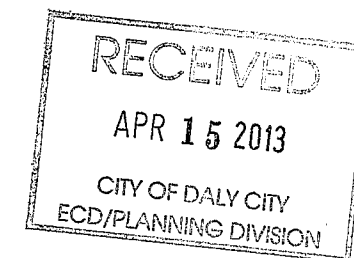
Suheil Shatara
Principal
Shatara Architecture, Inc.



1 EXISTING SITE PLAN
SCALE: 1/16"=1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"



DETAILS SHEET NOTES

1. WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
2. FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

- | | | |
|-----|---------------------------------|---|
| 9 | WALL TYPE
SEE SHEET A2.3 | SECTION |
| 999 | DOOR NUMBER
SEE SHEET A2.0 | ELEVATION |
| 9A | WINDOW NUMBER
SEE SHEET A2.0 | FLOOR/CEILING ASSEMB.
TYPE, SEE SHEET A2.3 |
| --- | (E) WALL TO BE DEMOLISHED | |
| --- | (E) WALL TO REMAIN | |
| --- | (N) WALL | |
| --- | PROPERTY LINE | |

SHATARA
ARCHITECTURE
INC.

26 LAKEVIEW DR.
DALY CITY
CA 94015

TEL (415) 512-7566

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THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

PROJECT
TENANT IMPROVEMENT

ADDRESS
**1617 SOUTHGATE AVE.
DALY CITY, CA**

APN : 091246020
PARCEL ID: 175776

PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
26 LAKEVIEW DRIVE
DALY CITY, CA 94015
TEL: 415-512-7566
FAX: 415-546-5415
CONTACT: MR. SUHEIL SHATARA

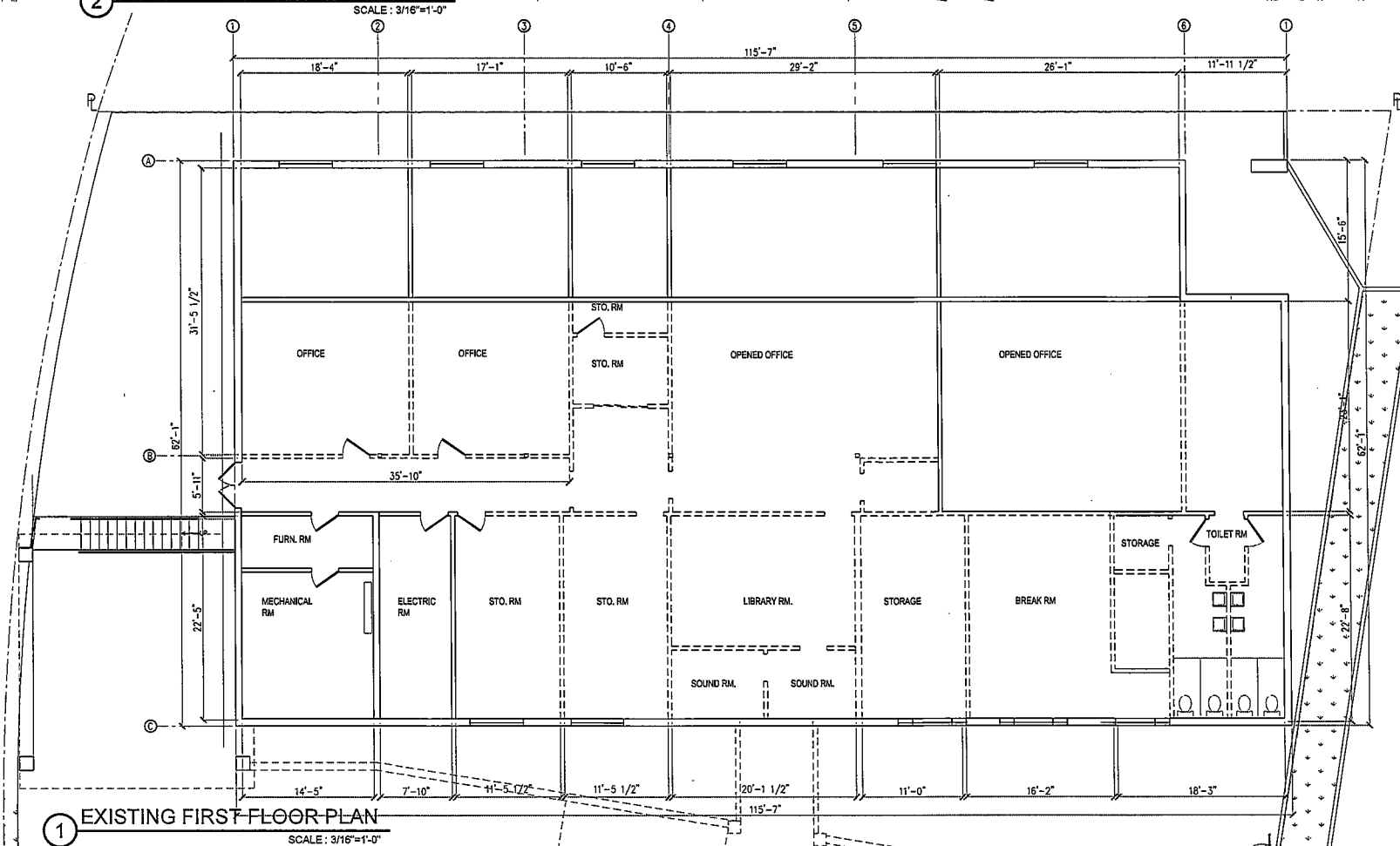
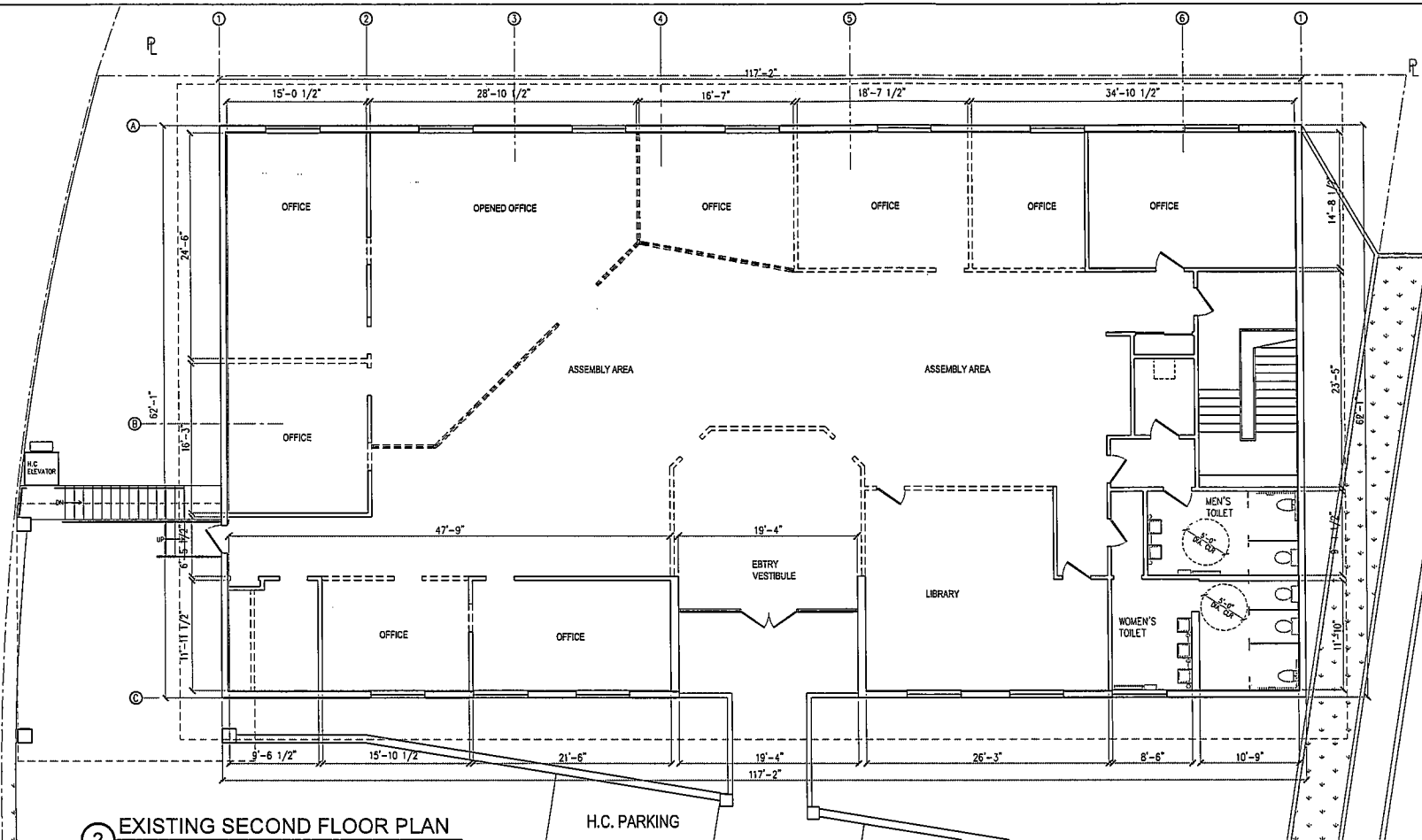
OWNER
CONTACT ARCHITECT

ISSUED	DATE	NO.
BUILDING	03.18.2013	
BUILDING	04.15.2013	



SHEET DESCRIPTION
**EXISTING /
PROPOSED SITE
PLANS**

A1.0



DETAILS SHEET NOTES

1. WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
2. FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

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LEGEND

- | | | | |
|-----|---------------------------------|------------|--|
| 9 | WALL TYPE
SEE SHEET A2.3 | 1
A.S.4 | SECTION |
| 999 | DOOR NUMBER
SEE SHEET A2.0 | 1
A.S.4 | ELEVATION |
| 9A | WINDOW NUMBER
SEE SHEET A2.0 | 1
A.S.4 | FLOOR/CEILING ASSEMBLY
TYPE, SEE SHEET A2.3 |
-
- | | |
|-------|---------------------------|
| ----- | (E) WALL TO BE DEMOLISHED |
| ===== | (E) WALL TO REMAIN |
| ===== | (N) WALL |
| ----- | PROPERTY LINE |

**SHATARA
ARCHITECTURE
INC.**

26 LAKEVIEW DR.
DALY CITY
CA 94015

TEL (415) 512-7566

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PROJECT
TENANT IMPROVEMENT

ADDRESS
**1617 SOUTHGATE AVE.
DALY CITY, CA**

APN : 091246020
PARCEL ID: 175776

PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
26 LAKEVIEW DRIVE
DALY CITY, CA 94015
TEL: 415-512-7566
FAX: 415-546-6415
CONTACT: MR. SUHEIL SHATARA

OWNER
CONTACT ARCHITECT

ISSUED	DATE	NO.
BUILDING	03.18.2013	
BUILDING	04.15.2013	

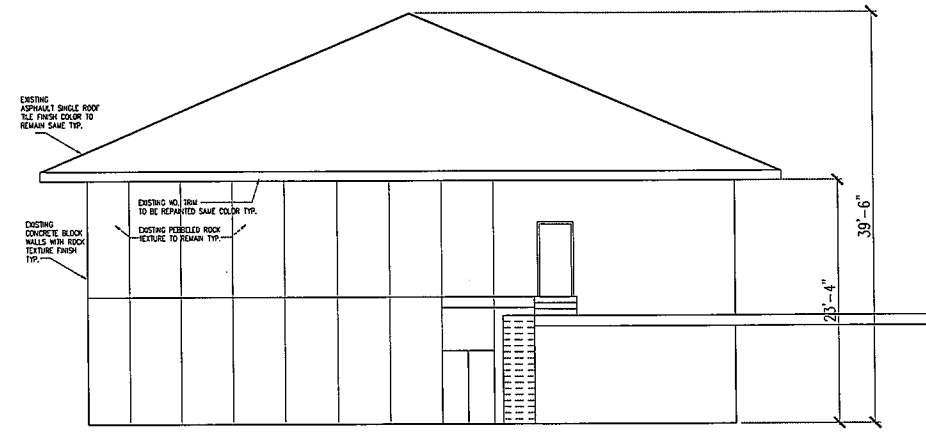


SHEET DESCRIPTION
**EXISTING
PLANS**

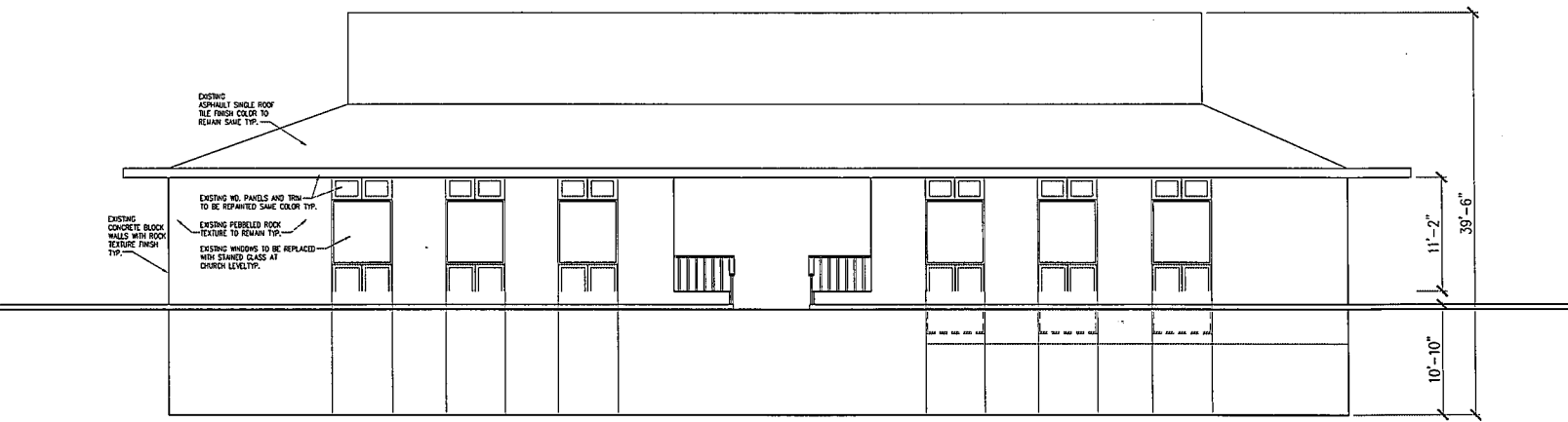
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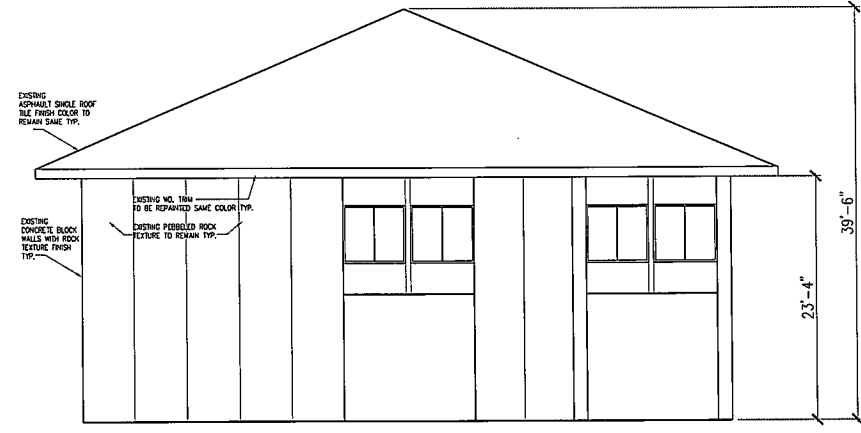
1 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



4 WEST ELEVATION
SCALE: 1/8"=1'-0"

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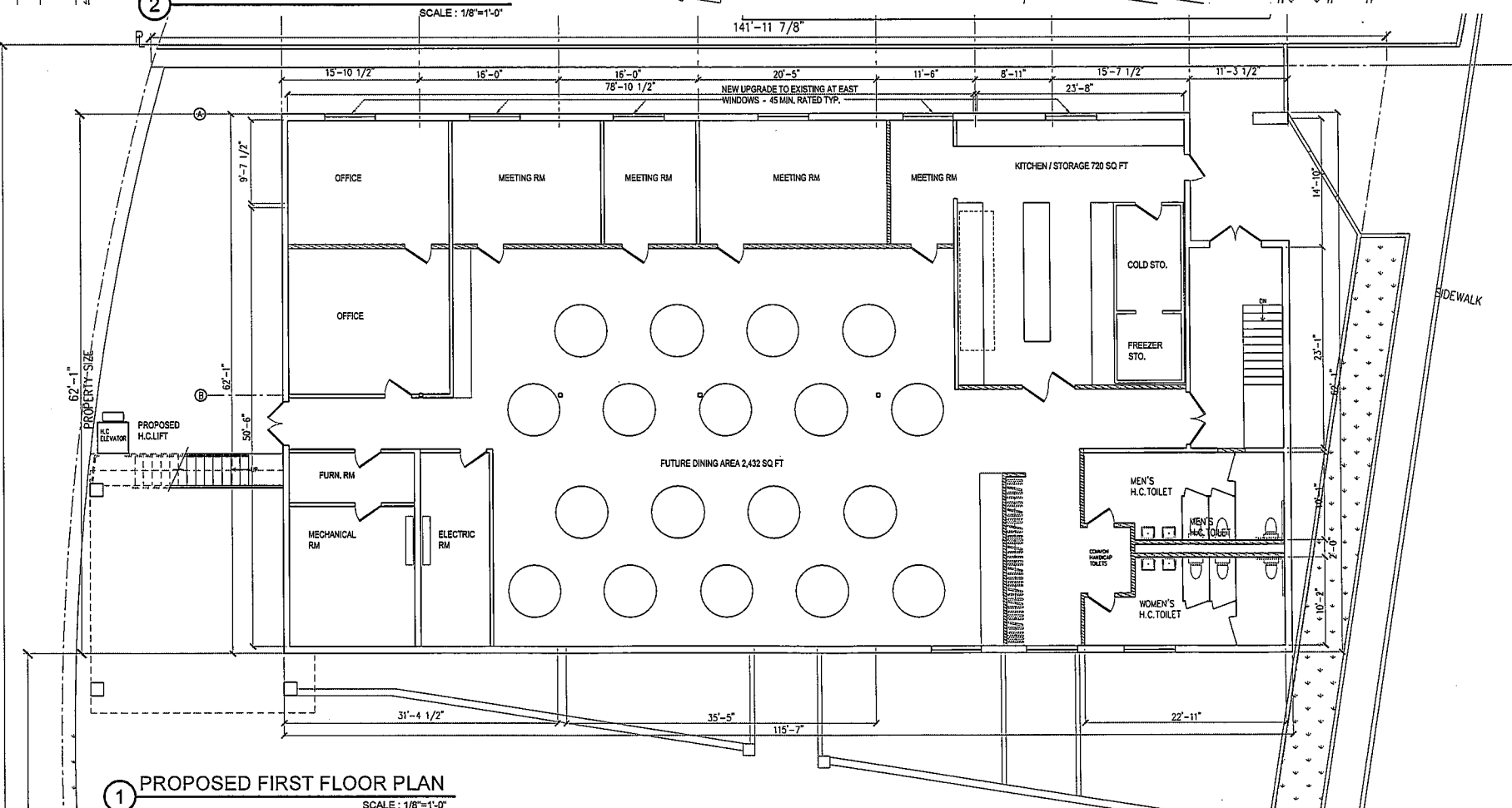
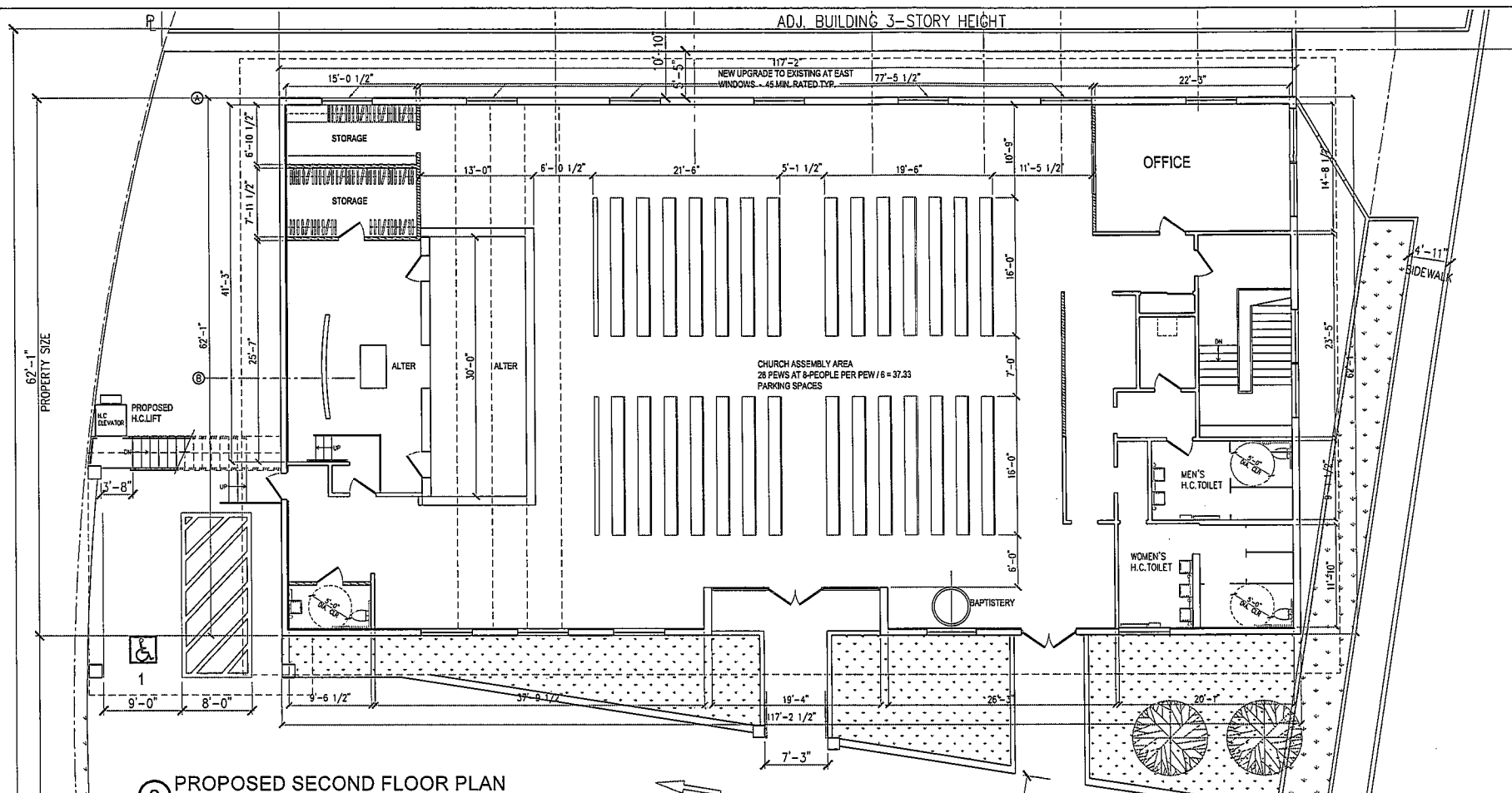
BUILDING	03.18.2013	
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BUILDING	04.15.2013	
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SHEET DESCRIPTION
EXISTING
ELEVATIONS

A1.2

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BUILDING	04.15.2013	

DETAILS SHEET NOTES

- ① WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- ② FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

-  WALL TYPE
SEE SHEET A2.3
 DOOR NUMBER
SEE SHEET A2.0
 WINDOW NUMBER
SEE SHEET A2.0
 SECTION
 ELEVATION
 FLOOR/CEILING ASSEMBLY
TYPE, SEE SHEET A2.3

-  (E) WALL TO BE DEMOLISHED
 (E) WALL TO REMAIN
 (N) WALL
 PROPERTY LINE



SHEET DESCRIPTION
**PROPOSED
PLANS**

A2.0

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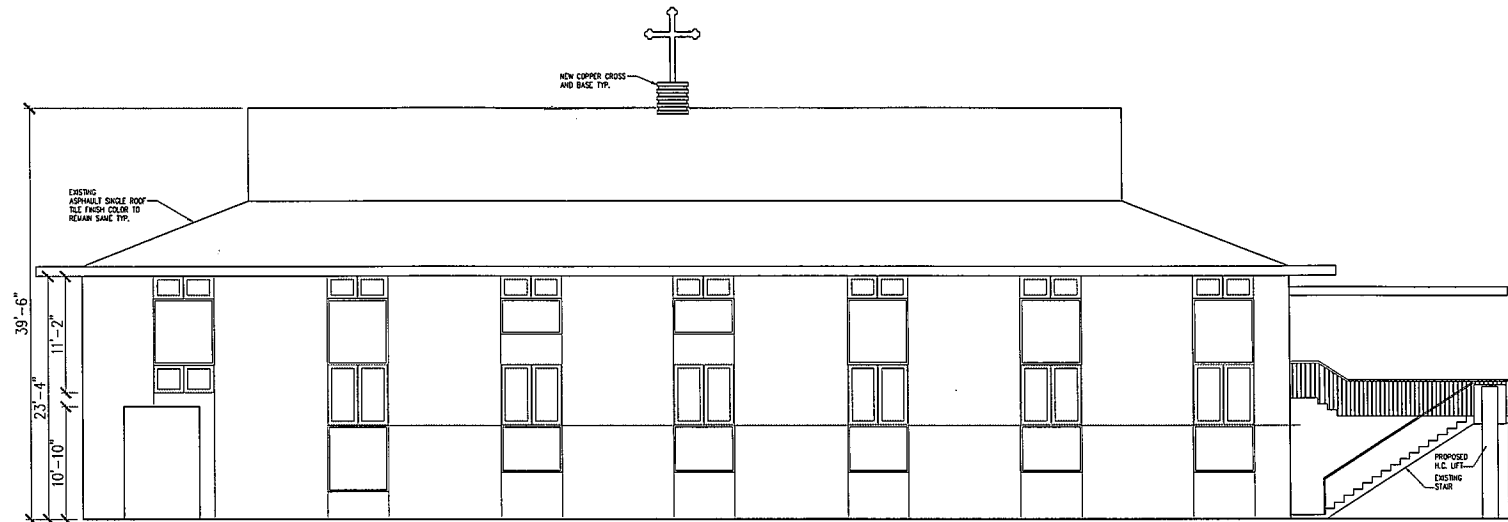
BUILDING	03.18.2013	
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BUILDING	04.15.2013	
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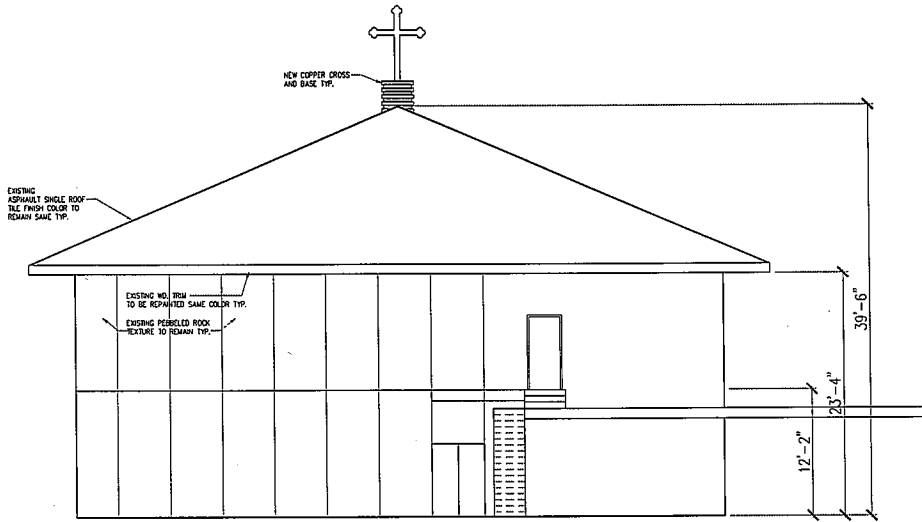


SHEET DESCRIPTION
**PROPOSED
ELEVATIONS**

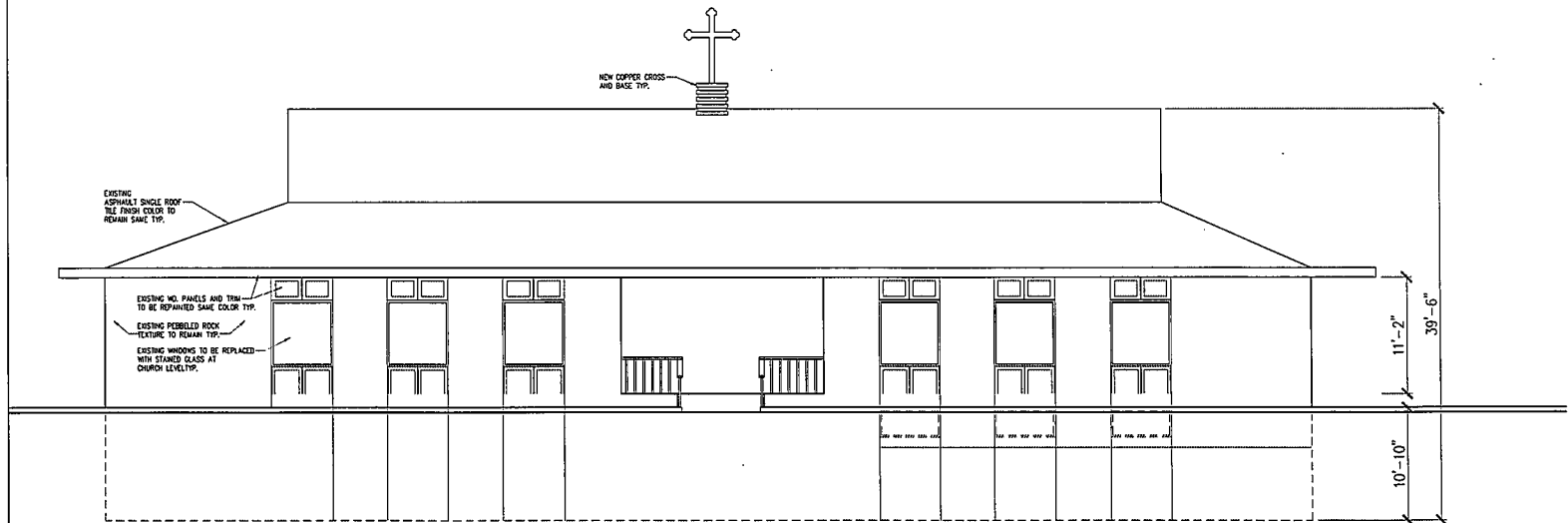
A3.1



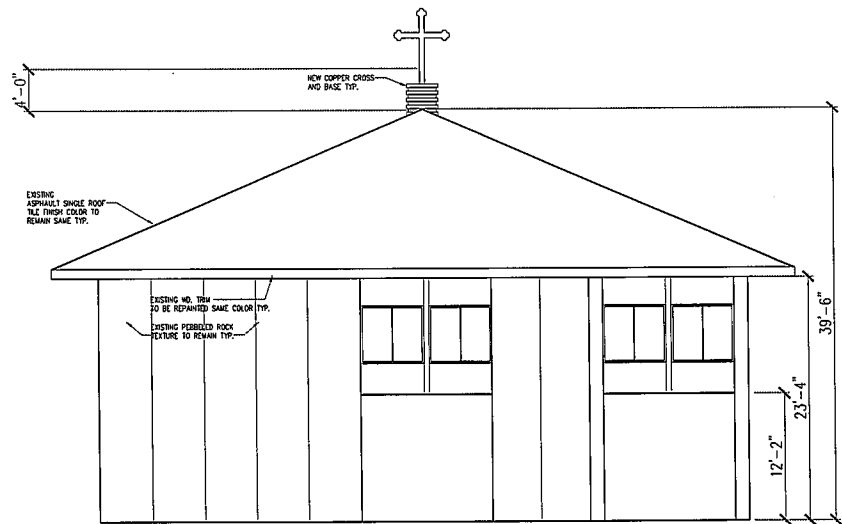
① EAST ELEVATION
SCALE : 3/16"=1'-0"



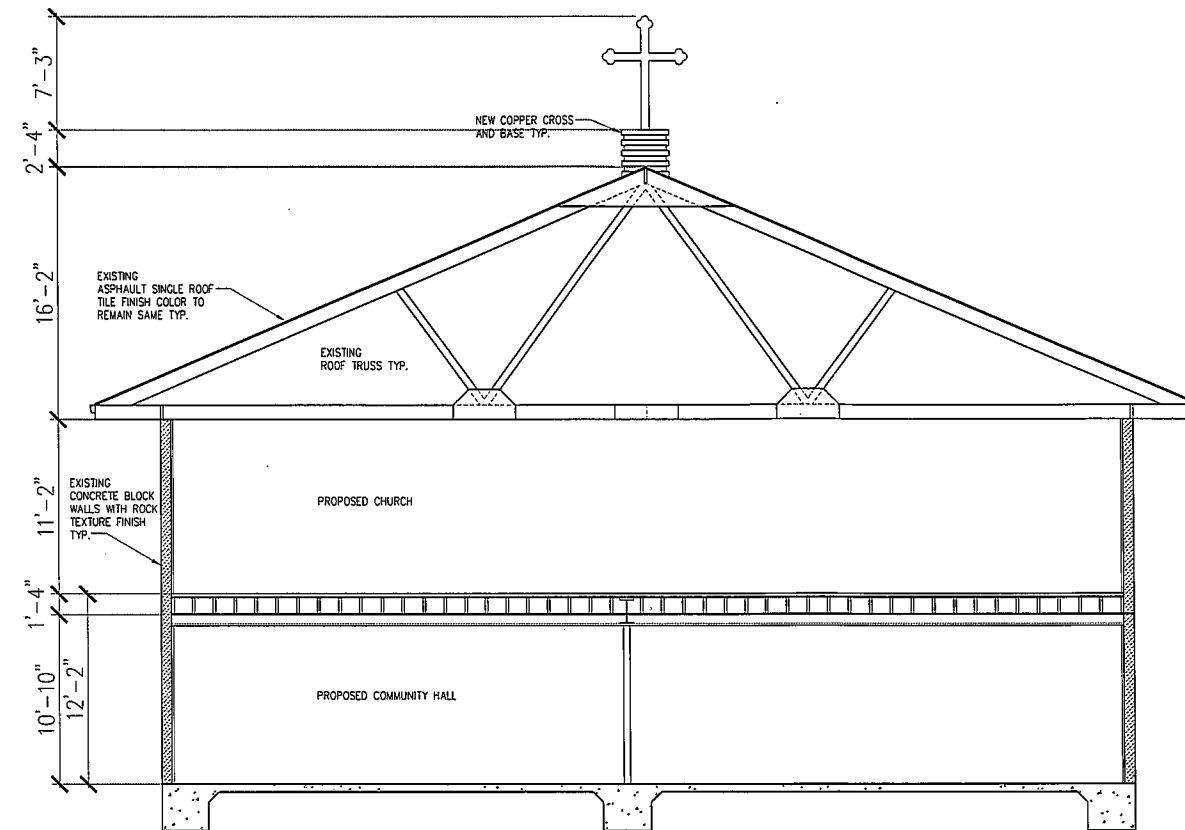
② NORTH ELEVATION
SCALE : 3/16"=1'-0"



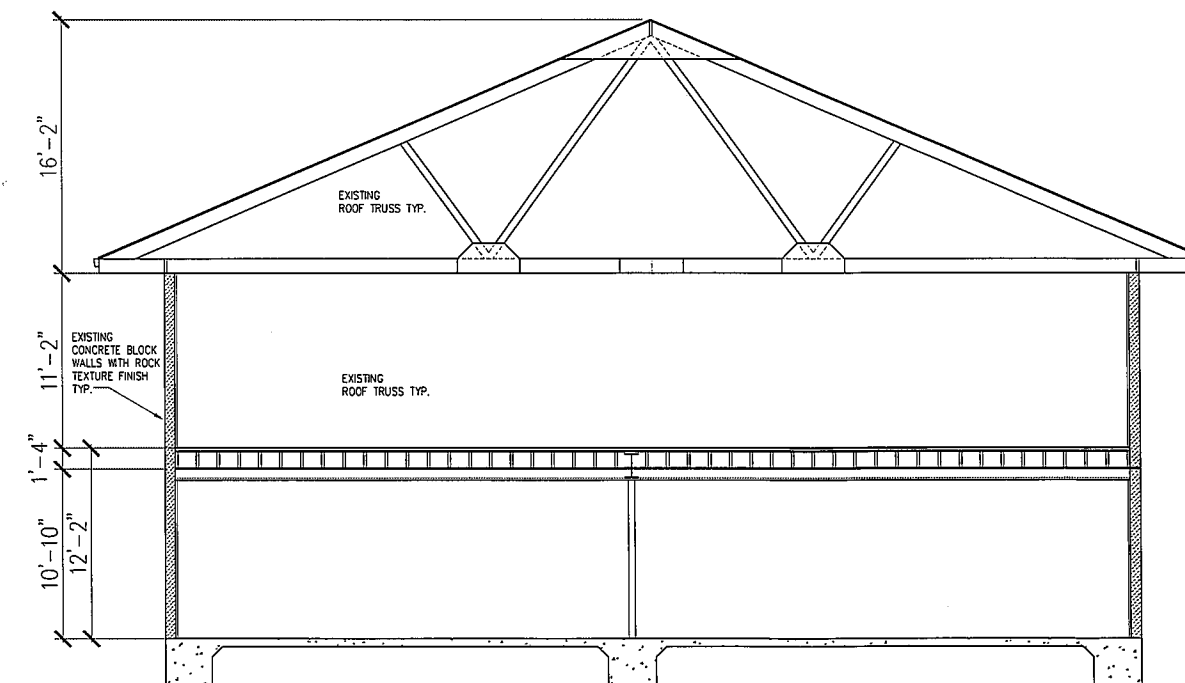
③ SOUTH ELEVATION
SCALE : 3/16"=1'-0"



④ WEST ELEVATION
SCALE : 3/16"=1'-0"



1 PROPOSED SECTION
SCALE: 3/16"=1'-0"



2 EXISTING SECTION
SCALE: 3/16"=1'-0"

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ISSUED	DATE	NO.
BUILDING	03.18.2013	
BUILDING	04.15.2013	



SHEET DESCRIPTION
**EXISTING/
PROPOSED
SECTIONS**

A3.2



Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: May 7, 2013

Application: Use Permit UPR-7-12-5801

Project Planner: Tatum Mothershead, Planning Manager

Project Location: 72 Bismark Street (APN003-429-010)

Project Description: Use permit to allow an auto body and auto repair business

Applicant: James Lok
2207 38th Avenue
San Francisco, California 94116

Property Owner: Ray Masini
557 Rocca Avenue
South San Francisco, California 94080

Environmental Assessment: Categorically Exempt per Section 15301(a): Existing Facilities

Applicable Daly City Chapter 17.44 Use Permits
Municipal Code Sections: Chapter 17.18 C-1 Light Commercial

Site Information

Property Size	Existing Use	Proposed Use	General Plan Designation	Current Zoning
20,909 sf (.48 acres)	Vacant /Previous Auto Repair Use	Auto Repair/Auto Body	Retail and Office Commercial	C-1 Light Commercial

Area Information

Land Use	Zoning
North: Residential	R-2/A (Two Family/Design Residential)
South: Residential	R-3 (Multiple-Family Residential)
West: Single-Family Residential	R-1 (Single Family Residential)
East: Siding and Roofing Business, Residential	C-1 (Light Commercial) and R-3 (Multiple Family Residential)

Background

The applicant, James Lok, is requesting approval to use the property at 72 Bismark Street for an auto repair and auto body business. The site has been occupied by the City Toyota auto repair business in the past, but vacated the site in 2011. Because the site had been vacant for a period greater than six months a Use Permit is required to establish the auto related use at the site.

Discussion

The proposed project includes the tenant improvement of an existing 10,000 square foot building and minor site improvements to re-establish an auto repair business where a similar use previously existed and to establish an auto body use that will include the installation of a paint booth within the interior of the building. The paint booth will require approval from the Bay Area Air Quality Management District prior to building permit issuance. The only other notable interior improvement is the upgrade of an existing bathroom to meet ADA requirements.

The applicant is not proposing to expand the building. As such, there will be no need to increase the amount of parking spaces provided for the use. The use generates a parking demand of 14 parking stalls, and currently the site provides 19 spaces. An ADA compliant stall will be added to the site plan that will provide a clear path of travel to the business office at the front of the building.

The applicant intends to add new illuminated signage to the building on three elevations. The proposal includes 200 square feet and exceeds the maximum allowed by the Zoning Ordinance. The overall signage should be reduced to 85 square feet. Due to the proximity to residential uses, illuminated signage should not remain illuminated beyond business hours or past 8:00 PM or whichever is earlier.

Site Condition

Given the age of the building and site improvements staff has worked with the applicant to provide a series of exterior improvements to refresh the overall appearance of the site to better integrate it into the primarily residential neighborhood in which the business would be located. Staff is therefore recommending the following improvements and has added Conditions of Approval to reflect these enhancements:

1. The applicant shall install landscaping to the site to comply with DCMC 17.34.030 which requires that parking lots with 11 or more parking spaces to provide at least two percent of the site area with landscaping. To achieve this, the applicant has proposed to install a total of 490 square feet of landscaping along the western, northern and southern perimeter of the site. The landscaped areas will be irrigated, however drought-tolerant native species that comply with the City's Water in Conservation in Landscaping Ordinance will be utilized. All landscaping shall be maintained for the life of the project and dead and/or dying plants shall be replaced as necessary.
2. There is currently 385 linear feet of chain link fence that will be replaced with a more decorative and visually appealing black tubular steel fence. The new fence along the rear

of the building fronting East Cavour Street will include a mesh material to screen any vehicles that may be stored in this rear yard area.

3. The applicant shall include new “full cut off” parking lot lights that will illuminate the parking lot and provide the necessary security, while shielding any significant light reflection or glare from the neighboring residential uses.

Findings

Staff finds that, as conditioned, the proposed Use Permit UPR-7-12-5801 is in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the use permit would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission conducted a public hearing on May 7, 2013; notice of said hearing was by newspaper publication on April 27, 2013; posting and first class mailing to property owners within 300 feet of the site was sent April 24, 2007.
2. While the site is located in a primarily residential neighborhood, the site is zoned C-1 Light Commercial which permits auto repair uses with an approved Use Permit. The site has historically been used as an auto repair business. The requirement to obtain a Use Permit for the proposed use was triggered by the recent vacancy of the site which exceeded six months.
3. The applicant is adding a variety of exterior improvements to improve the overall visual quality of the site.
4. The site plan includes 19 parking stalls, which will adequately serve the proposed auto repair use.
5. The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15301 – Existing Facilities. The project consists primarily of minor interior and exterior alterations, and no new floor area or exterior modifications are associated with the project.

Conditions of Approval

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. Within thirty (30) days of Council approval, the applicant shall file with the City Clerk a Declaration of Acceptance of all conditions. Until said declaration is filed, the project shall not be granted for any permits sought from the City.

2. If building permits are not issued and construction diligently pursued within one year of approval of the use permit approval, the use permit shall become invalid.
3. Bay Area Air Quality Management District approval is required for the proposed paint spray booth prior to building permit issuance
4. A noise analysis that demonstrates that the proposed use will not exceed the standards established in the Noise Element of the Daly City General Plan shall be submitted prior to building permit issuance.
5. All signage shall require a sign permit and will be subject to the provisions of the Daly City Municipal Code 17.32.

Signage

6. The overall signage should be reduced to 85 square feet. Due to the proximity to residential uses, illuminated signage should not remain illuminated beyond business hours or past 8:00 PM or whichever is earlier.

Site Improvements

7. The applicant shall install landscaping to the site to comply with DCMC 17.34.030 which requires that parking lots with 11 or more parking spaces to provide at least two percent of the site area with landscaping. To achieve this, the applicant shall install a total of 490 square feet of landscaping along the western, northern and southern perimeter of the site. The landscaped areas will be irrigated, however drought-tolerant native species that comply with the City's Water in Conservation in Landscaping Ordinance shall be utilized.
8. All landscaping shall be maintained for the life of the project and dead and/or dying plants shall be replaced as necessary.
9. The existing 385 linear feet of chain link fence shall be replaced with a black tubular steel fence. The new fence along the rear of the building fronting East Cavour Street shall include a mesh material to screen any vehicles that may be stored in this rear yard area.
10. The applicant shall include new "full cut off" parking lot lights that will illuminate the parking lot and provide the necessary security, while shielding any significant light reflection or glare from the neighboring residential uses.

B. BUILDING DIVISION

11. While the accessible parking space meets the minimum requirements, there may be an issue regarding the way-finding from the street to the interior accessible space due to the requirement of providing equivalent facilitation.
12. The single accessible space shall be van accessible.

C. ENGINEERING DIVISION

13. All damaged or uplifted sidewalk along the property frontages shall be repaired.
14. Driveway approaches shall be reconstructed to meet ADA accessibility requirements.
15. Sidewalk and access ramps along the property frontage shall be upgraded to meet current accessibility standards.

D. FIRE DEPARTMENT

16. Any alterations and/or additions to the existing structure may require a fire sprinkler system.
17. Paint booth shall meet all code requirements for fire protection systems.

E. WATER AND WASTEWATER RESOURCES DEPARTMENT

18. All domestic fixtures shall be low flow with toilets 1.28 gpf or less and “HE” urinals 0.5 gpf or less are required. Rebates are available for prequalified “HE” toilets. Showers shall be 2.0 gpm, kitchen sinks 2.2 gpm and lavatory sinks 1.5 gpm. The previous statement shall be included in the project plans.
19. Pending plan review by the Fire Department, a fire flow may be required to properly size the fire sprinkler system. All costs associated with the fire flow shall be borne by the applicant.

Recommendation

Staff recommends that the Planning Commission forward to the City Council the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment;
3. Approve Use Permit UPR-7-12-5801, subject to the Findings and Conditions outlined herein.

Respectfully submitted,



Tatum Mothershead
Planning Manager

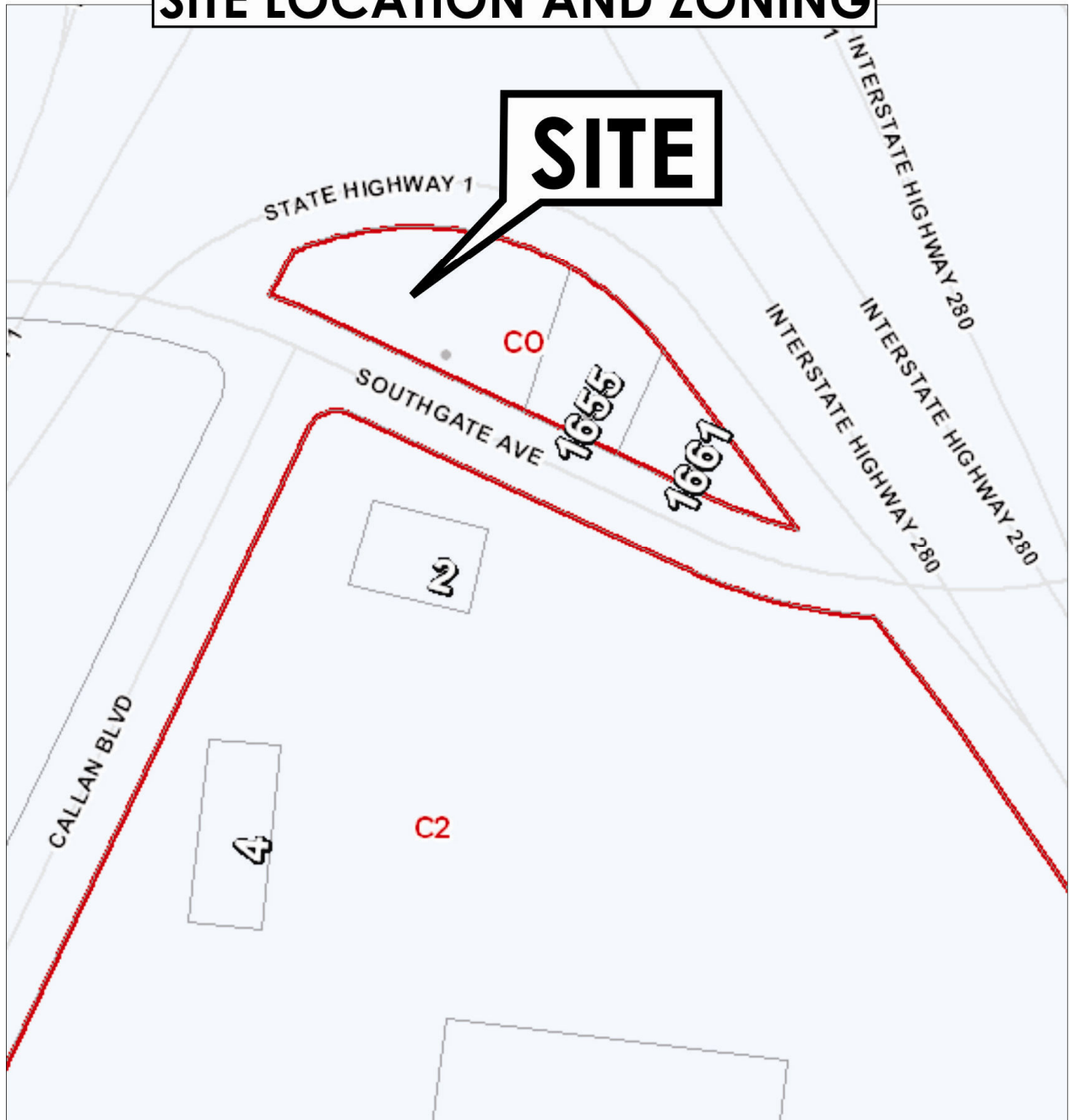


Brian Millar
Director of Economic and Community Development

Attachments

Attachment A – Location Map
Attachment B – Project Plans

SITE LOCATION AND ZONING



LOCATION MAP



UPR-7-12-5801

72 Bismark Street

Use Permit for Auto Body Shop
Planning Commission Review



72 Bismark / Bismark Auto Body (Plan # UPR-7-12-5801)



RE: Use Permit Condition Corrections For Daly City Planning/ Steve Engfer

Table of Content

Page 2.....	Corrections List
Page 3.....	Landscaping Plan
Page 4.....	Waste & Recycling Plan
Page 5.....	Exterior ADA Parking Space (Revision)
Page 6.....	Parking Lot Lighting (Revision)
Page 7.....	Parking Lot Perimeter Fencing (Revision)
Page 8.....	Floor Plan (Revision)
Page 9.....	Sign Plan

CORRECTIONS - The following items must be addressed before this project may proceed through the entitlement process:

Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

Miscellaneous

Plan elevations are required that show the parking area fencing to include screen fencing

Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

Miscellaneous

Adjust plan to have the ADA parking space on the exterior

Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

01. A landscaping plan is required in accordance with DCMC section 17.41.

A landscaping plan is required in accordance with DCMC section 17.41.

Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

Miscellaneous

The existing perimeter fencing of chain link and barbed wire shall be replaced with a decorative fence of materials such as tube steel with finial treatments. The rear fence sections shall be screen fenced. Please provide plans showing proposed new screen fencing type.

Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

Miscellaneous

The light at the top of the building shall be removed. Any new exterior lighting shall be include on the plans for consideration and review. Lighting shall be full cutoff fixtures designed to reduce light pollution

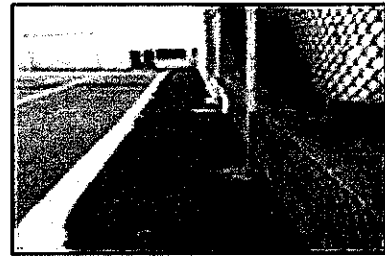
Date	Resolved	Added By	Plan Case Number
8/16/2012	No	Steven Engfer	UPR-7-12-5801

Miscellaneous

Please show proposed sign location on the building elevation plans.



AREA: A
180 SQ. FT
4'X45'



AREA: B
150 SQ. FT
3'X75'



AREA: C
160 SQ. FT
4'X40'



= BAY AREA FRIENDLY SPECIES



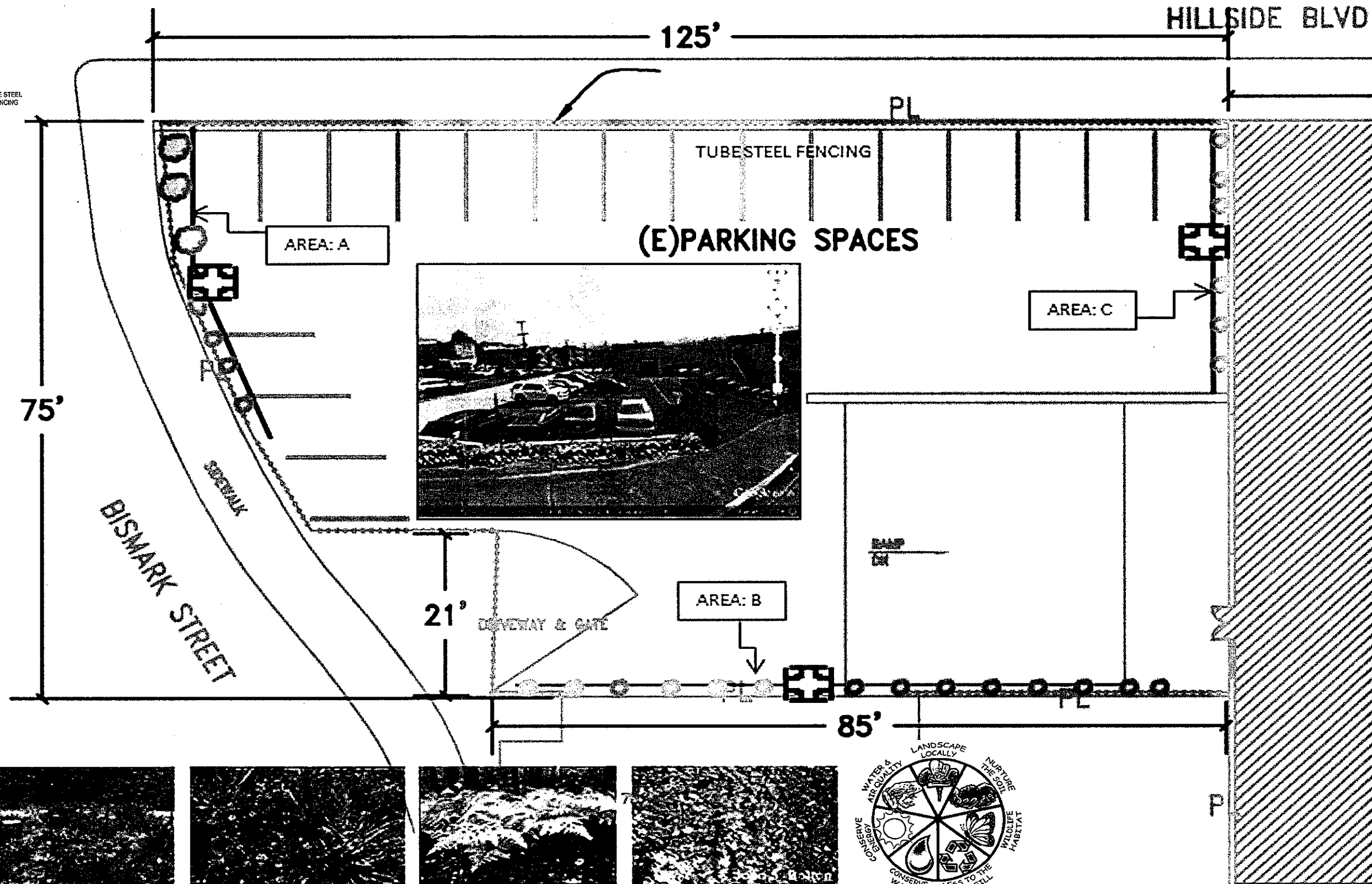
= WATER IRRIGATION SYSTEM
(LOW WATER CONSUMPTION)



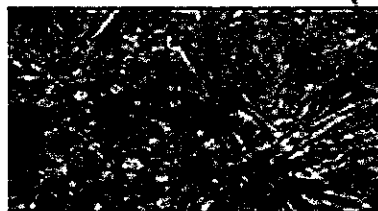
LANDSCAPE PLAN

72 BISMARCK ST.

DALY CITY, CA 94014



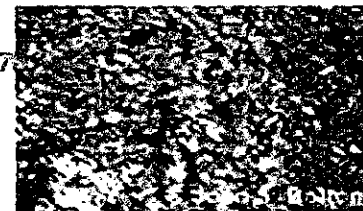
Poppies and Lupine
(Low Water Use Plant)



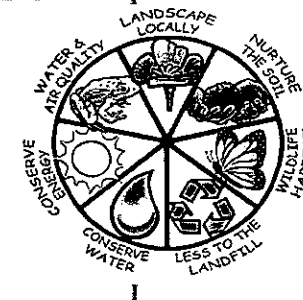
Blue-Eye Grass
(Low Water Use Plant)



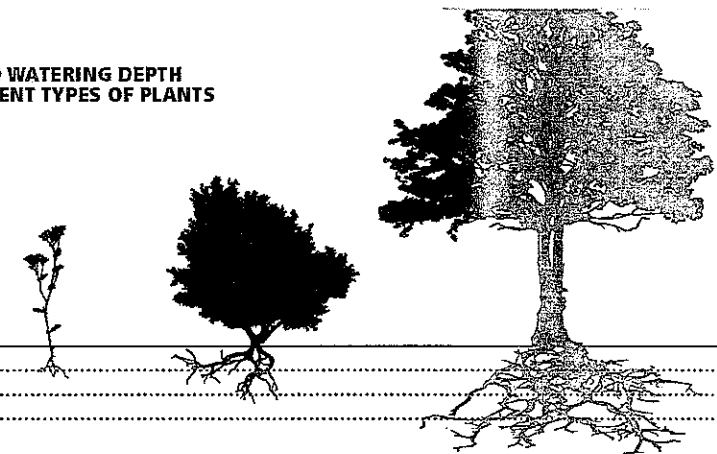
Bracken Fern
(Low Water Use Plant)



Buck Brush
(Low Water Use Plant)



SUGGESTED WATERING DEPTH FOR DIFFERENT TYPES OF PLANTS



Waste & Recycle Designated Area (Indoor)

Chemical Waste (55 gal container =24"x36")

Designated Area A = 4 x 6 = 24 Sq. Ft.

- 1x55 Gallon Drum (Hazardous Labeled)
- 1x55 Gallon Paint/Solvent (Solvent Labeled)
- 1x55 Gallon Oil / Fluids(Oil Labeled)

General Waste & Recycled (96 gal container = 24"x43")

Designated Area B = 3' x 9' = 27 Sq. Ft.

- 2x 96 Gallon Garbage Bin
- 2x 96 Gallon Recycle Bin

Damaged Waste Auto Parts (Recyclable)

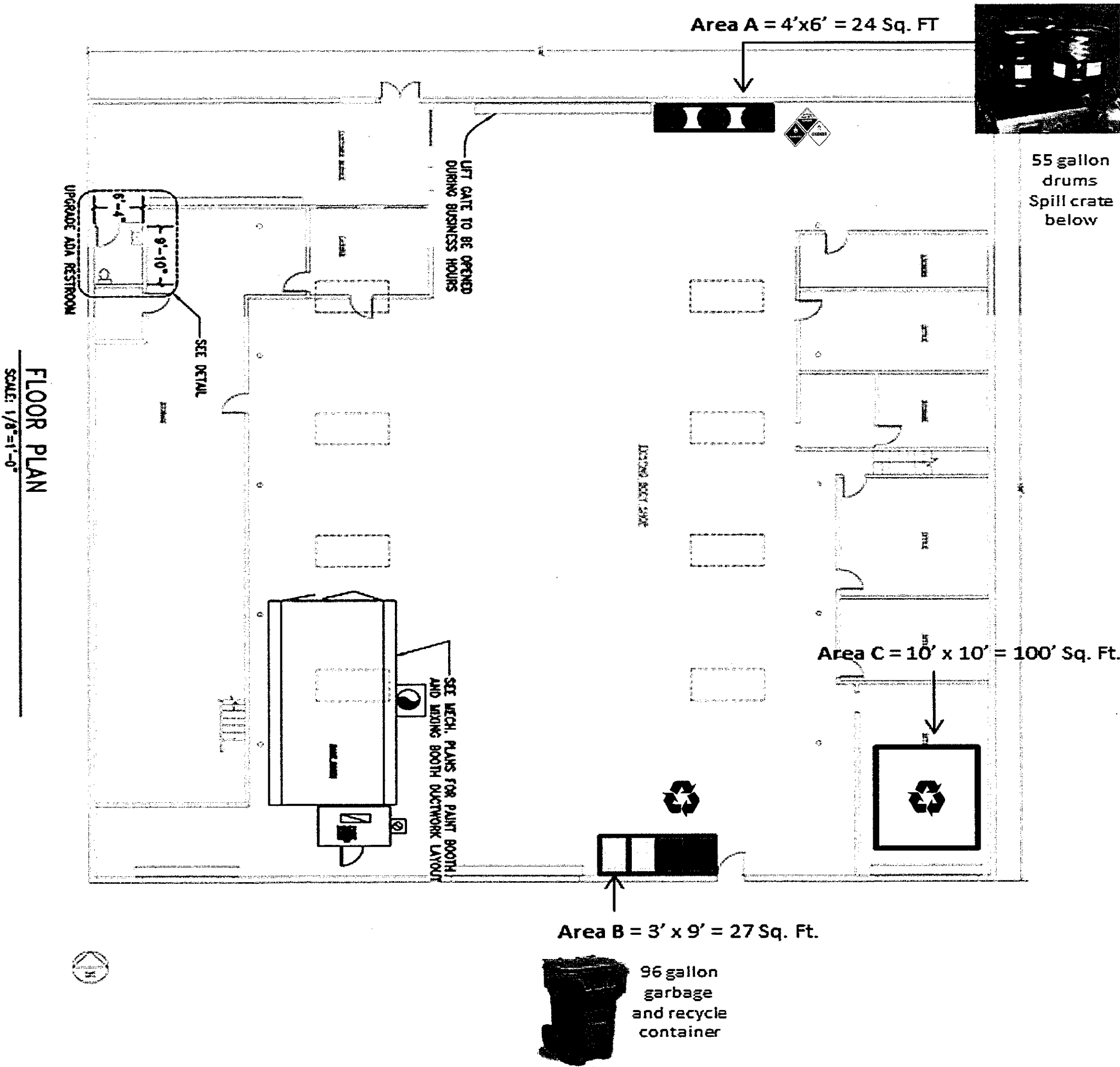
Designated Area C = 10' x 10' = 100' Sq. Ft.

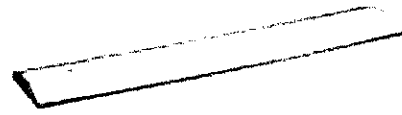
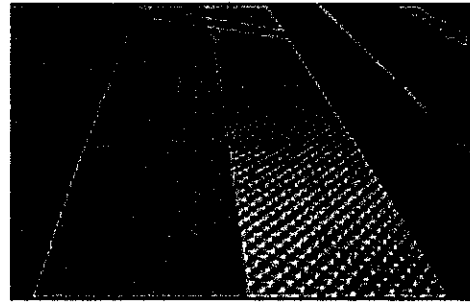
Auto Body Waste Management

- In Compliance with California Department of Toxic Substance Control Criteria for Auto Body Repair Facility *Article 4, Chapter 11, Division 4.5, Title 22, of the California Code of Regulations*. Please reference attached Appendix: Waste Management
- Commercial contract with Allied Waste Service of Daly City for Body Shop business
- Commercial contract with Bay Area Paint, Solvent, and Hazardous Waste Recycling.
- Classification Hazardous Waste under 220lb per month (all container and designated area to be labeled according to guideline)
- Under 220lbs of Hazardous Waste per month

WASTE AND RECYCLE PLAN

72 BISMARK ST.
DALY CITY, CA 94014





ADA PARKING
ADA RAMP WITH HANDRAIL & LANDING

- DISTANCE FROM ENTRANCE = 30 FT.
- SLOPE = 8%
- ADA PARKING SPACE WIDTH = 8'
- ACCESS AISLE WIDTH = 5'
- RAMP WIDTH = 5'
- LANDING TURNAROUND = 5'
- HANDRAIL HEIGHT = 34"-38"
- ADA SIGNAGE, WARNING MAT, SPEED BUMP AMENITIES INSTALL AT REQUIRED SECTIONS

12"

18"

INTERNATIONAL SYMBOL OF ACCESSIBILITY

PARKING ONLY

MINIMUM FINE \$250

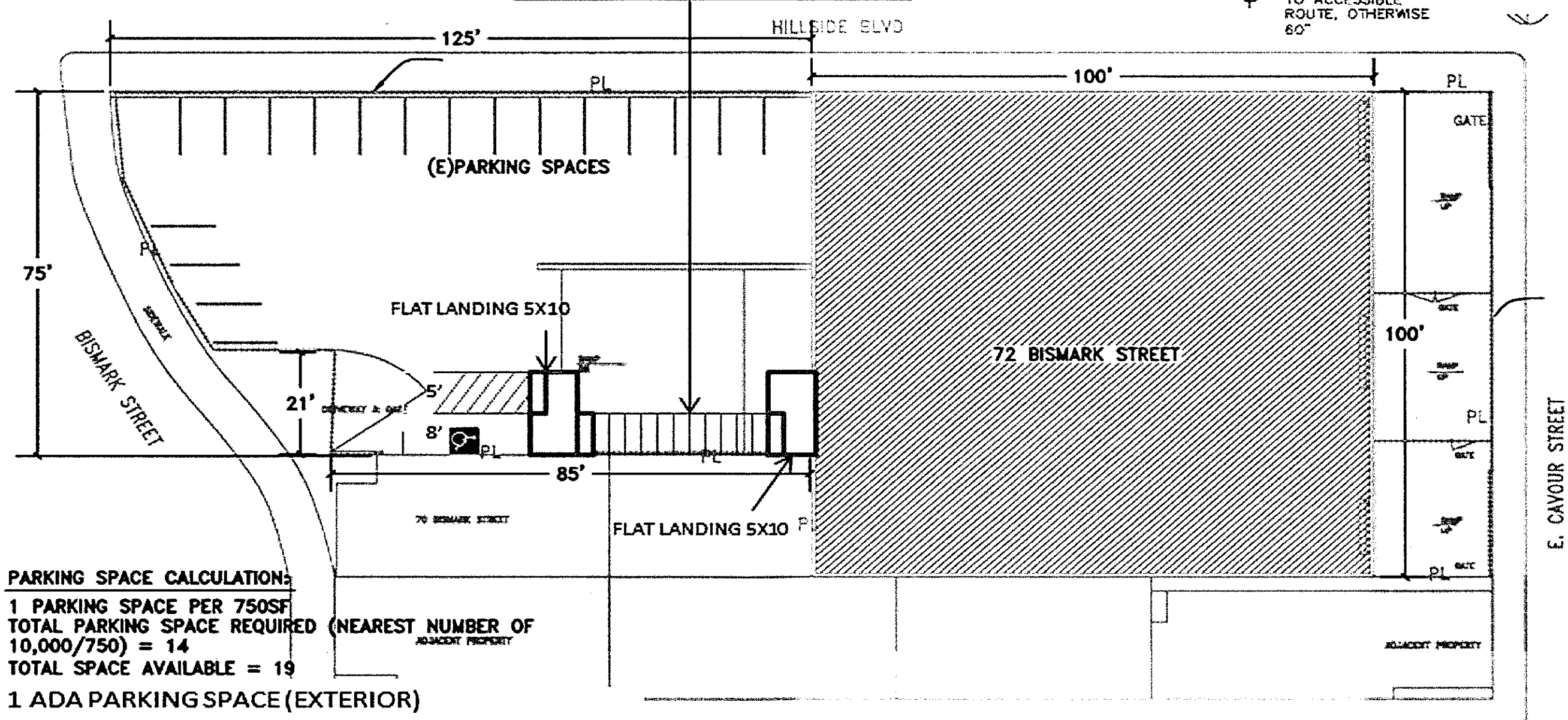
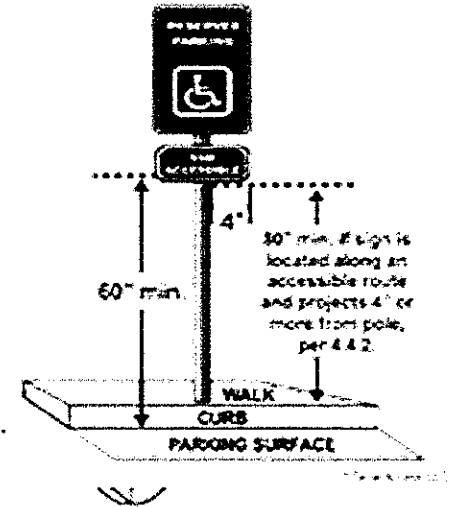
SIGN AREA = 70 SQ. INCHES, MIN.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

5" HIGH LETTERING MIN. MIN. TYPICAL

"FINE" SIGN AT EACH ACCESSIBLE PARKING STALL

80" MIN. IF ADJACENT TO ACCESSIBLE ROUTE, OTHERWISE 60"



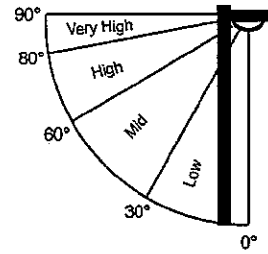
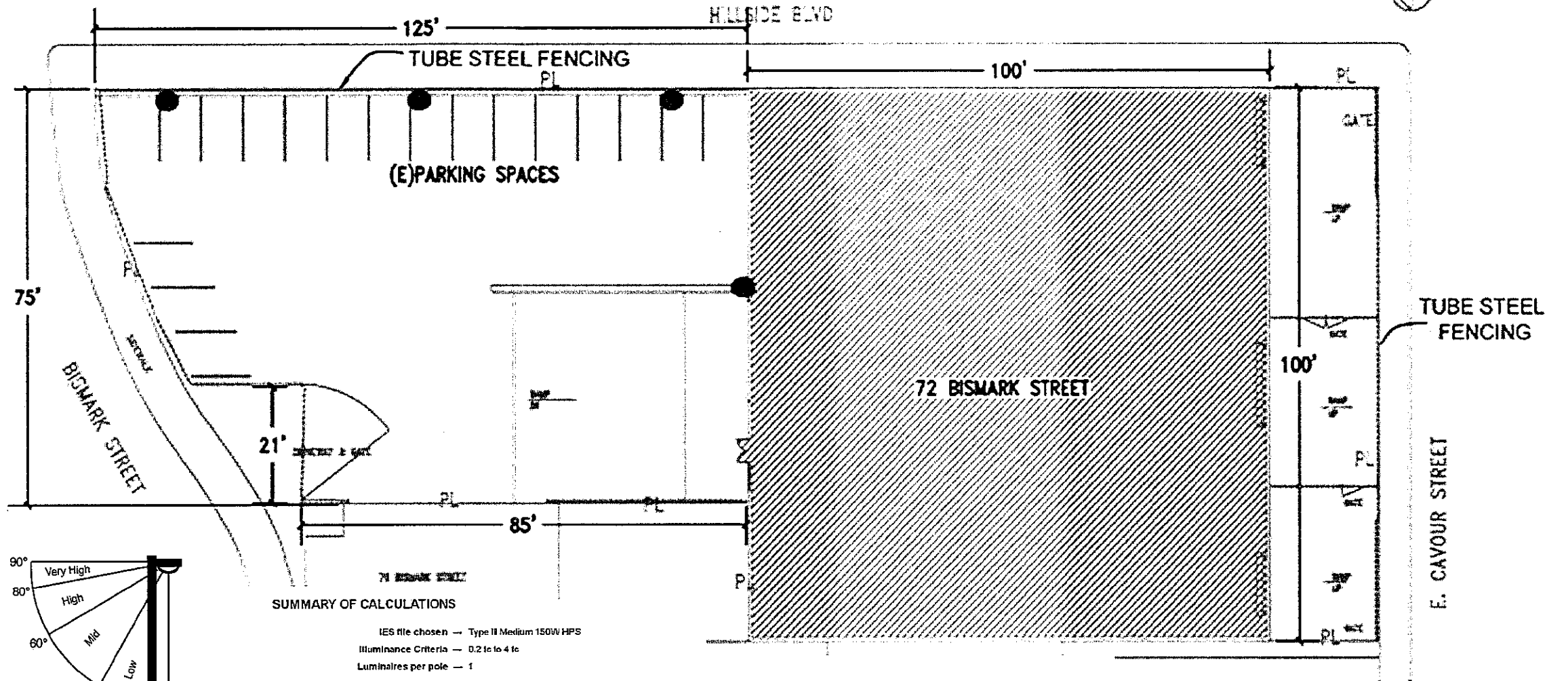
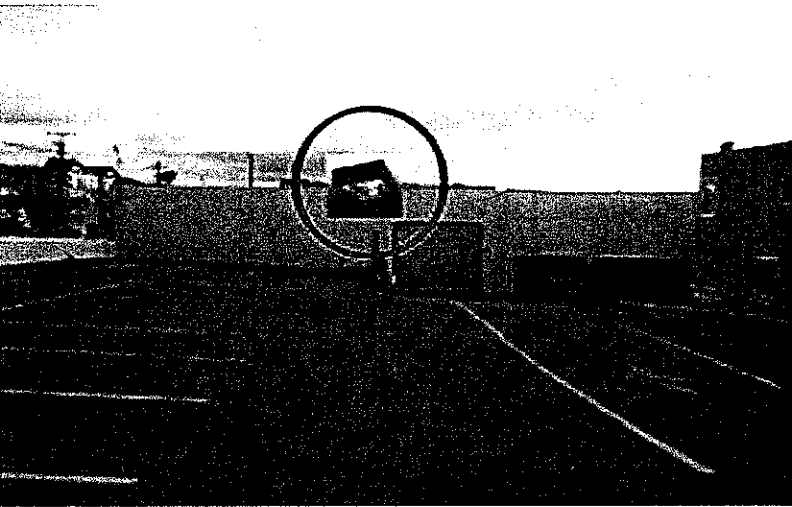
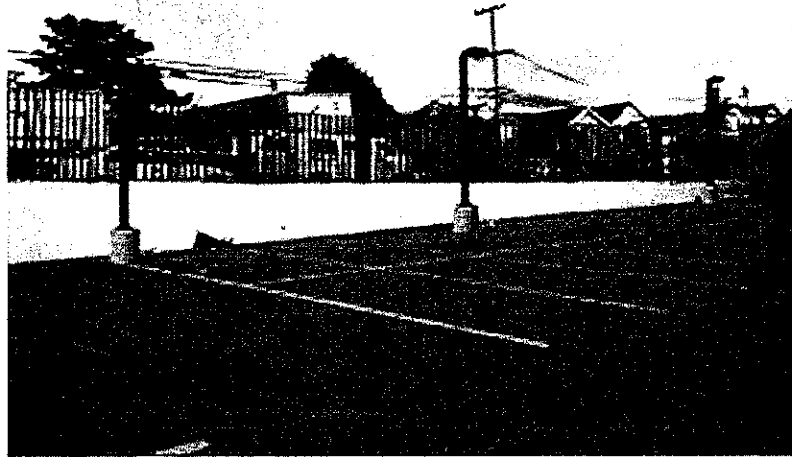
PARKING SPACE CALCULATION:
1 PARKING SPACE PER 750SF
TOTAL PARKING SPACE REQUIRED (NEAREST NUMBER OF 10,000/750) = 14
TOTAL SPACE AVAILABLE = 19
1 ADA PARKING SPACE (EXTERIOR)

SITE PLAN

72 BISMARK ST.
DALY CITY, CA 94014

REVISIONS

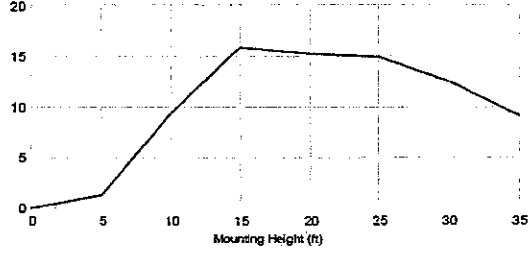
- EXTERIOR ADA PARKING SPACE



SUMMARY OF CALCULATIONS

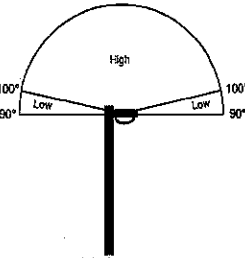
- IES file chosen → Type II Medium 150W HPS
- Illuminance Criteria → 0.2 to 4 fc
- Luminaires per pole → 1
- Optimum pole height for your luminaire
- Lateral distribution type → Type III
- Vertical distribution → Medium
- Light loss factor → 1.0
- Optimum pole height → 15.0 foot (4.57 meters)
- LSAE at optimum pole height at optimum pole height → 15.9 lm/W

Luminaire System Application Efficacy In lm/W at different pole heights



LUMINAIRE SYSTEM APPLICATION EFFICACY AT DESIRED POLE HEIGHT

- Desired pole height → 25.0 foot (7.62 meters)
- Luminaire System application efficacy → 14.9 lm/W
- Estimated longitudinal spacing → 165 foot (47.2 meters)
- Estimated transversal spacing → 80.0 foot (24.4 meters)
- Average Illuminance in area → 1.32 fc (14.2 lx)
- Average power density → 0.0148 W/ft² (0.159 W/m²)



● = FULL CUT OFF PARKING LOT LIGHTING

- Lighting Code Zone E3 Classification: Areas of medium ambient brightness. These will generally be urban residential areas. 100k to 200k lumen per acre
- 150 WATT METAL HALIDE BALLAST
- 3 X POLE MOUNT MOUNTED ON CONCRETE ON RETAINING WALL (POLE HEIGHT 15')
- 1 X WALL MOUNT ON BUILDING FRONTAGE
- ELECTRICAL CONNECTED TO TIMER INSIDE BUILDING

SITE PLAN

72 BISMARK ST.
DALY CITY, CA 94014

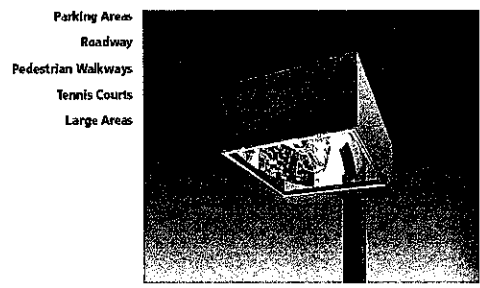
REVISIONS

- FULL CUT OFF PARKING LOT LIGHTING

ALLSCAPE®

2990 South Fairview Street
Santa Ana, CA 92704
Phone: 714 668 3680
Fax: 714 665 1107
sales@allscope.net
http://www.allighting.com

AL-01



Specifications

- Certifications** The fixture shall be ETL and CETL listed for wet location
- Light Distribution** The AL-01 shall meet the specified light distribution and footcandle levels with an internal optical system and horizontal lamping.
- Assembly** The fixture shall be factory pre-wired, completely assembled and tested prior to shipment. Field installation to bracket or pole shall be accomplished without having to remove or disassemble any fixture components. Fixture shall be ETL listed "suitable for wet location"
- Housing** The fixture housing shall be constructed from heavy gauge aluminum shell, internally sealed and silicone sealed
- Door Frame Assembly** Extruded clear anodized aluminum door frame shall be "united" with fully tempered clear glass lens, thermal and shock resistant. White decor coin cell gasket prevents entry of moisture, dust and insects. All external hardware to be stainless steel
- Ballast** Ballast shall be readily accessible, removable and insulated. The fixture is to be factory pre-wired and electrically tested before shipment. Quick disconnects are standard.
- Optical Assembly** The optical assembly shall be of all non-ferrous components with a multi faceted specular finished reflector rotatable 90°.
- Finish** B1C-B2-VH-GR-GVMA baked enamel standard, other colors available. Dura-oxide anodized finishes shall be applied over brushed aluminum surfaces of a uniform fine grain. Specify baked enamel or anodized finish color.
- Mounting Details** AL-01-R Bracket externally slip fits 2 3/8" O.D. tenons, and the AL-01-R Bracket externally slip fits 2 3/8" to 4" diameter tenons if required. Specify exact tenon dimension, and dimensions of top of round or square poles to ensure compatibility. AL-01-BC dimes aluminum arm (noted) with hardware for direct mounting to side of pole. Luminaire shall be pre-wired with high temperature wire, making disassembly for installation unnecessary

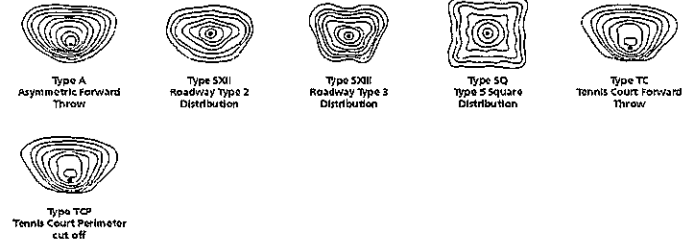
PROJECT	
FIXTURE TYPE	
CATALOG	

Series	Type	Mounting	Number of Fixtures	Max Watts	Lamp Type	Voltage ¹	Reflector Type	Finish ²	Options
AL-01	R/T	1	1	150 W	ED-28	208	SXII	GR	Black
	R/T	2	2	400 MHPS	ED-37	240	SXII	GR	Green
	S/T	3	3	150 HPS	ED-17	277	SQ	WH	White
	C/T	2	2	400 HPS	ED-18	480	TC	NA	Natural Aluminum
	WB/T	4	4	400 HPS	ED-18		TCF	GY	Gray
	PWB/T							CC	Custom Color
	CWB/T							BKA	Clear Anodized
								BZA	Bronze Anodized
								BKA	Black Anodized

1 Consult factory for other colors and voltages
2 Lenses 1.75 W and below are medium base

Example: AL-01-R/3T-400MHPS-ED-28-120-TCP-GR-PCC

Reflector Type

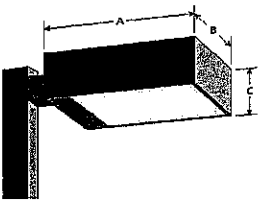


Luminaire Dimension	A	B	C	Weight	FPA
AL-01-100W-250W	24"	19"	6-1/2"	22#	1.25
AL-01-400W	24"	19"	6"	45#	1.52

Mounting Type

- Concealed Hardware Mounting Arm
- Square Hub Mounting for 2-3/8" Tenon
- Round Hub Mounting for 2-3/8" - 4" Tenon
- Sweep Arm to Slip 3-1/2" PS (600W Min)
- Adjustable Knuckle for 2-3/8" Tenon
- Wall Bracket
- Flush Wall Mount
- Cast Wall Bracket

For other mounting types see bracket section



PROPOSAL

Contractors are required by law to be licensed and regulated by the Contractors' State License Board. Any questions concerning a contractor may be referred to the registrar of the board whose address is: Contractors' State License Board 1020 N St., Sacramento, CA 95814



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To LACCHIAVINO Co 12-14-12

Job AT 72 Bismark ST Daly City -

ONE BIG Gate 4100

240 F. OF Rd. King. S. C. H. 2100

ALL GALVANIZED AND INSTALL

Front of Building \$25,000

Back of Building

3 = Three Gates \$12,300

E.C.F. Steel 7700

Total 20,000

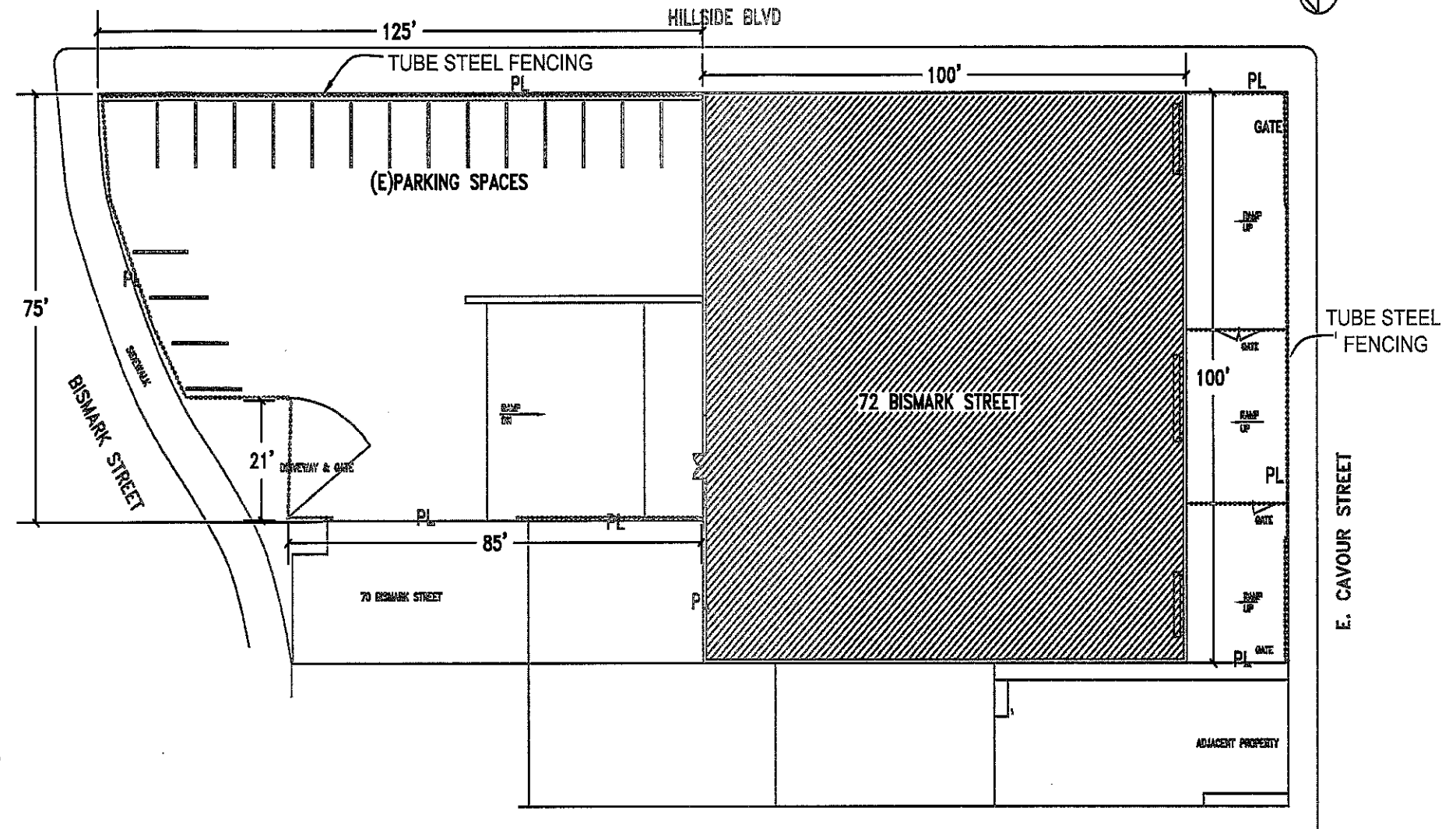
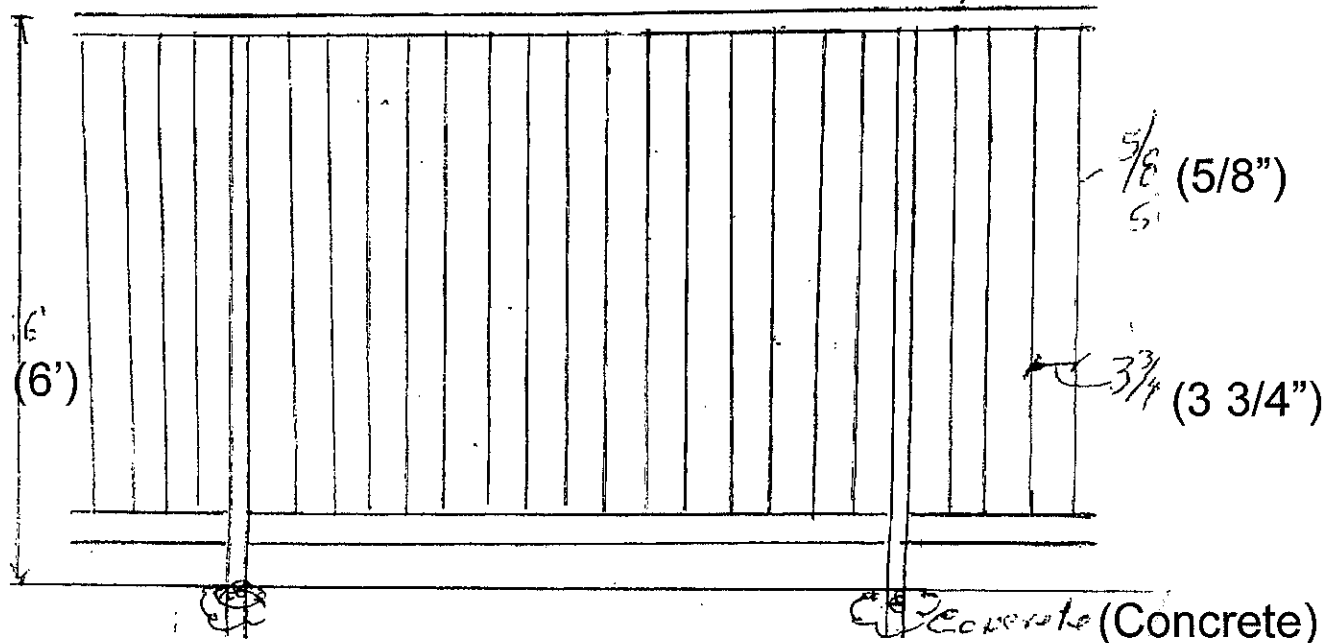
ALL GALVANIZED AND INSTALL

1 1/2" (1 1/2")

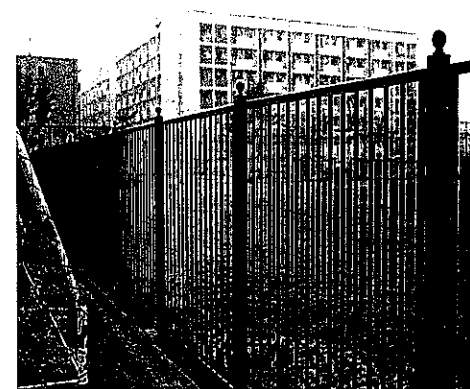
5/8" (5/8")

3 3/4" (3 3/4")

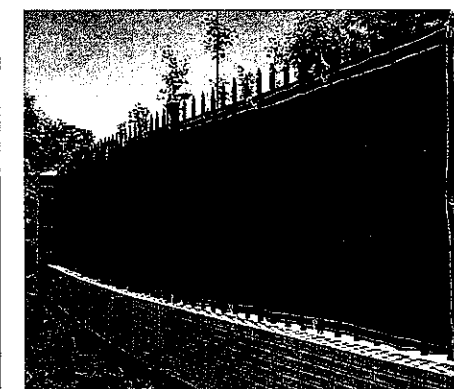
(Concrete)

**SITE PLAN**

SCALE: 1"=20'



FRONT TUBE STEEL FENCE TYPE

REAR TUBE STEEL FENCE TYPE
WITH SCREEN**Features:**

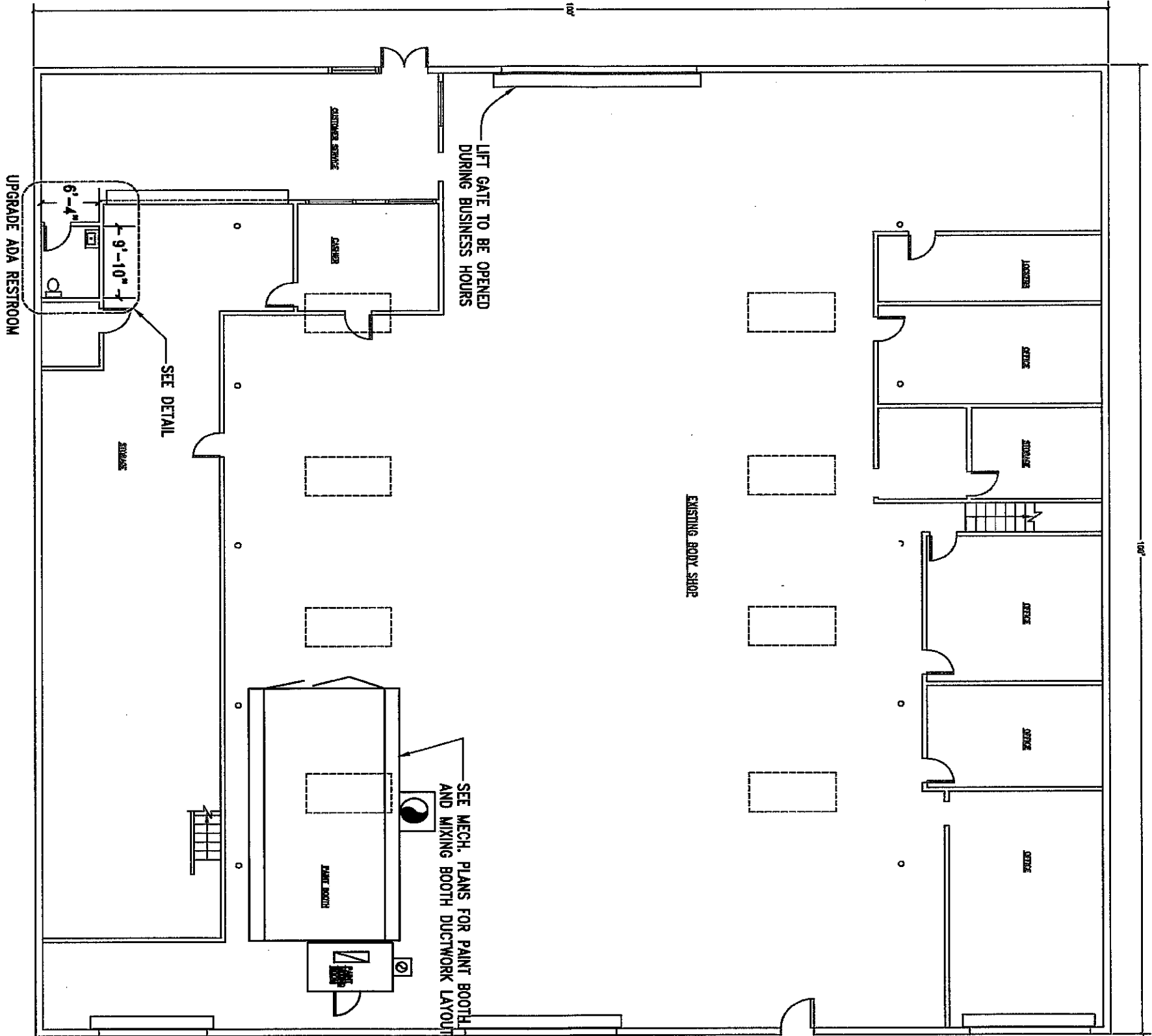
- Visibility Blockage to 180G/ Square Meter
- 50' Long x 3' 8" Tall
- Made for 4' High Fence
- High Quality Knitted Polyethylene
- Four Sides are Finished with Reinforced Material
- Double Stitched Provide Extra Strong Sides
- Reinforced Binding and Copper Grommets on all 4 sides
- Water Resistant Fence Fabric
- Maximum Air Passage
- Great for Construction, Commercial and Residential Fences

SITE PLAN

72 BISMARK ST.
DALY CITY, CA 94014

REVISIONS

- STEEL TUBE PERIMETER FENCING (FRONT & REAR LOT PERIMETER)
- REAR TO INCLUDE SCREENING



FLOOR PLAN

SCALE: 1/8"=1'-0"



REVISIONS

- INTERIOR ADA PARKING SPACE DELETED

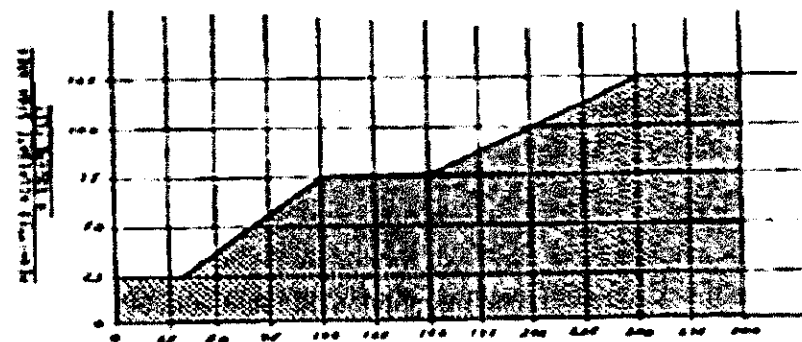
FLOOR PLAN

72 BISMARK ST.
DALY CITY, CA 94014

Figure 1 - Sign Area Permitted per Section 17.32.200
(except C. O. Zoned District)

Primary lot frontage	Permitted sign area	Permitted minimum	Maximum
0-25	1 sq ft / 1 ft	25 sq ft	25 sq ft
25-100	1/4 sq ft / 1 ft	25 sq ft	75 sq ft
100'	1/4 sq ft / 1 ft	75 sq ft	125 sq ft

MAXIMUM SIGN AREA 125 SQUARE FEET



PRIMARY LOT FRONTAGE IN FEET

Note: If a parcel of land has secondary frontage, signs may be located on said frontage provided that the total sign area thereon shall not exceed one-half the maximum sign area allowed by Figure No. 1 for said secondary frontage.

BISMARK AUTO BODY

www.bismarkautobody.com

650-888-8888

Size:

- FRONT = 1 1/4' X 1 1/4' LOGO & 1' X 1' TELEPHONE
- SIDE = 1' X 1' WEBSITE & 1' X 1' TELEPHONE
- REAR = 1' X 1' LOGO & 1' X 1' TELEPHONE

Font: ARIAL BLACK

Color: DARK BLUE / WHITE BACKLIT

Working voltage of led lights: 12V

lifetime of led lights: over 50,000 hours.

SAMPLE



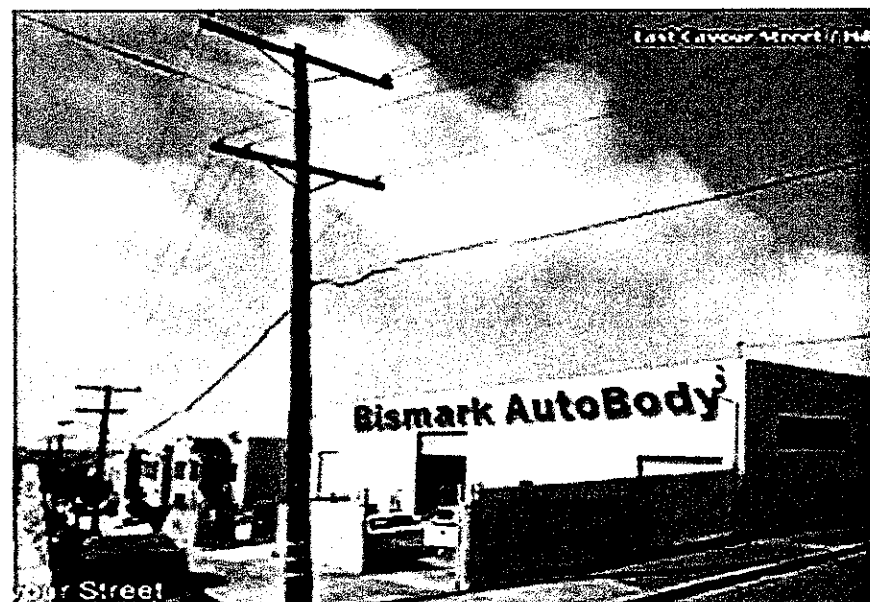
FRONT = 3' X 25' = 75 SQ FT

SIDE = 1' X 62.5' = 62.5 SQ FT

REAR = 1' X 62.5' = 62.5 SQ FT

PRIMARARY FRONTAGE 75' = 3/4 FT / 1 FT = 75 SQ. FT MAXIMUM

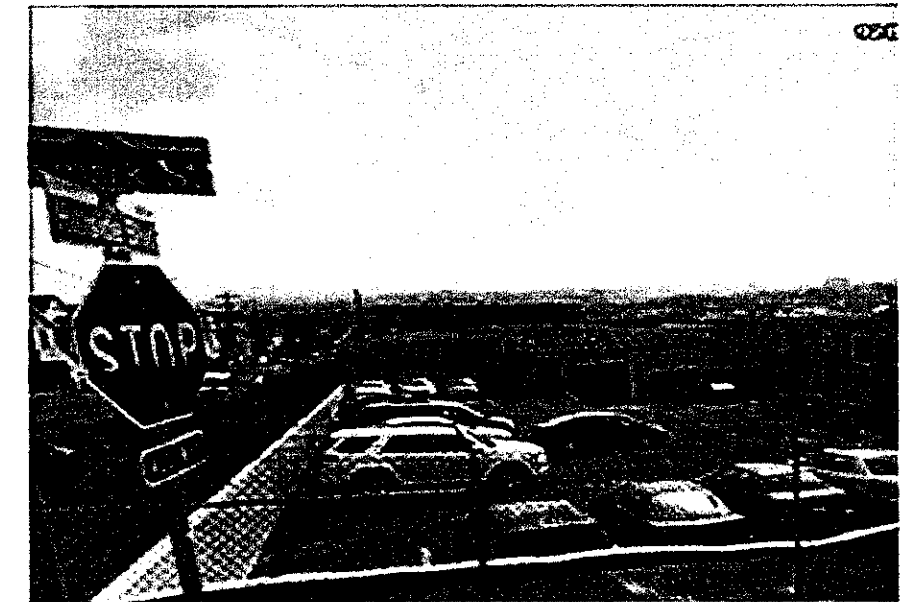
SECONDARY SIDE & REAR 100' = 1/2 (1/2 FT / 1 FT) = 62.5 SQ. FT MAXIMUM



BUILDING REAR = LIGHT BLUE



BUILDING SIDE = WHITE



BUILDING FRONT = LIGHT BLUE

SITE PLAN

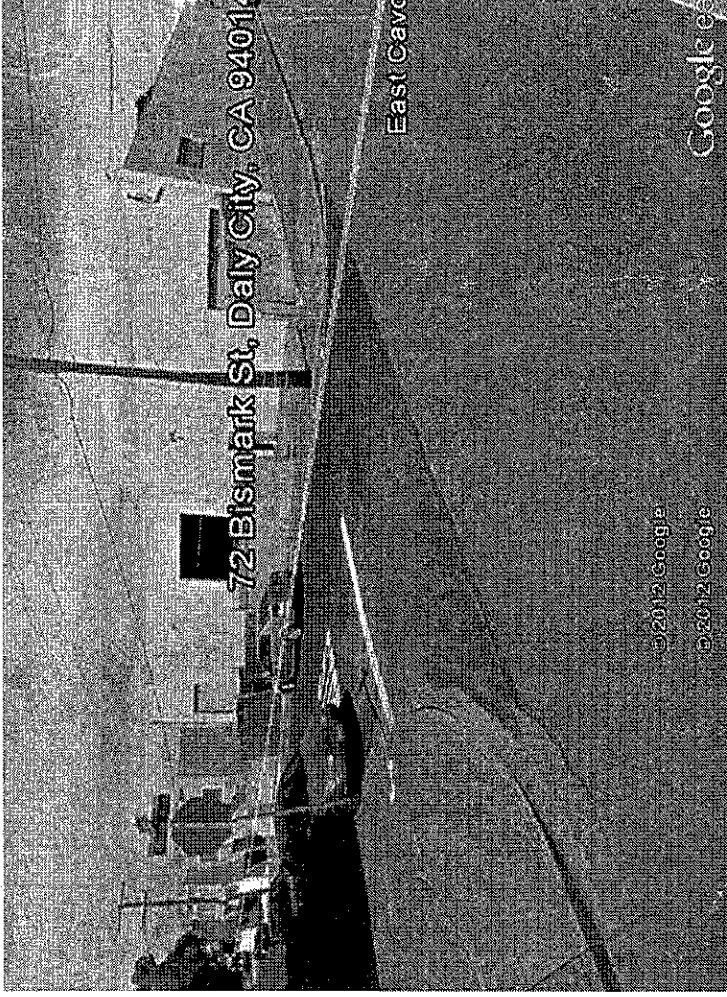
72 BISMARK ST.
DALY CITY, CA 94014

REVISIONS

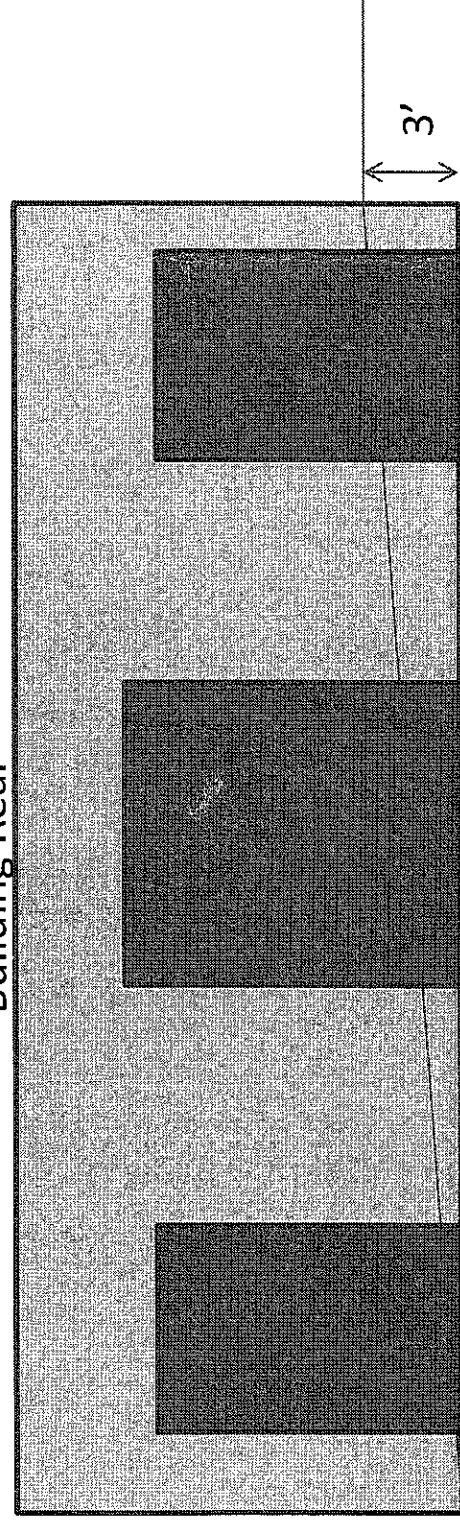
- SIGNAGE SPECS & SIGNAGE LOCATION

72 Bismark Rear Elevation Grade

- $\text{Grade} = (\text{rise} / \text{run}) * 100$
- $3 / (100) * 100$
- $\text{Grade (rear elevation)} = 3\%$



Building Rear

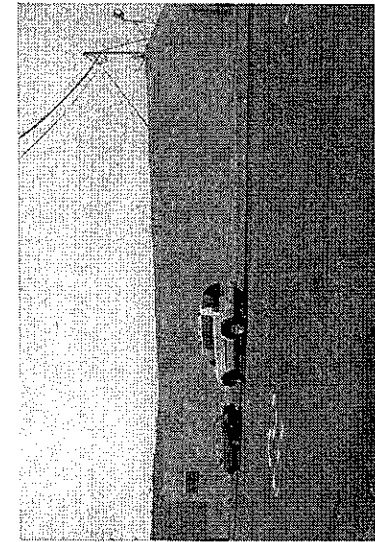
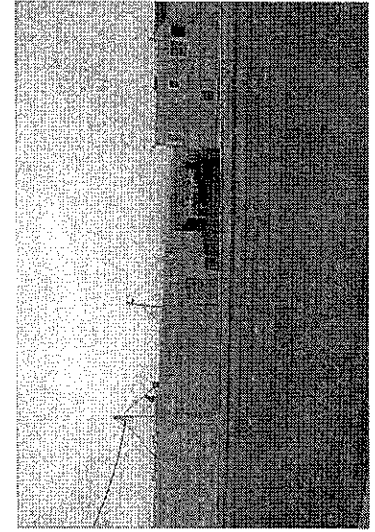
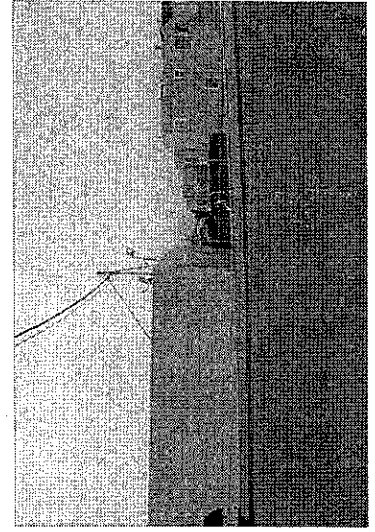
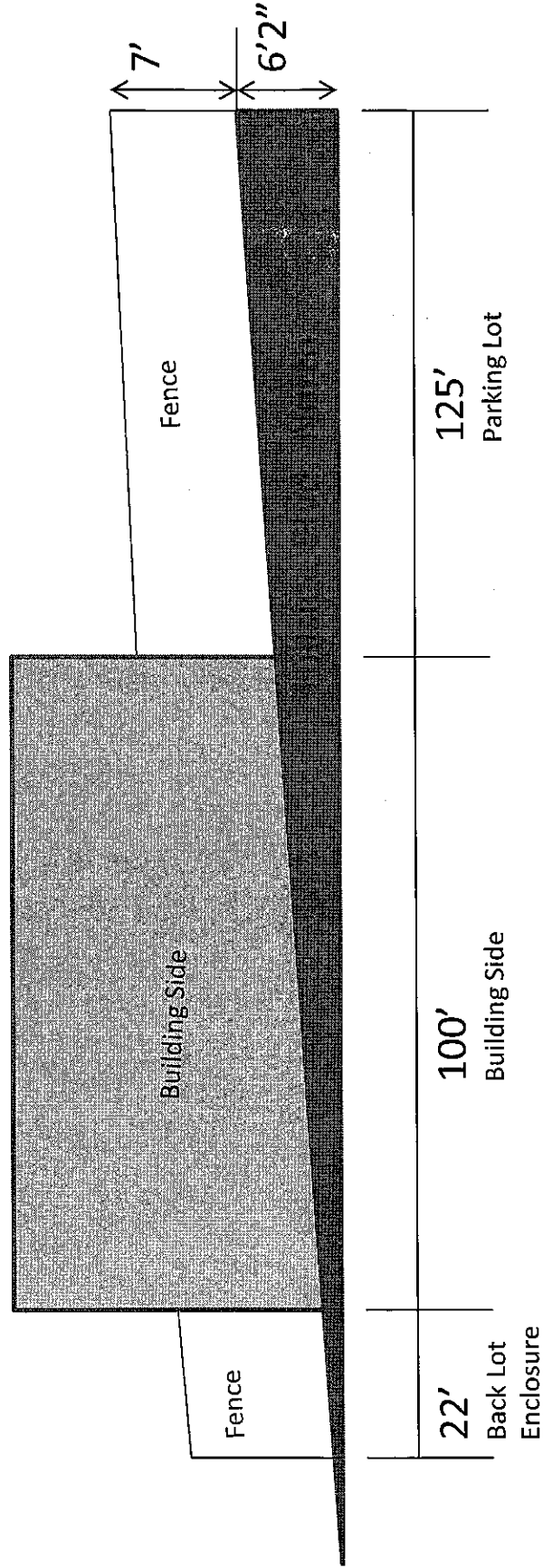


East Cavour St.

West ←

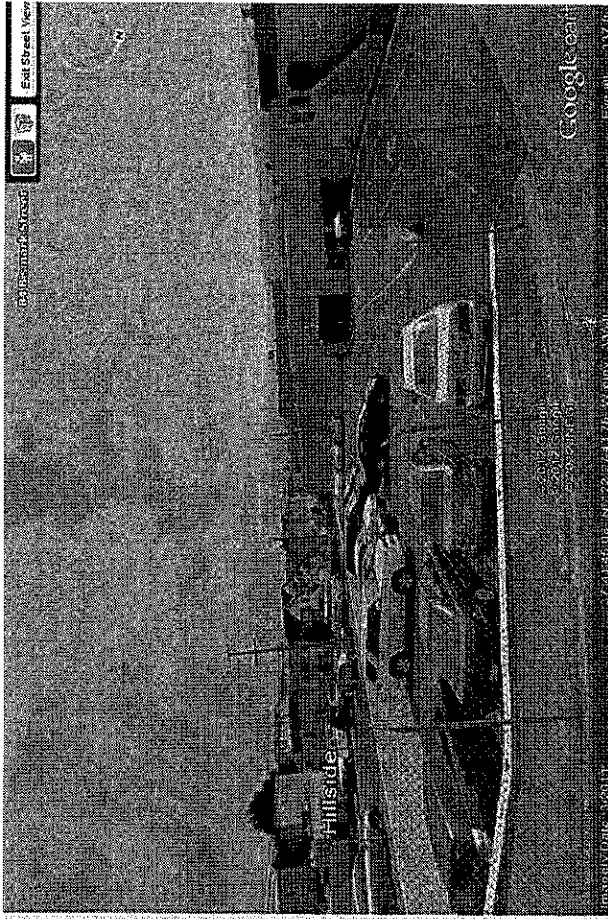
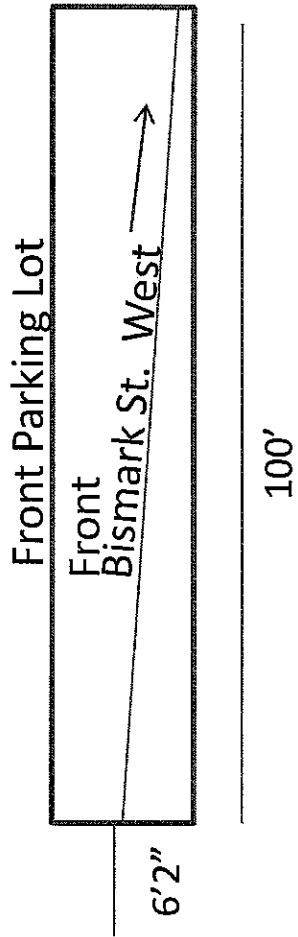
72 Bismark Side Elevation Grade

- Grade = (rise / run) * 100
- $6.16 / (125+100+22) * 100$
- Grade (side elevation) = 2.49%

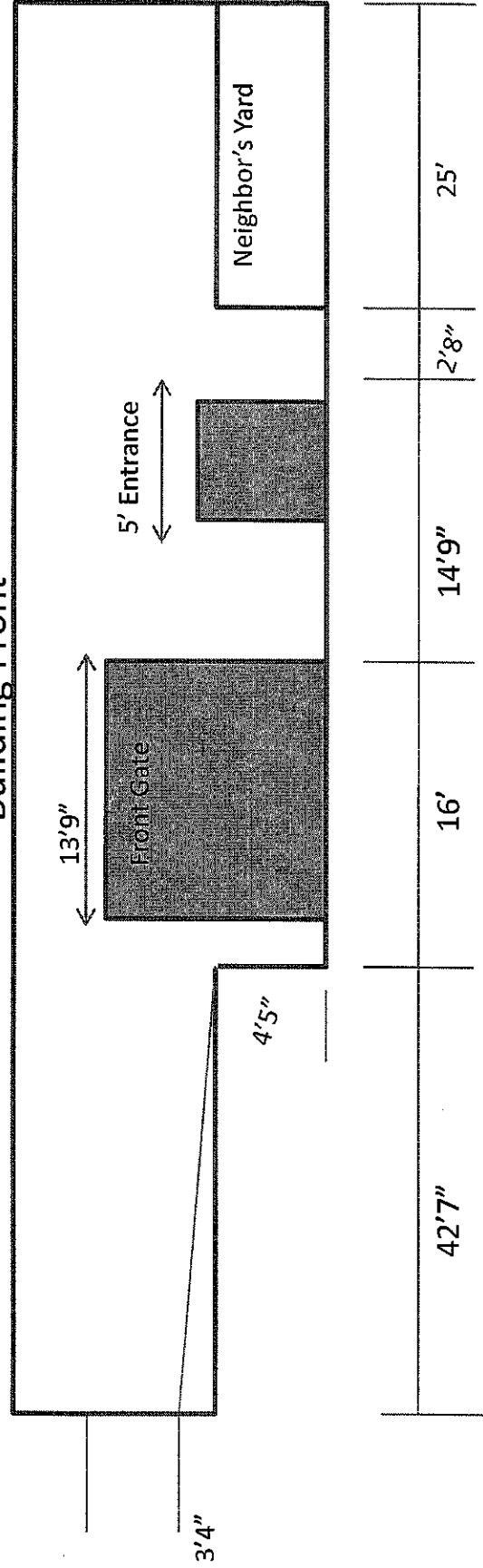


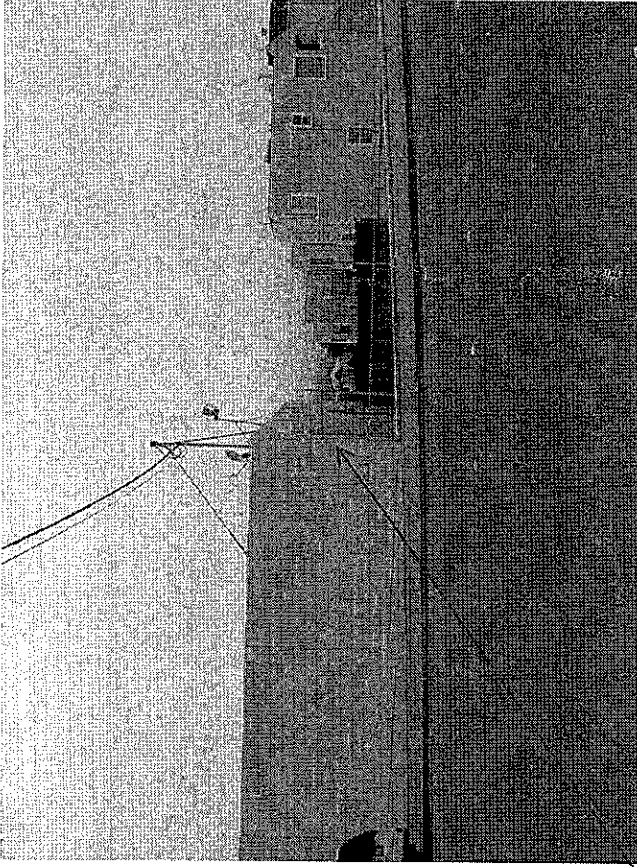
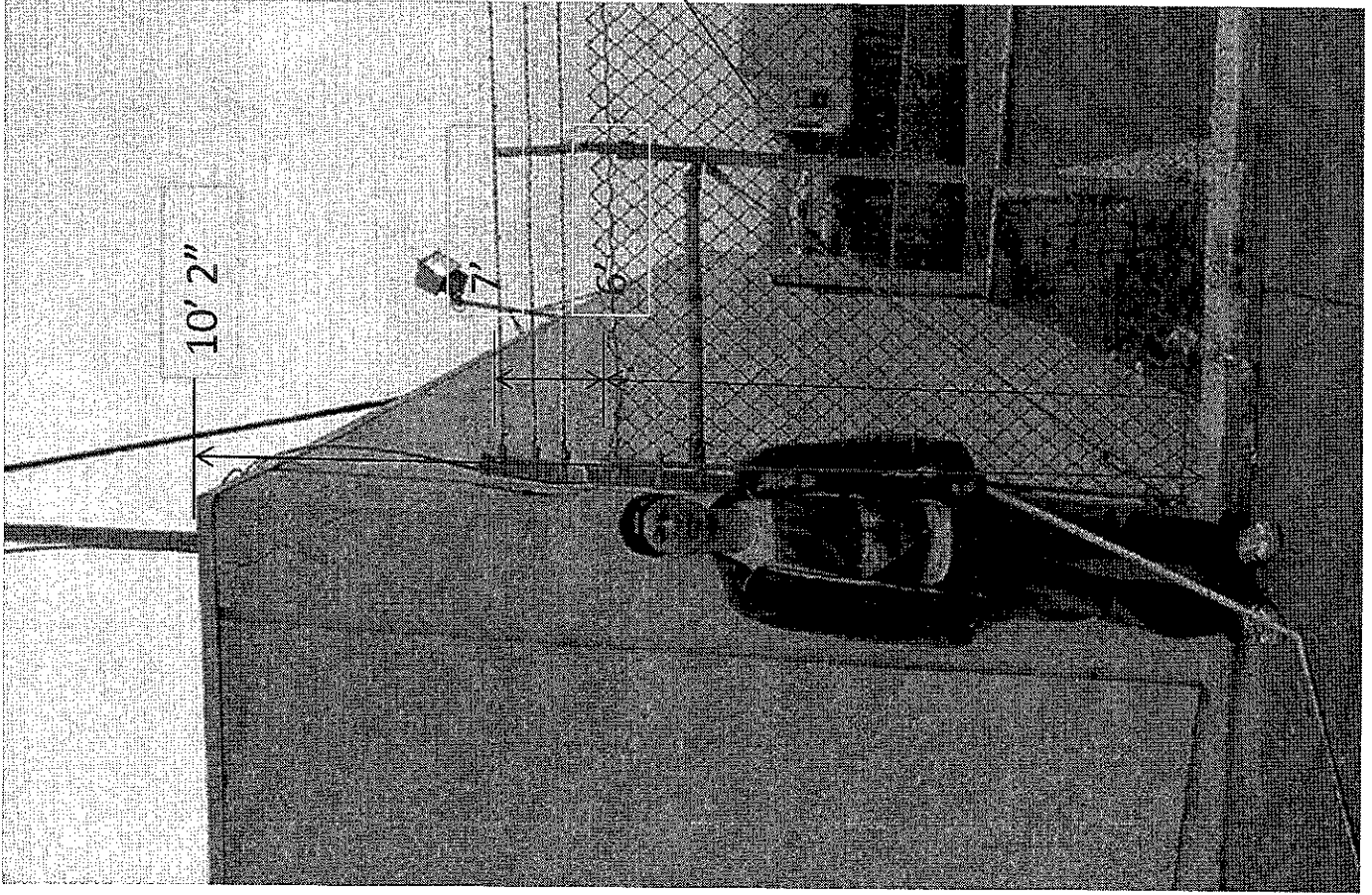
72 Bismark St Parking Lot Front Elevation

Grade = 6.16 %



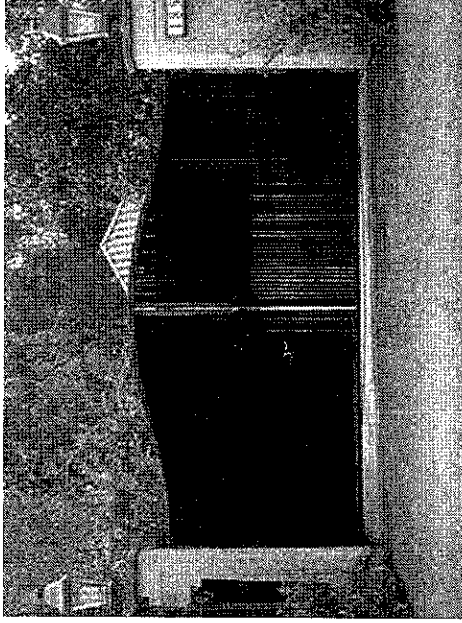
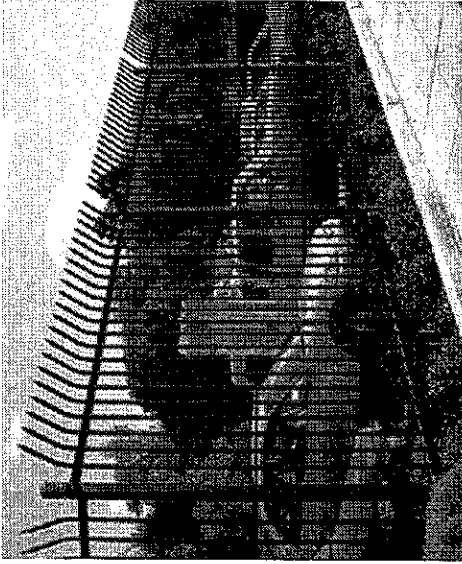
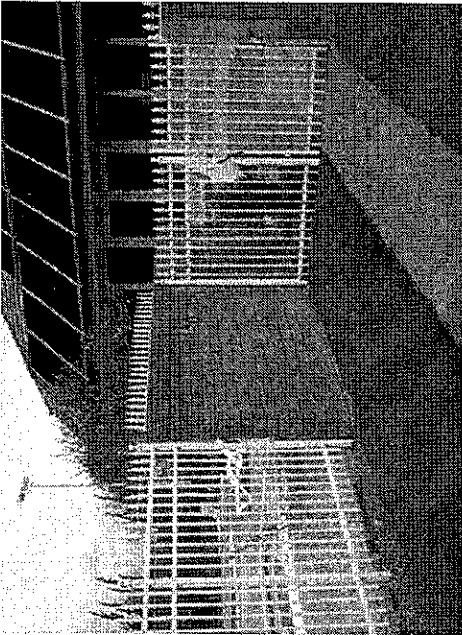
Building Front





Note:

Height of fence in association to frontage on the sidewalk of Hillside Blvd. 3 feet is the visibility of the building from top of a 7' fence, if fence is to be screened.



Tube Steel Style Fencing with Finial Treatment

Note:

Since 72 Bismark is classified as an industrial C1 zone and conducting industrial duties, the current chain link fence are the recommended type of fence for industrial warehouse appearance, durability and security. The current chain link fence around the property is in good condition and there's a substantial cost upward of \$20000 to replace them with tube steel w/ finial treatments & matching swing gate. See *Fig. C1* if screen is applied to tube steel with finial treatment where as the overall appearance liken a cordoned off construction site.

Norcal Fence Co (www.Norcalfence.com)

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For feedback contact: webmaster@norcalfence.com

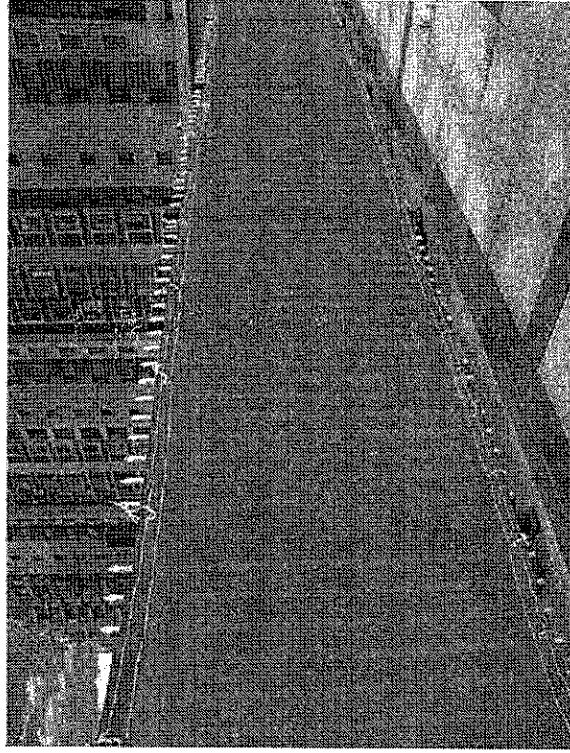
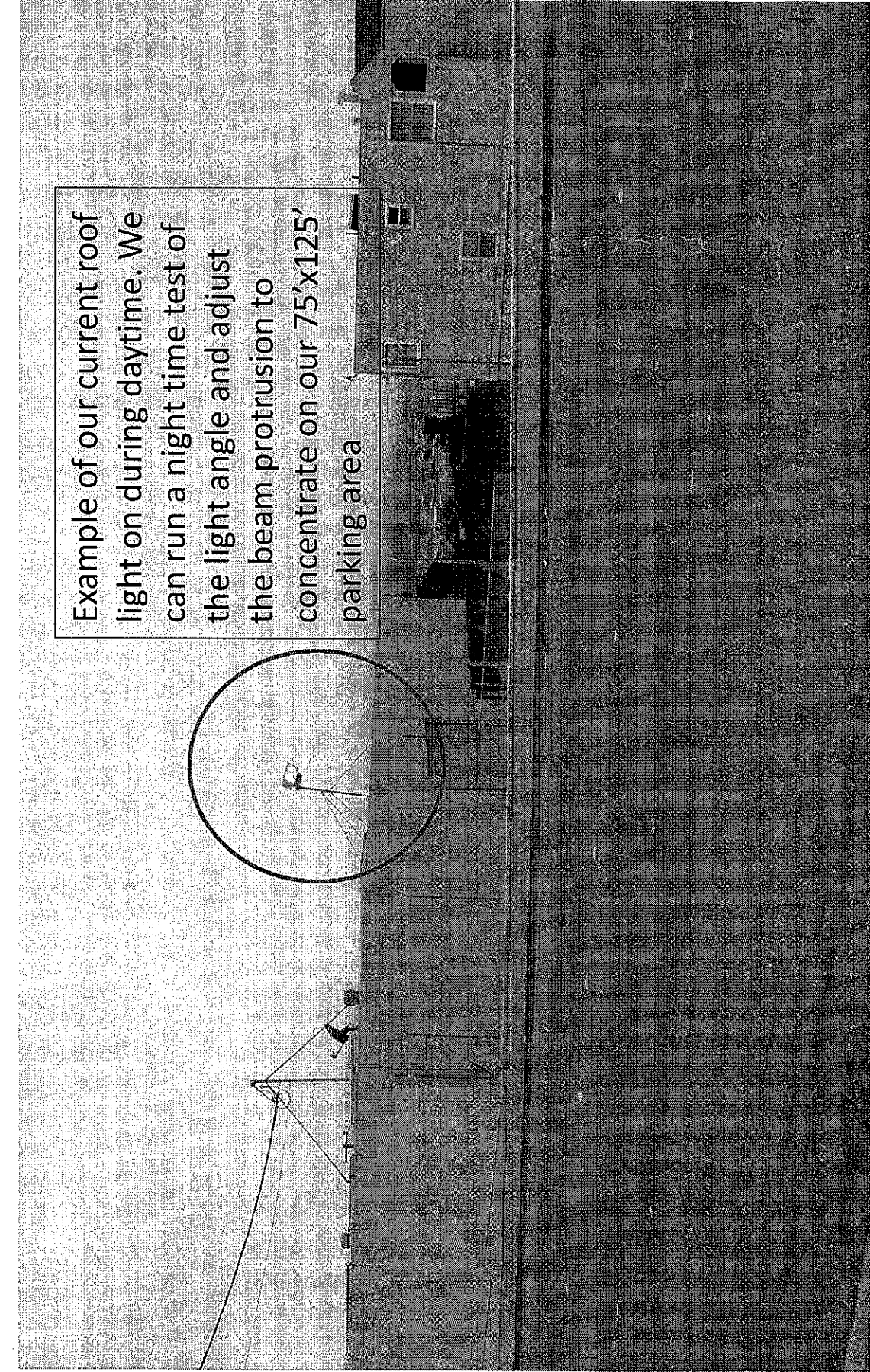


Figure C1



Example of our current roof light on during daytime. We can run a night time test of the light angle and adjust the beam protrusion to concentrate on our 75'x125' parking area

Note:

Current parking lot lighting is cost effective using one light & bulb to illuminate the whole parking lot. Angle can be adjusted and light shroud is no different from the cut off lighting. Any modification with require light post and running electrical throughout the parking lot. We intend to close at 6pm each night, so the use of the light will be no longer than a hour each day (winter and spring months 5-6 pm), and for emergencies or occasional after hour situations.