

**CITY OF DALY CITY
PLANNING COMMISSION
SPECIAL MEETING**

AGENDA

Tuesday, October 08, 2013 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL:

MINUTES: Approval of Minutes of September 3, 2013

PUBLIC HEARING:

1. Use Permit UPR-7-13-7618, Design Review DR-7-13-7619 and Environmental Assessment to reconstruct a gasoline service station where a gasoline service station previously existed.

APPLICANT: Javier Chavarria (representing Mike Nasjdani)
LOCATION: 505 Skyline Drive (APN 008-053-010)
ENVIRONMENTAL Categorically Exempt per Section 15303: New
ASSESSMENT: Construction
PLANNER: Michael VanLonkhuysen, Senior Planner

2. Use Permit UPR-8-13-7695, Design Review DR-9-13-7801 and Environmental Assessment to install a new wireless facility.

APPLICANT: Jason Osborne (representing AT&T Mobility)
LOCATION: 888 East Market Street (APN 006-433-999)
ENVIRONMENTAL Categorically Exempt per Section 15303: New
ASSESSMENT: Construction
PLANNER: Michael VanLonkhuysen, Senior Planner

Agenda – Planning Commission

Tuesday, October 08, 2013

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PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT:

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

Availability of Public Records: All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

**CITY OF DALY CITY
PLANNING COMMISSION
REGULAR MEETING**

MINUTES

Tuesday, September 3, 2013 - 7:00 PM

Council Chambers, City Hall

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

OPENING OF MEETING:

PLEDGE TO THE FLAG:

ROLL CALL: PRESENT: Edelman, Kelly, Lubiano, Sylvester, Crump
 ABSENT: None

MINUTES: Approval of Minutes of August 6, 2013

Moved by Commissioner Kelly, seconded by Commissioner Edelman, that the minutes of August 6, 2013 meeting be approved. Motion carried 5-0.

1. GPA-2-12-5055, ZC-2-12-5056, SUB-2-12-5057, DR-2-12-5058, CEQA-2-23-5059 and Environmental Assessment to develop a +/- 14.04 acre site with 80 single family detached residences.

Staff report presented by: Jeannie Naughton, Associate Planner

On September 3, 2013, the Planning Commission voted 3-2 (Commissioner Lubiano and Sylvester Voting No) to recommend that the City Council approve General Plan Amendment GPA-2-12-5055, Zone Change ZC-2-12-5056, Major Subdivision SUB-2-12-5057, Design Review DR-2-12-5058, and Environmental Assessment CEQA-2-12-5059, subject to the findings and conditions of approval outlined herein. The Commissioners inquired about the provision of on-street parking, willingness of the applicant to reduce the total number of units in the project, and were concerned about the lack of common facilities for residents.

There were four speakers present at the meeting that raised concerns regarding the Traffic Impact Analysis prepared for the project, specifically citing concerns with the trip generation numbers, mitigation required for intersections other than the Callan Boulevard/Serramonte Boulevard intersection, and access to I-280 from Serramonte Boulevard. Speakers also cited concerns regarding existing water pressure in the neighborhood and the impact of the project on that pressure, existing drainage and the impact of the project on drainage in the project vicinity, parking impacts, disruption to residents during construction, and the overall density of project:

- John Louie, 829 St. Francis Boulevard
- Pamela DiGiovani
- Richard Klapp, 837 St. Francis Boulevard
- Cathy Pantazy, President, St. Francis Heights Homeowners Association

Speaking in support of the project, specifically citing the provision of affordable homes included in the project that will serve a Countywide need:

- Mark Moulton, Executive Director, Housing Endowment and Regional Trust

Speaking on behalf of the applicant team was:

- Gordon Jones, Division President, Lennar Homes, Inc., applicant
- Brent Reed, Forward Planning Manager, Lennar Homes, Inc., applicant
- Bernie Vidales, Superintendent of Jefferson Elementary School District, property owner

Moved by Commissioner Kelly, seconded by Commissioner Edelman, to close the public hearing. Motion carried 5-0.

Moved by Commissioner Kelly, seconded by Commissioner Edelman, to adopt the findings as outlined in the staff report of August 6, 2013. Motion carried 4-1 (Sylvester no).

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to affirm the Environmental Assessment. Motion carried 4-1 (Sylvester no).

Moved by Commissioner Kelly, seconded by Commissioner Edelman, to approve GPA-2-12-5055, ZC-2-12-5056, SUB-2-12-5057, and DR-2-12-5058 subject to the Findings and Conditions outlined in the staff report of September 3, 2013. Motion carried 3-2 (Lubiano no, Sylvester no).

2. Zone Text Amendment ZC-9-12-6154, Use Permit UPR-9-12-6156 Environmental Assessment CEQA-9-12-6155 for an Off-Premise Digital Sign.

Staff report presented by: Jeannie Naughton, Associate Planner

On September 1, 2013, the Planning Commission voted 5-0 to recommend that the City Council approve Zone Text Amendment ZC-9-12-6154, Use Permit UPR-9-12-6156, Environmental

Assessment CEQA-9-12-6155, subject to the findings and conditions of approval outlined herein. The Commission expressed safety concerns about the proposed sign being located on this stretch of I-280, and whether there are similar signs elsewhere that are adjacent to busy interchanges. The applicant team cited two other locations where Clear Channel Outdoor has similar signs in similar locations, including I-580 past “the maze” and at the foot of the eastern span of the Bay Bridge. The Commissioners inquired about ambient lighting sensors in the sign, and the ability of non-profit organizations to advertise on the sign.

There was one speaker present at the meeting who raised concerns regarding potential aesthetic impacts to homeowners in the residential area located on the south side of Serramonte Boulevard, on the east side of I-280, primarily related to the brightness and visibility of the sign:

- Rob Wood, representing Village Serramonte Homeowners Association

Speaking on behalf of the applicant team was:

- Jeff Mooalem, Equity One, Inc.
- Robert Hatton, Clear Channel Outdoor

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to close the public hearing. Motion carried 5-0.

Moved by Commissioner Sylvester, seconded by Commissioner Edelman, to adopt the findings as outlined in the staff report of September 3, 2013. Motion carried 5-0.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to affirm the Environmental Assessment. Motion carried 5-0.

Moved by Commissioner Edelman, seconded by Commissioner Kelly, to approve ZC-9-12-6154 and UPR-9-12-6156 subject to the Findings and Conditions outlined in the staff report of September 3, 2013. Motion carried 5-0.

PUBLIC APPEARANCES, STAFF COMMUNICATIONS:

ACQUISITIONS, VACATIONS, ETC. - SECTION 65402(A):

ADJOURNMENT: The Chair adjourned the meeting at 7:20 p.m.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should notify the Office of the City Clerk at 991-8078 as early as possible.

Availability of Public Records: All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.



Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: October 8, 2013

Application: Use Permit UPR-7-13-7618 and Design Review DR-9-13-7619

Project Planner: Michael Van Lonkhuysen, Senior Planner

Project Location: 505 Skyline Drive (APN 008-053-010)

Project Description: Use permit and design review to allow the reconstruction of a service station where a service station previously existed

Applicant: Javier Chavarria
843 Burns Court
Pacifica, California 94044

Property Owner: Mike Nasjdani
3182 Campus Avenue
San Mateo, California 94403

Environmental Assessment: Categorically Exempt per CEQA Guidelines Section 15303
(New Construction)

Applicable Daly City
Municipal Code Sections: Chapter 17.44 (Use Permits)
Chapter 17.45 (Design Review)

Site Information

Property Sizes	Existing Use	Proposed Use	General Plan Designation	Current Zoning
13,260 square feet (0.3 acres)	Closed gasoline service station	Gasoline service station	Commercial - Service	C-1 Light Commercial

Area Information

Land Use	Zoning
North: Residential	R-1 Single-Family Residential District
South: Residential	R-1 Single-Family Residential District
West: Residential	R-1 Single-Family Residential District
East: State Highway 35	[none]

Background

The applicant, Javier Chavarria representing Mike Nasjdani, is proposing to reconstruct a service station where a service station previously existed at 505 Skyline Drive (see Attachment A – Location Map). The new service station would add approximately 1,615 square feet to the station floor area that previously existed and would, like the previous station, conduct limited vehicle repair in three auto repair bays (see Attachment B – Project Plans). The use permit for the previous station (UP58-25) expired in 2007 when the gasoline service station use of the site ceased for a period exceeding 180 days.

A gasoline station has been located on the subject property since a Shell Station opened there in 1959. Since the mid-1980s, the station (under a previous ownership) fell into general disrepair and was the subject of code enforcement on several occasions. In 1997, the City Council approved a use permit application (UP97-4) by the same property owner to legalize the operation of a U-Haul truck rental facility. However, the applicant's failure to comply with the conditions of approval resulted in use permit revocation in 1999. The City reinstated the permit in 2000 after the property owner ultimately complied with the conditions of approval and agreed to comply with a court-ordered Settlement Agreement.

In 2005, the then property owner, Benjamin Sison, proposed a renovation of the main service station building, expansion of the cashier area, and a renovation the exterior of the main service station building. The Planning Commission continued the hearing at the time to allow the applicant to explore the feasibility of the expansion. In 2006, Mr. Sison obtained permits for a renovation of the station which did not expand the building areas and Mr. Sison commenced the renovation. Due to the economic downturn, Mr. Sison was unable to complete the work to the station and the renovation ceased. The station has remained in an unfinished condition since approximately 2007.

The current property owner, Mike Nasjdani, purchased the station in 2013 with the intention of completing the renovation begun by Mr. Sison and implementing a slight expansion of the retail sales area within the station. It is this retail sales area expansion which represents the bulk of 1,615 square foot addition, as the area devoted to vehicle repair remains largely the same.

Interior improvements proposed for the station include modifications to the sales counter and restroom facilities that would improve accessibility by disabled persons, and an increase to the overall area devoted to product display. The addition of sales area, which would account for a significant portion of the store's gross receipts, is intended to help ensure the financial viability of the station, a concern expressed by the Planning Commission in consideration of the expansion sought by Mr. Sison in 2005.

Use Permit

The proposed project involves the reconstruction of a service station where a service station previously existed. Aside from the building expansion described above, the site plan for the station is identical to that which existed on the site for many years. The location of buildings, fueling canopy, and site access would be exactly the same as it was before, as would be the number of fueling pumps (two).

The current applicant has identified the following station operations (see Attachment C – Owner's Statement):

1. The convenience store will provide snacks, drinks, automotive convenience items and miscellaneous items. There are no current plans to sell alcoholic beverages.

2. Both the convenience store and fueling pumps would operate 24 hours a day, 7 days a week, 365 days a year.
3. The auto repair aspect of the station would be open from 7:00 AM to 6:30 PM, Monday through Saturday, and from 9:00 AM to 4:00 PM on Sunday.

According to the applicant, it is the intention that auto repair be limited to smog inspections, lube and oil services, minor maintenance, and small repairs such as tune-ups, brake repair, and other light maintenance and repairs that would allow clients' vehicles to be returned to them the same day, thereby avoiding the necessity to store vehicles on the site overnight. The applicant has indicated that there will be no major repair services conducted, e.g., auto body work, engine or transmission replacement or repair. On the occasion that a vehicle under repair must be stored on the premises overnight, the applicant has indicated that these vehicles will be stored inside.

Given the historical use of the site as a service station, staff is overall supportive of the use. The proposed service station reconstruction is located within the Daly City Coastal Zone. The General Plan Coastal Element specifically cites the subject gasoline station as conforming the element to the Daly City Coastal Program and therefore the station's operation is a vital component of the Program. However, previous incidences of over-parking vehicles waiting for repair on the property and in the adjacent street requires that the City closely evaluate the potential for this to become an issue in the future.

As identified in the project site plan, a total of 11 parking spaces would be provided to employees, station patrons, and vehicles waiting for repair, not including spaces beneath the station canopy used by patrons pumping gasoline. This number of spaces complies with the Zoning Ordinance parking space minimum, which requires two spaces for the service station, one space per 300 square feet of gross floor area of retail sales area, and one space per 750 square feet of automobile repair area. The respective requirements in the proposed service station are two spaces for the station in general, seven spaces for the sales area, and two spaces for the repair area, resulting in a total of 11 required parking spaces.

While the station would provide the minimum number of parking spaces required by the Zoning Ordinance, staff is recommending Conditions of Approval that restrict the type of automobile repair service in a manner consistent with the current proposal, i.e., minor service involving same-day repair. This Condition of Approval would place this operational limitation on any future service station owners.

Additionally, in an effort to minimize impacts to residential neighbors by the automobile repair aspect of the service station, staff is recommending that the following limitations be placed as Conditions of Approval:

1. Auto repair shall occur in the interior repair bays only, i.e., not in outside parking spaces.
2. The number of vehicles on-site awaiting repair or pick-up shall not exceed four.
3. No vehicle shall be stored on site for more than five contiguous days.
4. Repair work shall be limited to vehicles with one-ton or less carrying capacity. Work on vehicles up to two tons may occur, but shall be limited to two such vehicles per week.
5. Repair of boats and other large vehicles shall be prohibited; and
6. Washing any vehicle (including vehicles associated with the truck rental operation) shall be prohibited.

In consideration of the request to add additional sales area, staff is recommending a Condition of Approval requiring that the increased floor area be devoted to the retail sale of visitor serving goods and merchandise such as snacks, beverages, maps, and similar products. The intention of this requirement is to ensure that the future use of the retail building remains visitor-serving in nature, consistent with the City's Coastal Element. The proposed Conditions of Approval also specifically disallow uses such as truck and trailer rental operations that do not further the visitor-serving objective.

Design Review

As discussed previously, aside from the building expansion, there are no significant changes proposed to the site plan that the previously-existing service station used for many years. Access to the station would continue at two existing driveways, both from Skyline Drive (no vehicle access provided from Westmoor Avenue). The canopy structure would remain largely unchanged, aside from receiving cosmetic fascia improvements. The service station building would use the existing foundation of the previous building, with an expansion to the southern property line to accommodate the proposed addition, and would also receive cosmetic improvements.

The proposed addition would add approximately 1,615 square feet to the service station consisting primarily of the three automobile service bays and would be constructed immediately adjacent to the shared property line with the residential neighbor to the south. According to the applicant, the most southerly bay would very likely be used as a smog check station. Staff has added a Condition of Approval requiring that the application construct six-foot-tall masonry wall at the southern property line (tapering to three feet to correspond to the residential district's front yard setback) for the purpose of attenuating any noise associated with vehicle repair or smog checks.

As identified in the project building elevations and perspective, the entire building would largely reflect the architectural style of the gasoline station that previously existed on the site. The building would receive a stucco coat, with decorative trim at the roofline and mid-section, and a decorative rock veneer base. The lower building elevation of the building would be painted beige, while the upper elevation would be painted dark teal. The station canopy also is intended to receive a decorative fascia treatment, consistent with the building design. The Conditions of Approval require a trash enclosure on the site that matches the building color and does not displace required parking or landscaping.

To ensure that the station's existence is known to passing motorists on State Route 35 (SR35), the applicant is proposing a 13-foot tall pylon sign near the Westmoor/SR35 intersection (see Attachment D – Signs). A shorter eight-foot-tall monument sign is proposed near the Skyline Drive/Westmoor Avenue intersection. The Conditions of Approval have required that this sign be reduced to six feet in height in compliance with the City's sign regulations, and that all signs be architecturally integrated to match the building on the site.

Wall signs are identified only at the western elevation, facing Skyline Drive. Although these signs are presently conceptual in nature, staff is recommending a Condition of Approval that prohibits any illuminated wall signs above the auto repair bays or the canopy south elevation, so as to limit the impacts of light and glare on the adjacent residential neighbor to the south.

Staff is overall satisfied with the design of the proposed service station as is therefore recommending Design Review approval.

Findings

Staff finds that, as conditioned, the proposed Use Permit UPR-7-13-7618 and Design Review DR-7-13-7619 are in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the use permit and design review would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission conducted a public hearing on October 1, 2013. Legal public notice of said hearing was provided by newspaper publication on Saturday, September 20, 2013, posting and via first class mailing to property owners within 300 feet of the site.
2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorically Exempt per Section 15303 (New Construction).
3. The proposed project is consistent with Zoning Ordinance Chapter 17.44 (Use Permits) and Chapter 17.45 (Design Review).
4. The subject property is zoned C-1 (Light Commercial), which requires a use permit for service station uses and expansions thereof.
5. The proposed development is located within the Daly City Coastal Zone. The General Plan Coastal Element specifically cites the subject gasoline station as conforming the element to the Daly City Coastal Program and therefore the station's operation is a vital component of the Program.
7. The Commission desires to ensure the long-term viability of the gasoline station use on the subject property and has, for this reason, has adopted Conditions of Approval intended to ensure that gasoline and visitor-oriented merchandise sales remain viable products offered for sale on the subject property.
8. The Commission finds that site visibility and general positive appearance from adjacent State Route 35 are imperative to the long-term viability of the gasoline station, and it is for this reason that the Commission adopts specific measures intended to further ensure the economic life of visitor-serving uses on the property, as prescribed by the Coastal Element.
9. The Commission's imposition of limitations on the automobile repair and prohibition on truck rentals is intended to ensure that these secondary uses do not replace visitor-serving commercial uses (primarily gasoline sales), in contradiction with the Coastal Element.
10. The applicant has demonstrated a willingness, through the application now before the Commission and by accepting the attached Conditions of Approval, to operate the service station in a manner that will further the goals of the Coastal Element through continued operation of the gasoline station.

Conditions of Approval

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. Within thirty (30) days of Council approval, the applicant shall file with the City Clerk a Declaration of Acceptance of all conditions. Until said declaration is filed, the project shall not be granted for any permits sought from the City.
2. If building permits are not issued and construction diligently pursued within one year of approval of the use permit approval, the use permit shall become invalid.
3. The applicant shall submit signage material details for review and approval by the Planning Division.
4. The Use Permit and Design Review shall be valid for a period of one year from the date of City Council approval. The approval shall terminate if a building permit has not been obtained and construction commenced within one-year of City Council approval of the project.

Operational Requirements and Restrictions

5. All new floor space shall be devoted to the retail sale of visitor serving goods and merchandise such as snacks, beverages, maps, and similar products.
6. Truck and trailer rental operations and other similar uses that do not further the visitor-serving objective shall be prohibited at the site. Rental vehicle drop-off shall be prohibited.
7. Auto repair performed at the subject site shall be limited to automobile maintenance and minor repair such as oil changes, and tire, shocks, and brakes replacement involving same day service.
8. Outdoor overnight storage of vehicles shall be limited to two vehicles.
9. The use of the public right-of-way to store vehicles waiting for repair, or for any on- or off-loading of vehicles, for any duration, shall be prohibited.
10. Auto repair performed at the subject site shall only occur between the hours of 7:00 AM to 6:30 PM, Monday through Saturday, and from 9:00 AM to 4:00 PM on Sunday.
11. Auto repair shall occur in the interior repair bays only, i.e., not in outside parking spaces.
12. The number of vehicles on-site awaiting repair or pick-up shall not exceed four.
13. No vehicle shall be stored on site for more than five contiguous days.
14. Repair work shall be limited to vehicles with one-ton or less carrying capacity. Work on vehicles up to two tons may occur, but shall be limited to two such vehicles per week.
15. Repair of boats and other large vehicles shall be prohibited; and

16. Washing any vehicle (including vehicles associated with the truck rental operation) shall be prohibited.
17. The use of exterior lighting shall not result in adverse glare to adjacent residential neighbors. Should the Planning Division determine that exterior lighting is causing adverse glare, the applicant may be required to make adjustments to lighting, provide additional shielding to lights, or reduce or eliminate the use of certain lights to comply with this Condition.
18. The service station shall continually provide water and air pump dispensers to customers. These dispensers shall be relocated so as to provide easy access to at least one parking space on the site.
19. The service station shall continually provide functioning bathroom facilities to customers.

Building and Site Design

20. The applicant shall revise the project plans to identify the placement of a slurry seal over the entire parking lot. The seal shall not include work that results in the removal of existing asphalt surfaces. Once the seal is applied, the applicant shall restripe the lot in conformance with the approved parking lot layout.
21. The applicant shall revise the project plans to include the placement of a trash enclosure on the site. The enclosure shall be constructed from concrete (CMU is acceptable) with decorative cap, painted to match the building color, and shall receive a powder-coated metal door painted to match the building color. The capacity, design, and location of the structure shall be approved by both the Planning Division and Allied Waste Services prior to incorporation in the project plans that are submitted to the Building Division for permit issuance. The enclosure shall not displace required parking or landscaping.
22. The propane tank and existing Healy tank shall be painted to match the color of the service station building.
23. The applicant shall replace the existing wood fence at the southern property boundary with a six foot masonry wall, except along the adjacent residential zone setback area (15 feet from front property line), where the wall shall be reduced to three feet in height. The wall shall be painted the color of the service station building on all sides, and shall receive a decorative cap. The proposed wall design, location, height, and painting requirements shall be identified in plans submitted for the service station building permit.
24. Any new rooftop mechanical equipment shall be completely screened from view in a manner acceptable to the Planning Division.
25. The applicant shall restripe the customer parking and sales lots in conformance with the approved parking lot layout. All parking spaces shall conform to the Daly City Zoning Ordinance parking dimensions. All parking spaces shall receive wheel stops.
26. The applicant shall develop a more-detailed landscape plan for the Westmoor Avenue and Skyline Drive street frontages. The landscape plan shall incorporate an irrigation system, be of a design quality to the City's satisfaction, and shall serve to increase the overall visibility of the station and gasoline pump island from SR35. All landscaping shall be installed prior to final building inspection.

Signs

27. All signs at the subject property shall receive sign permits and shall remain in conformance with the Daly City Municipal Code. Banners, streamers, balloons, and any other device intended to attract visual attention shall be prohibited. Box signs shall be prohibited, except where allowed on the monument and pole sign.
28. The monument sign at the Westmoor/Skyline Drive intersection shall be reduced to six feet total height.
29. All signs shall be architecturally integrated to match the building on the site. For example, the monument sign at the Westmoor/Skyline Drive intersection shall receive a solid base, with veneer and decorative trim and cap to complement the design of the new service station.
30. Illuminated wall signs above the auto repair bays shall be prohibited, as shall illuminated signs on the canopy south elevation.

Site Maintenance

31. The site shall be maintained in a safe, sanitary and litter free condition at all times.
 - a. No outside storage shall be allowed, except in the approved trash enclosure area.
 - b. Doors to the trash enclosure area shall be kept closed except when necessary to dispose of trash or to store material to be recycled.
 - c. The buildings and appurtenances shall be painted as often as necessary to maintain a weatherproof coating.
32. A maintenance plan for on-site litter control acceptable to the Public Works Streets Supervisor shall be submitted by the applicant and will include:
 - a. All sidewalks, walkways, driveways, parking lot facilities, and easements within and adjacent to the property, including weeds. The requirement shall not apply to adjacent State-owned highway.
 - b. All outdoor storage areas shall be screened from public view.
 - c. Garbage storage areas are to be kept sanitary and free of litter and debris.
 - d. During construction, litter and construction debris shall be put into closed containers at the end of each day. Subsequent to construction activity, all recyclable material shall be stored exclusively inside the recycling material enclosure area.
 - e. The accumulation of trash in the garbage dumpster or located anywhere on the premises shall be removed and disposed of in a proper manner. Motor oil that has accumulated in parking stalls and driveway areas shall be cleaned as soon as possible to prevent oil from entering the storm drain system.

33. The applicant shall submit a site maintenance program that includes maintaining the sidewalk area in front of the business prior to the issuance of any building permits.

B. ENGINEERING DIVISION

34. The applicant shall upgrade to current standards the accessibility conditions of the site frontage, including primarily the ADA ramps at the Westmoor Avenue/Skyline Drive intersection, the sidewalk, and driveways.
35. All boundary line fences shall be on private property.
36. The project plans shall be revised to show correct location of right-of-way lines, including those of Caltrans and the City of Daly City. All work on City of Daly City right of way shall require a permit from City's Public Works Department.
37. The project shall provide on-site trash capture on a minimum of 90 percent of all storm runoff.

C. DEPARTMENT OF WATER AND WASTEWATER RESOURCES

38. All costs associated with any improvements required by the City as a result of this project shall be borne by the applicant.
39. The applicant shall verify the intent to abandon or reuse the existing sewer lateral. If the intent is to reuse, applicant must video inspect and perform a watertight test that is subject to review by DWW. A DWW representative shall be on site during the testing and televising. If the lateral is not to be used the lateral shall be abandoned per Section 02720, 3.08 of the City of Daly City Standard Specifications and Drawings. The abandonment shall be completed prior to any demolition of the previous building or construction of the new building. All costs associated with the testing, video inspection and abandonment shall be borne by the applicant.
40. The applicant shall verify the intent to abandon or reuse the existing water service. Only copper or ductile iron services shall be reused. If the intent is to reuse, applicant must provide evidence of the material type to DWW/Engineering. If the service is not to be used, the service shall be abandoned per Section 02710, 3.15 of the City of Daly City Standard Specifications and Drawings. The abandonment shall be completed prior to any demolition of the previous building or construction of the new building. All costs associated with the abandonment shall be borne by the applicant.
41. RP type backflow devices are required for all water services.
42. All costs associated with any improvements required by the City as a result of this project shall be borne by the applicant.

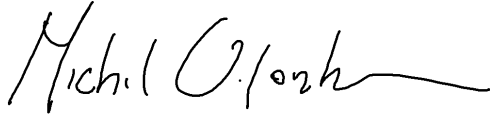
Recommendations

Staff recommends that the Planning Commission forward to the City Council the following actions:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and

3. Approve Use Permit UPR-7-13-7618 and Design Review DR-7-13-7619, subject to the Findings and Conditions outlined herein.

Respectfully submitted,



Michael VanLonkhuysen
Senior Planner



Brian Millar
Director of Economic and Community
Development

Attachments

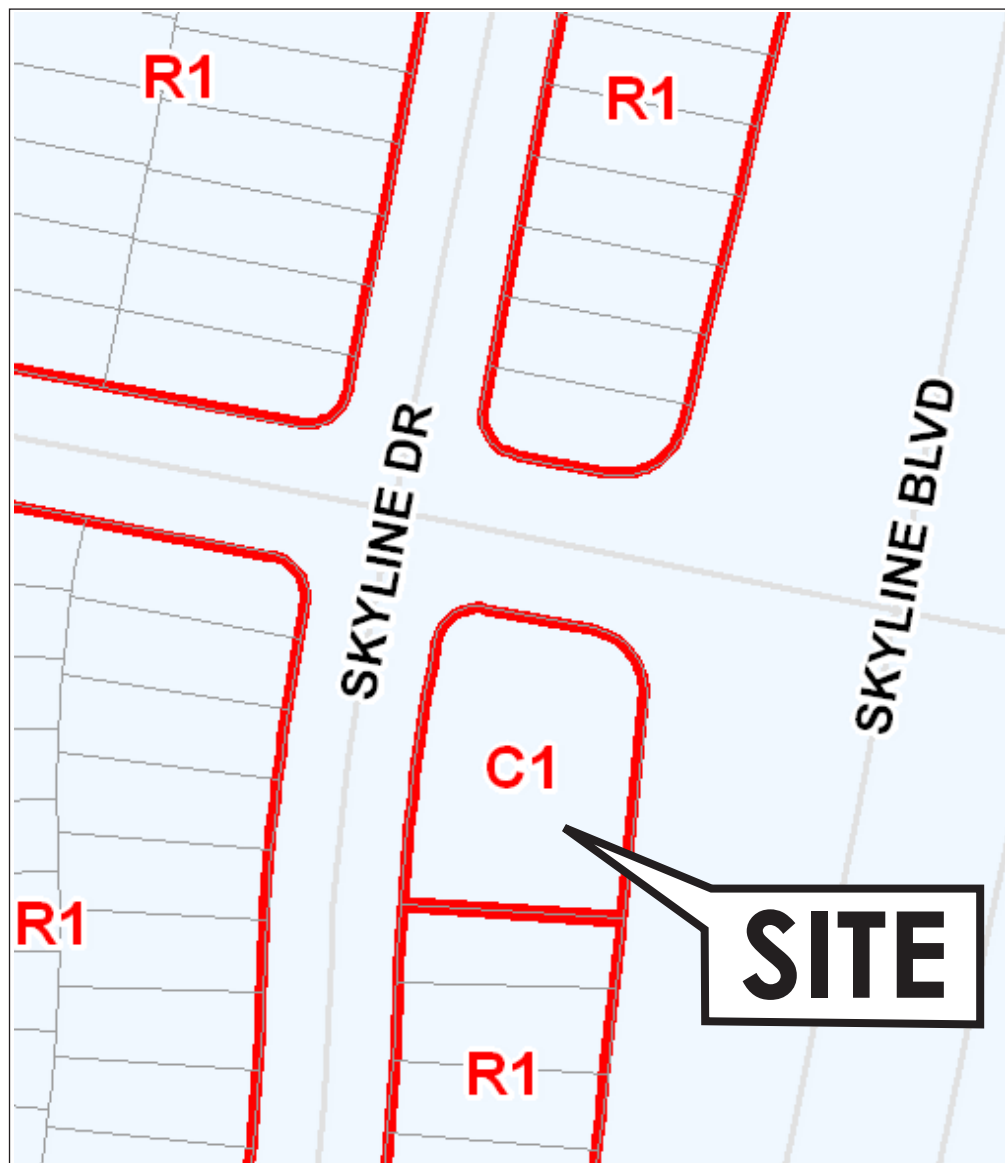
Attachment A – Location Map
Attachment B – Project Plans
Attachment C – Owner's Statement
Attachment D – Signs

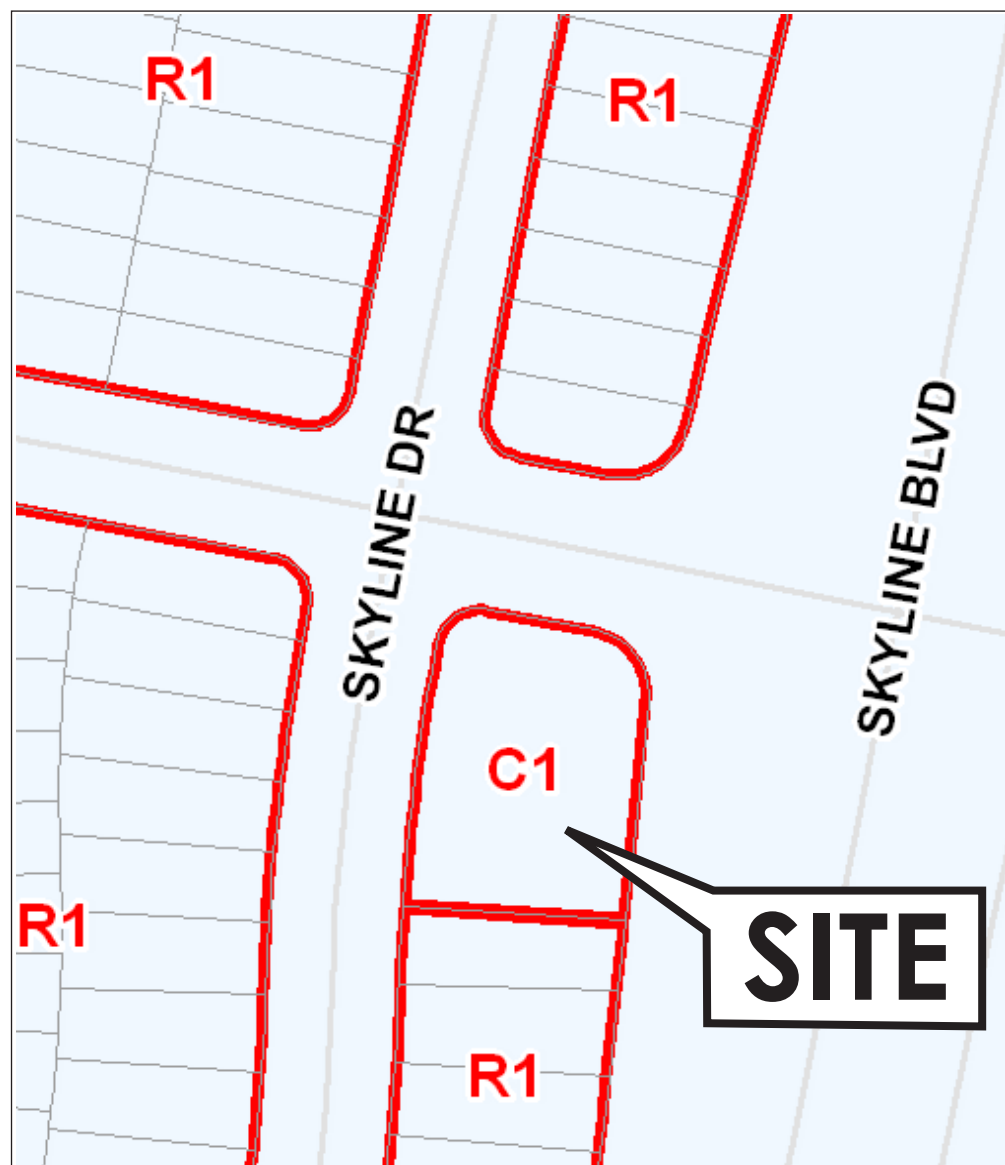
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LOCATION MAP



Use Permit UPR-7-13-7618 and
Design Review DR-7-13-7619
505 Skyline Drive (APN 008-053-010)
Construction of new gasoline service station
Planning Commission Review



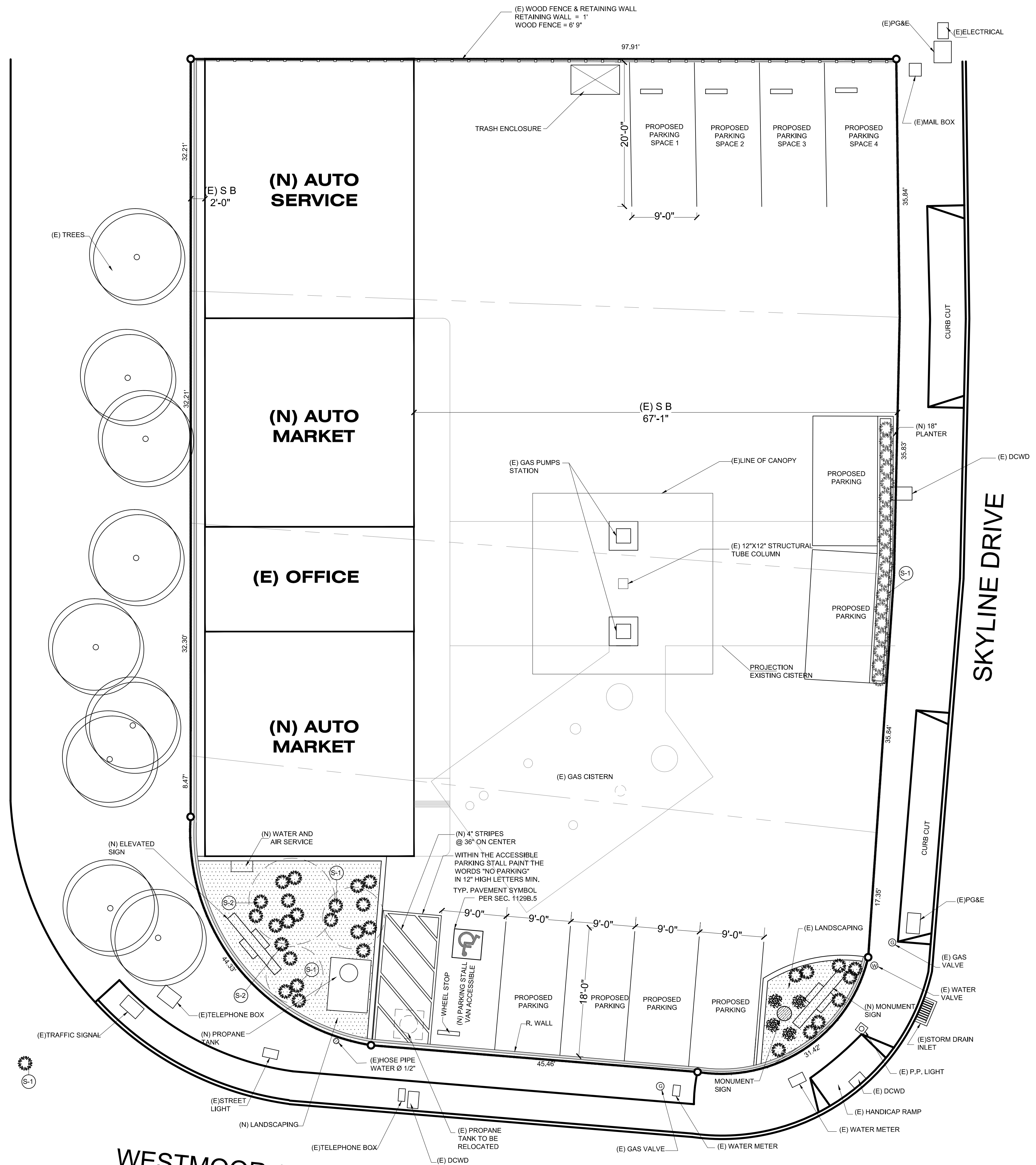


BUILDING REMODELING
505 SKYLINE DR
DALY CITY, CA
APN 008-053-010

PROJECT INFORMATION		INDEX OF DRAWINGS
OWNER:	RASBORA, LCC	A0. COVER SHEET, INDEX OF DRAWINGS, VICINITY MAP, SITE & LANDSCAPE PLAN A1. EXISTING FLOOR PLANS & ELEVATION A2. PROPOSED FLOOR PLAN & AREA CALCULATION A3. PROPOSED ELEVATIONS A4. SECTIONS
OWNER ADDRESS:	5 KINGSWOOD CIRCLE HILLSBOROUGH, CA 94010	
LOT AREA:	13,260.00 SQ. FT.	
NUMBER OF STORIES:	ONE STORY	
APN:	008-053-010	
(E) BUILDING AREA:	1,595.00 SQ. FT.	
(N) BUILDING AREA:	3,210.58 SQ. FT	
OCCUPANCY GROUP:	H-4 REPAIR GARAGE NOT CLASSIFIED AS S-3	
CONSTRUCTION TYPE:	V-N	
OCCUPANT LOAD FACTOR:	100	
OCCUPANT LOAD:	18	
NUMBER OF EXIT REQUIRED:	1	
NUMBER OF EXIT PROVIDED:	5	
PROJECT DESCRIPTION:	BUILDING REMODELING	

APPLICABLE CODE
NO PLASTIC PLUMBING PIPE IS ALLOWED
SPRINKLER SYSTEM, DEFERRED SUBMITTAL
ALL PROPOSED WORK WILL BE PERFORMED UNDER 2010 EDITION CALIFORNIA BUILDING CODE(CBC), CALIFORNIA ELECTRIC CODE(CEC), CALIFORNIA MECHANICAL CODE(CMC), CALIFORNIA PLUMBING CODE(CPC), 2010 CALIFORNIA ENERGY EFFICIENCY STANDARDS, ALONG WITH ALL LOCAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.

VICINITY MAP

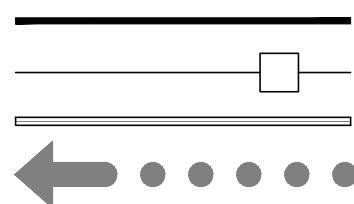


Site and Landscape Plan

Scale: 1/8" = 1'-0"



LEGEND



PROPERTY LINE
WOOD FENCE
RETAINING WALL
PATH OF TRAVEL FROM ACCESSIBLE
PARKING STALL TO BUILDING

PLANT MATERIAL LIST

SYMBOL	QUANT	BOTANICAL AND COMMON NAME	SIZE
SHRUBS			
S - 1	5	AZALEA (AZALEA SPP)	5 GALLON
S - 2	30	BOXWOOD (BUXUS GREEN BEAUTY)	5 GALLON
GROUND COVER			
G-1	AS REQ.	EVERGREEN CLEMATIS (CEANOTHUS CARMEL CREEPER)	1 GALLON

J C
ENGINEERING

225 ROCKAWAY BEACH AVE., No 400
PACIFICA, CA 94044
(650) 355 0615
FAX (650) 355 8965

CIVIL AND STRUCTURAL ENGINEERS

REMARKS:

BUILDING REMODELING
505 SKYLINE DR
DALY CITY CA 94015

Sheet:
Cover Sheet, Index
Vicinity Map, Site &
Landscape Plan

DATE	ISSUED FOR
11/27/06	PLAN CHECK
02/22/07	PLAN CHECK
07/12/13	PLANNING SET

Drawn by"
Checked by: JC

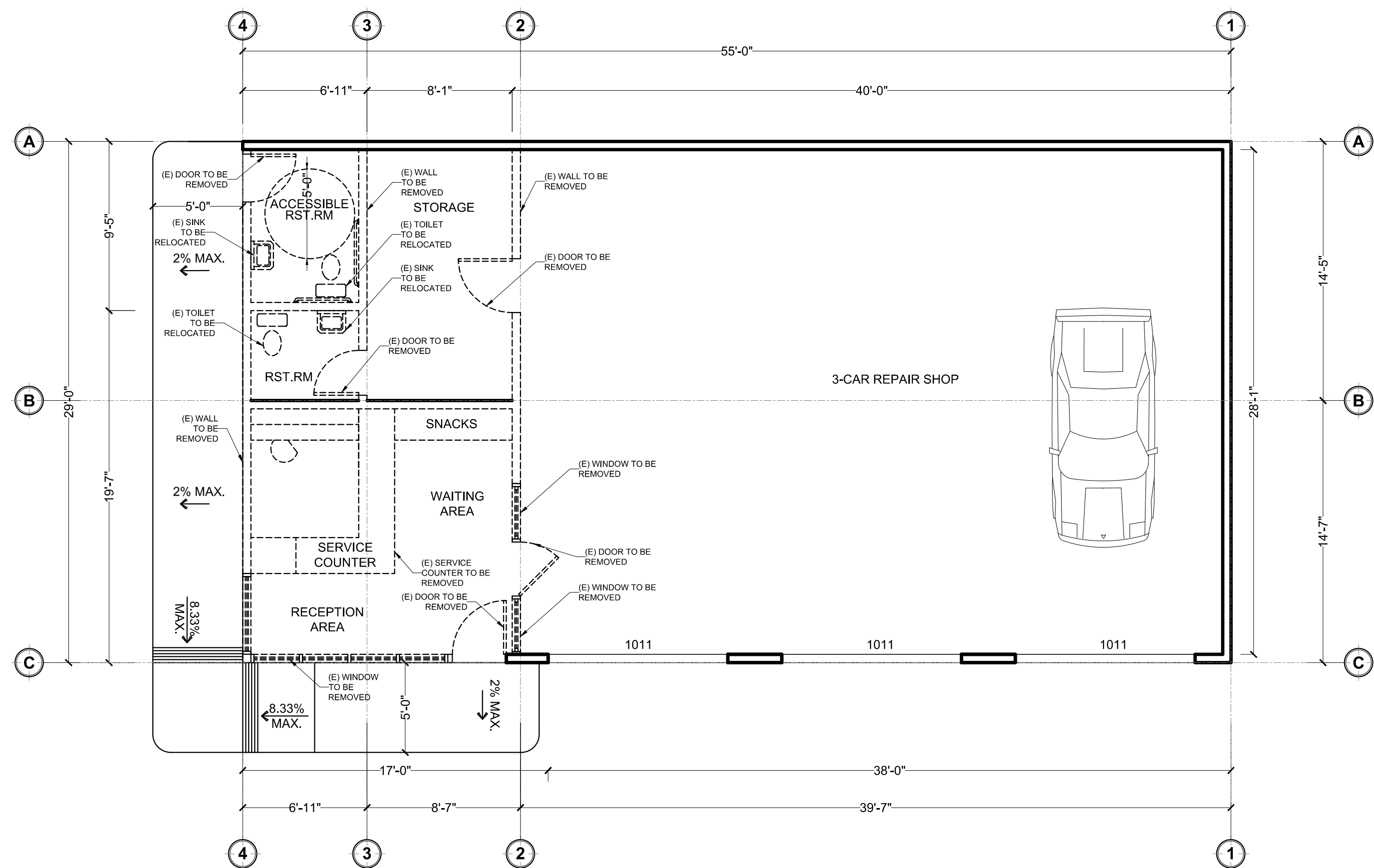
project no 2K60109	sheet no. A-0
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BUILDING REMODELING
505 SKYLINE DR
DALY CITY CA 94015

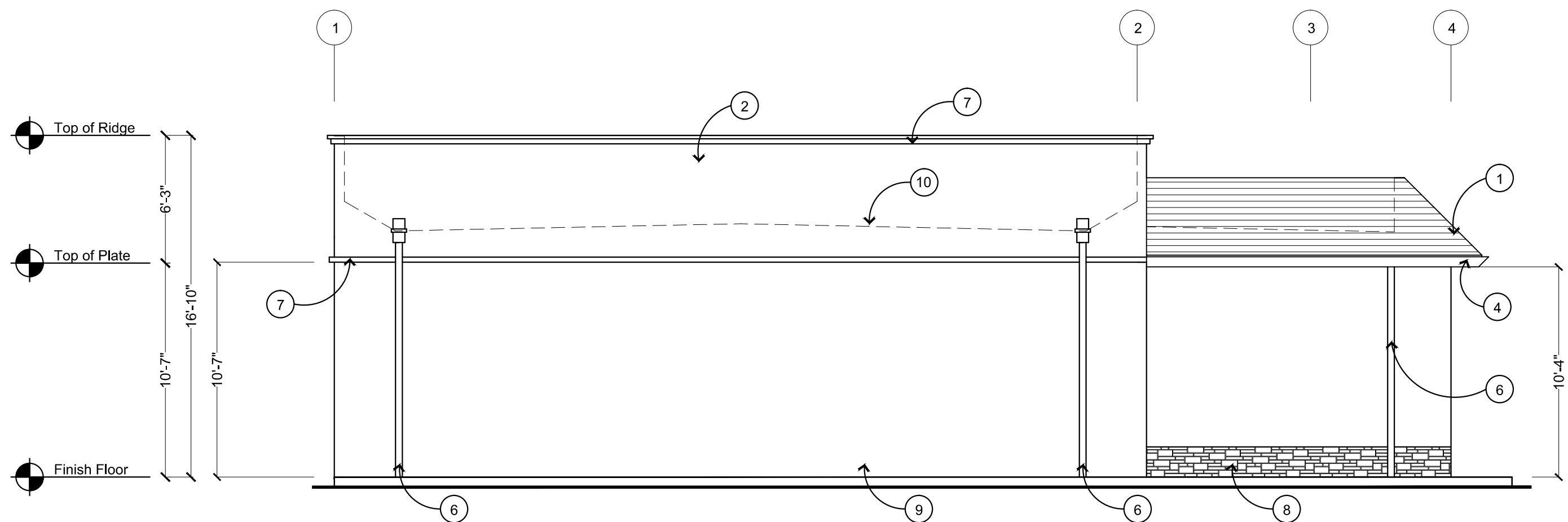
Previously approved
design

DATE	ISSUED FOR
11/27/06	PLAN CHECK
02/22/07	PLAN CHECK
07/12/13	PLANNING SET

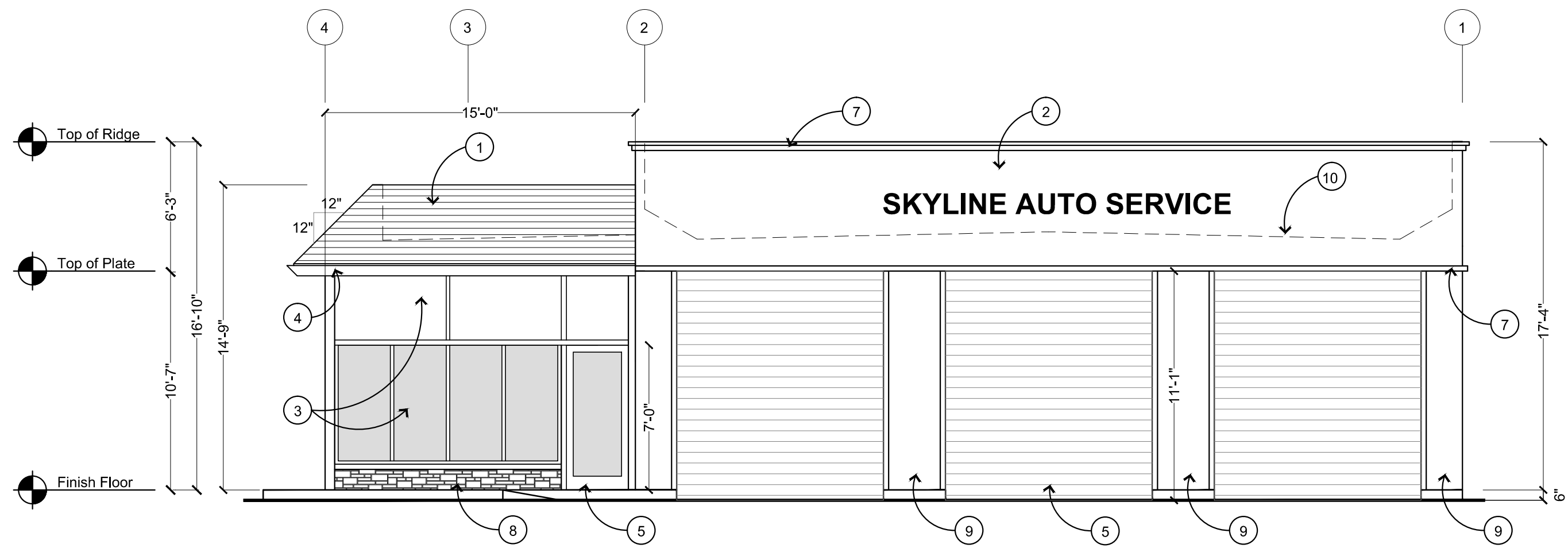
project no	sheet no
2K60109	A-1



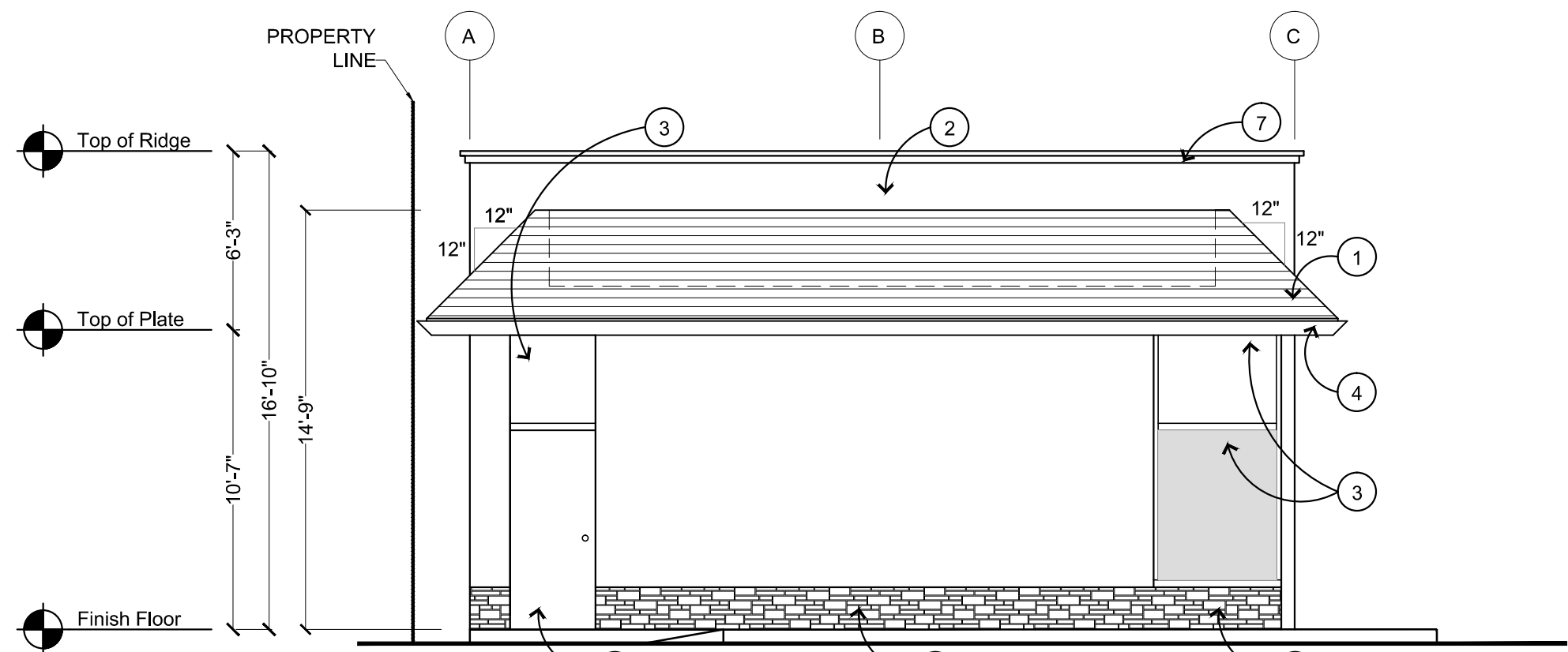
Previously Approved Design Floor Plan



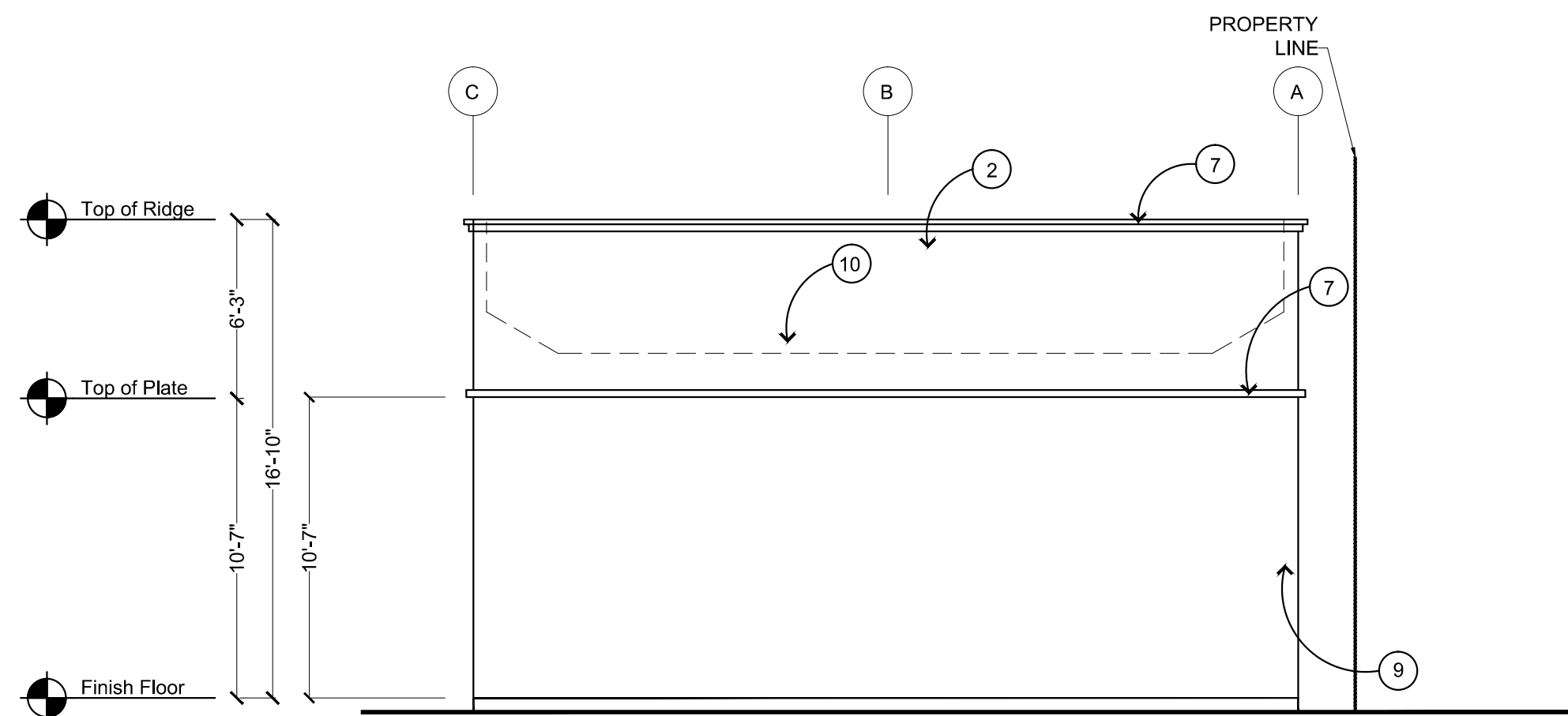
Previously Approved Design Rear elevation



Previously Approved Design Front Elevation



Previously Approved Design Left Elevation



Previously Approved Design Right Elevation

- ### LEGEND
- 1 SHINGLE ROOF
 - 2 PARAPET WALLS
 - 3 WINDOWS
 - 4 WOOD FASCIA AND GUTTERS
 - 5 ENTRY DOORS
 - 6 DRAINAGE PIPE
 - 7 TRIM AND MOULDING
 - 8 DECORATIVE ROCK VENEER
WAINSCOTING
 - 9 EXTERIOR STUCCO WALLS
 - 10 BITUMEN ROOF COATING

5 ROCKAWAY BEACH AVE., No 400
PACIFICA, CA 94044
(650) 355 0615
FAX (650) 355 8965

REMARKS:

Sheet:
Proposed Floor plan
Area Calculation

Drawn by"
Checked by: JC

project no	sheet no.
2K60109	A-2

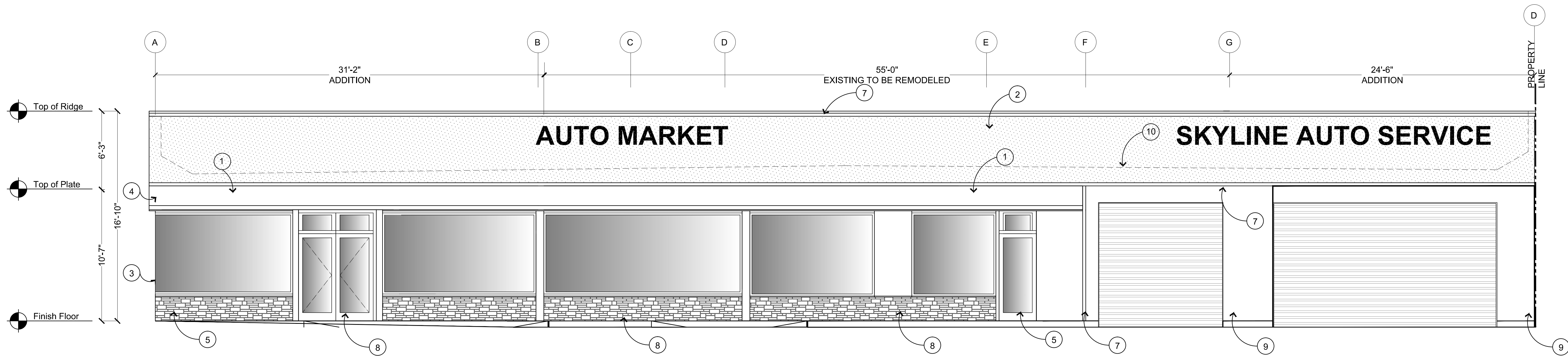


Scale: 1/4" = 1'-0"



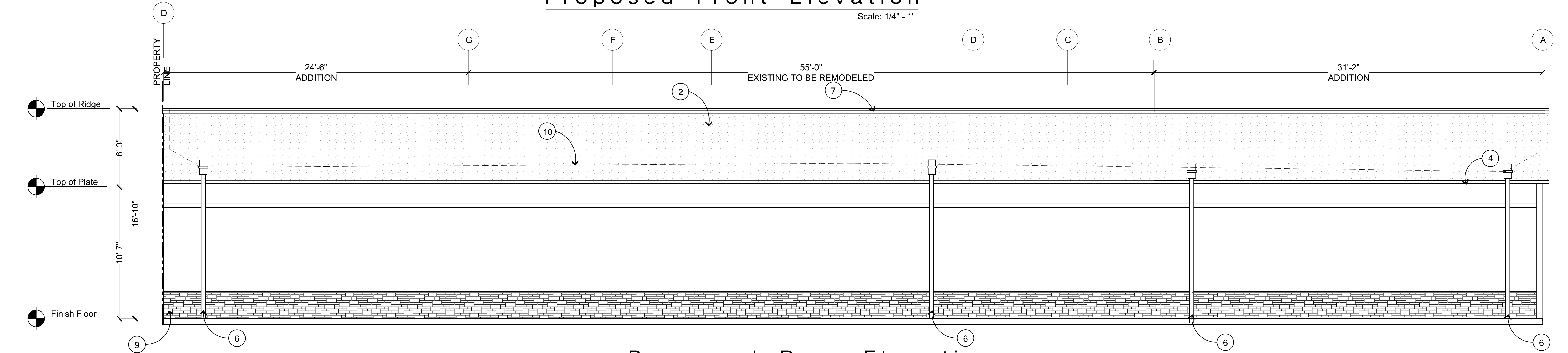
Scale: $3/16" = 1'-0"$

A.	891.04 SQ-FT	Market area	H. AUTO SERVICE	1044.89 SQ-FT
B.	222.86 SQ-FT	Rest Room		
C.	225.43 SQ-FT	(E) Office		
D.	595.57 SQ-FT	Market area		
E.	112.41 SQ-FT	Market area		
F.	47.09 SQ-FT	Rest Room		
G.	71.29 SQ-FT	Storage		
TOTAL	2165.69 SQ-FT			



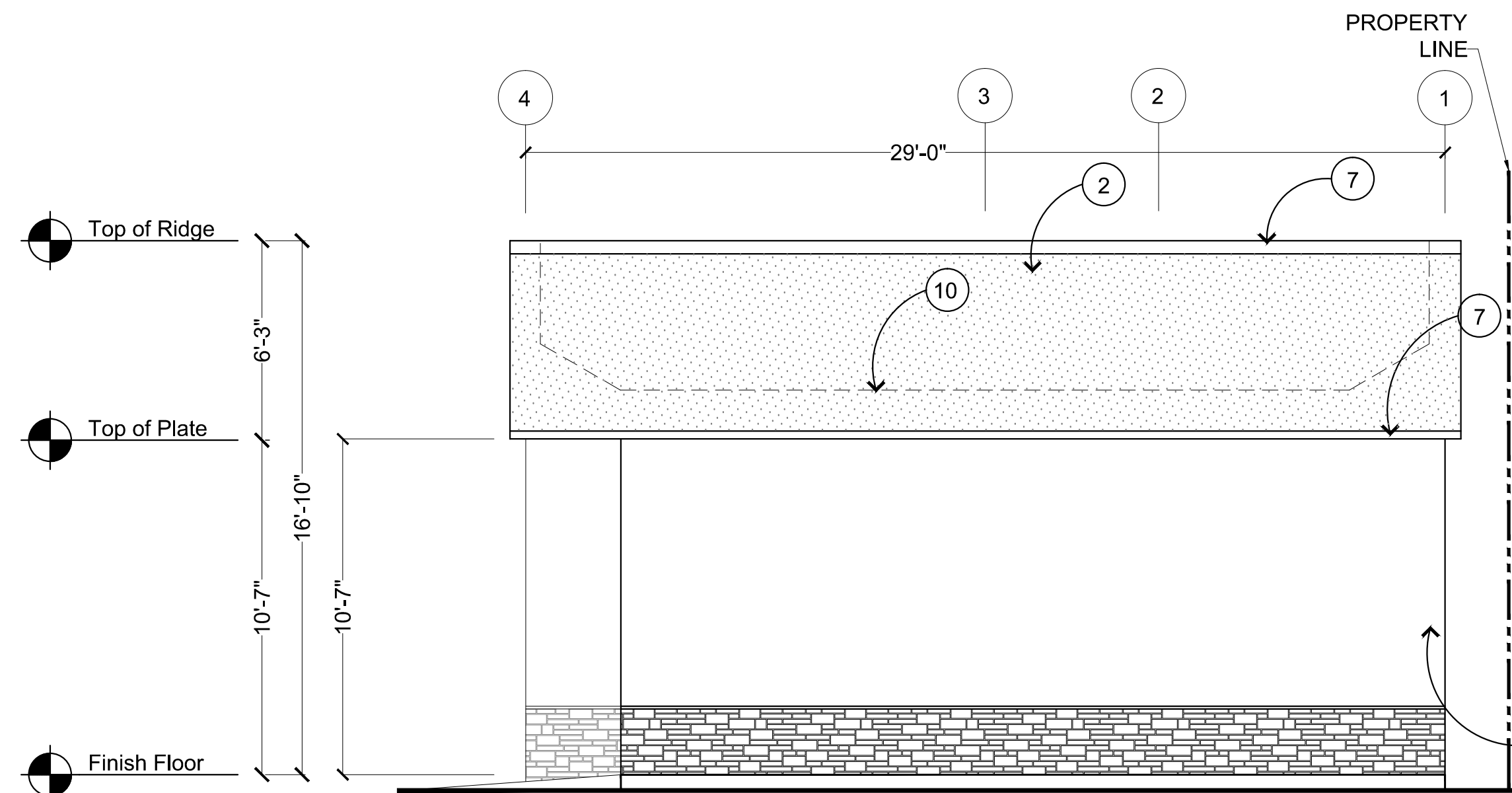
Proposed Front Elevation

Scale: 1/4" = 1'



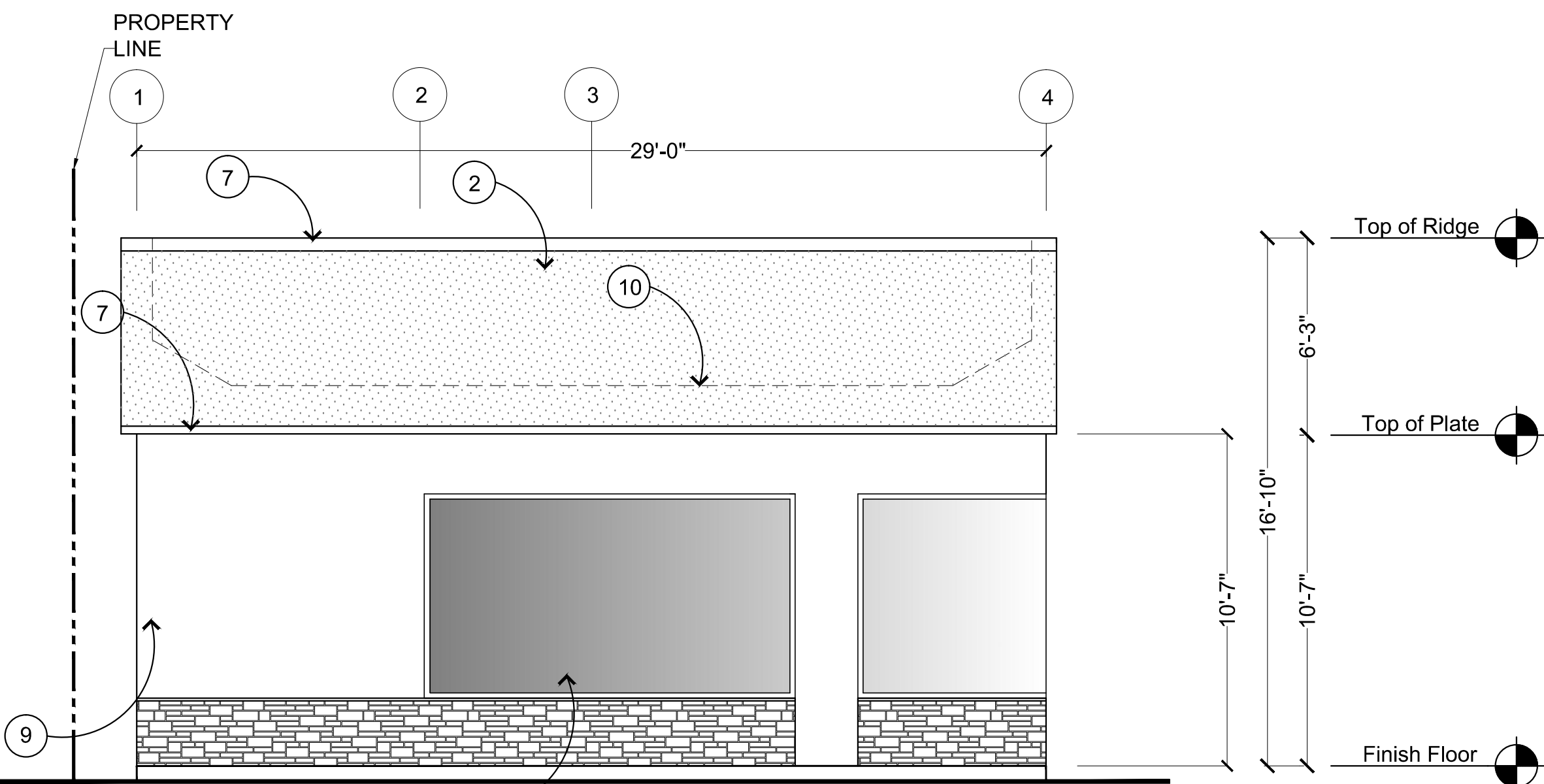
Proposed Rear Elevation

Scale: 1/4" = 1'



Proposed Right Elevation

Scale: 1/4" = 1'



Proposed Left Elevation

Scale: 1/4" = 1'

LEGEND

- 1 WOOD TRIM PAINTED
- 2 PARAPET WALLS (STUCCO)
- 3 WINDOWS
- 4 WOOD FASCIA
- 5 ENTRY DOORS
- 6 DRAINAGE PIPE
- 7 TRIM AND MOLDING
- 8 DECORATIVE ROCK VENEER WAINSCOTING
- 9 EXTERIOR STUCCO WALLS
- 10 BITUMEN ROOF COATING

J C
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BURNS CT.
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(650) 355 0615
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CIVIL AND STRUCTURAL ENGINEERS

REMARKS:

BUILDING REMODELING
505 SKYLINE DR
DALY CITY CA 94015

Sheet:

- (P) ELEVATIONS

DATE	ISSUED FOR
11/27/06	PLAN CHECK
02/22/07	PLAN CHECK
07/12/13	PLANNING SET

Drawn by:
Checked by: JC

project no
2K60109

sheet no.
A-3



OWNER'S STATEMENT
505 SKYLINE DR.
DALY CITY, CA

As new members of the business community surrounding 505 Skyline Boulevard in Daly City we believe it is appropriate to explain who we are and what we propose to do on the subject site. We realize that the property in question has been a nuisance to the community for some time and that many of our neighbors are understandably concerned about what will take place there in the future. We want to take this opportunity to clarify some of the unknowns and assure our neighbors and the surrounding community that we are there to contribute to and enhance the community in an effective and cooperative manner. We welcome the input of all those involved and are looking forward to working with everyone on a continual basis in order to make this endeavor a source of joy and pride for everyone.

We have developed, owned and operated service stations since 1990. We have branded operations with Chevron, ConocoPhillips and Valero as well as unbranded operations. Our sites have been located in San Francisco, Oakland, Redwood City and Colma. The range of operations at these sites consists of some combination of retail gasoline facilities, lube and repair bays and convenience stores.

We would now like to use the culmination of our experience in developing the former gas station located at 505 Skyline in Daly City into a state of the art Valero service station facility that will serve the needs of the local community as well as the motoring public on Highway 35. We intend to provide fueling facilities as well as a convenience store and lube and repair facilities for the convenience of the local community as well as travelers on Highway 35.

We propose to operate the fuel and convenience store facilities 24 hours a day seven days a week. We currently do not have any plans to sell alcoholic beverages; thus, eliminating the negative elements and consequences sometimes associated with late hour sales of these products. We have a zero tolerance policy regarding loitering and have extensive experience cooperating with law enforcement in order to eliminate all unwanted parties off the premises. We were one of the first businesses in Oakland to participate in a program in which the police department installs cameras on our premises in order to monitor the site 24 hours a day and have a visual record of any illicit behavior being performed on the property. This program has eliminated many of the chronic problems in that community and it has been deemed a great success by the surrounding communities.

Due to the lessons we have learned through that program we plan to implement a 24 hour recorded visual surveillance, both inside the convenience store and outside at all four corners of the property in order to minimize any illicit activity at the new facility at 505 Skyline Boulevard. This tactic along with keeping the facility open 24 hours a day not only provides security for the site and the surrounding community but also reduces after hours site vandalism and provides a valuable convenience for those that come home late

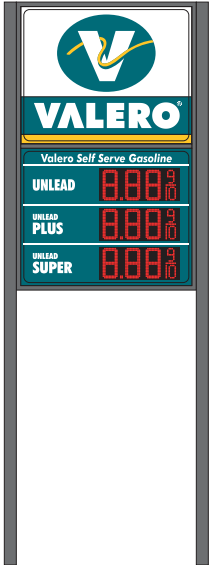
in the evening and/or leave early in the morning who may need to fuel up and/or purchase a convenience item in the store.

The repair and lube facilities will be open from 7 am to 6 pm Monday through Saturday and from 9 am to 4 pm on Sunday. These facilities are intended to provide state certified smog inspections, lube and oil services and minor maintenance and repair. These activities would mainly consist of smog inspections, oil changes, brake repair, tune ups and other light maintenance and repairs that would allow clients' vehicles to be returned to them the same day thus eliminating the necessity to store vehicles on the premises overnight. We would not be providing engine or transmission replacement/overhaul services as these services are not part of our business model. On the rare occasion that a vehicle under repair must be stored on the premises overnight these vehicles will be stored in the lube bays themselves thus securing the clients' vehicle as well as keeping them out of sight of the community.

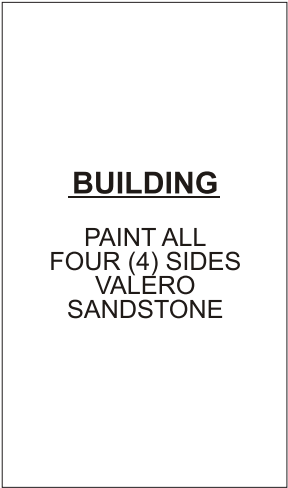
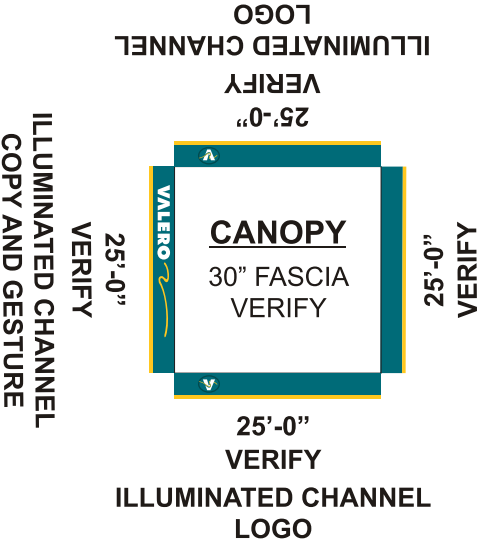
All of our lighting will be compliant with all the latest Title 24 requirements including the BUG (back glare and up glare) requirements which seek to minimize the impact of lighting on the surrounding community. Our perimeter lighting will consist exclusively of Forward Throw Optics which directs the light into the facility greatly minimizing any light dispersion beyond the facility itself. All the lights will be high efficiency LED lighting which has a softer and less fragmented light footprint once again minimizing the light impact on our neighbors.

We are excited about working with the community to create a new facility that will serve their needs as well as aesthetically enhance the property at 505 Skyline Boulevard and its surroundings.

WESTMOOR AVE.



NEW 8' X 5'
D/F PRICE/ID
TWIN POLE SIGN



NEW 13' X 13'
D/F HI-RISE SIGN



SKYLINE DR.

SKYLINE BLVD.

PROPRIETARY INFORMATION. The information disclosed in this document, including all drawings, designs and related materials, is the valuable and proprietary information of Sign Development Inc. It is provided solely for the purpose of evaluation for purchase and, without the express written authorization of Sign Development Inc., may not be disclosed or duplicated, in whole or in part, for any reason. Sign Development Inc. expressly reserves all patent, copyright and other proprietary rights to this document, including all design, manufacturing, reproduction, use, and sales rights thereto. © 2011 SIGN DEVELOPMENT INC.

CUSTOMER APPROVAL

SIGN AND PRINT FULL NAME

DATE

NO.
DATE: 07.03.13BA
REV:

PAGE: 1 OF 1



Sign Development Inc.

Upland, CA 91786 (909) 920-5535

VALERO

505 SKYLINE DR.
DALY CITY, CA



Daly City Planning Commission Agenda Report

333 - 90th Street ♦ Daly City ♦ California ♦ 94015 ♦ 650-991-8033

Meeting Date: October 8, 2013

Application: Use Permit UPR-8-13-7695 and Design Review DR-9-13-7801

Project Planner: Michael Van Lonkhuysen, Senior Planner

Project Location: 888 E. Market Street (APN 006-433-999)

Project Description: Use permit and design review to allow the construction of a new monopine wireless facility

Applicant: Jason Osborne (representing AT&T Mobility)
3 Rovina Lane
Petaluma, California 94952

Property Owner: Pacific Gas and Electric Company
245 Market Street
San Francisco, California 94105

Environmental Assessment: Categorically Exempt per CEQA Guidelines Section 15303:
New Construction

Applicable Daly City
Municipal Code Sections: Chapter 17.44 (Use Permits)
Chapter 17.39 (Wireless Telecommunication Facilities)

Site Information

Property Size	Existing Use	Proposed Use	General Plan Designation	Current Zoning
3.67 acres	Electric utility transformer station	Wireless Facility (on 820 square foot portion)	Public Utility (U)	R-1 Single-Family Residential District

Area Information

Land Use	Zoning
North: Transformer station and nursing home	M Industrial District and R-3 Multiple-Family Residential District
South: Thomas R. Pollicita Middle School	U Unzoned
West: Residential	R-1 Single-Family Residential District
East: Residential	R-1 Single-Family Residential District

Background

The applicant, Jason Osborne on behalf of AT&T Mobility, is requesting approval to install a monopine wireless facility (a wireless transmittal facility designed to look like an individual pine tree) at the Pacific Gas and Electric (PG and E) transformer station located northeast of the East Market Street/Orange Street intersection (see Attachment A – Location Map). The monopine would be 12 feet wide in diameter and 76 feet tall at its highest point. Antennas on the monopine would be installed in two clusters, the first at approximately 57 feet above ground and the second at approximately 67 feet above ground. The lower location would provide a total of six antennas and six remote radio units. The upper would provide six antennas and nine remote radio units. None of the antennas would be installed above 71 feet, where only faux tree foliage would be visible (see Attachment B – Project Plans).

If approved, the monopine facility would be the second wireless facility at the PG and E transformer station. In 2004, the City Council approved a Metro PCS facility on a 50-foot-tall wood pole that incorporated a three-panel antenna. Like the MetroPCS facility, the proposed AT&T Mobility monopine requires a use permit because it is located in the R-1 Single-Family Residential District. Due to the limited 50-foot height of the MetroPCS facility, co-location on that facility was not a feasible option. The MetroPCS facility is approximately 75 feet from the proposed location of the AT&T Mobility monopine.

Discussion

Although the subject site is located in the R-1 zone, it is occupied by a PG and E transformer station, with the nearest residential uses located across East Market Street to the west. Sites like transformer stations, because they are publicly-owned and industrial in nature, are specifically identified by the Zoning Ordinance as preferable locations for wireless facilities.

To avoid an overconcentration of sites with antenna facilities, the Zoning Ordinance stipulates that, unless visually mitigated, no site may provide more than three support structures for antenna facilities, nor may any monopole be allowed within 1,000 feet of another monopole. The site is presently occupied by only one monopole and, with the addition of the proposed facility, would remain in compliance with the numerical limit on antenna support structures.

In response to the need to provide visual mitigation that addresses the 1,000-foot separation requirement, the applicant has proposed a “slim line” monopine for the wireless facility. As such, the facility would incorporate a stealth design in the form of a narrow pine tree that is 76 feet tall and 12 feet in diameter. The smaller diameter of the facility is intended to reduce the facility’s visual impacts to the general public and adjacent neighborhoods. The applicant has submitted visual photo simulations to demonstrate the aesthetic impact of the proposed monopine on the surrounding areas, including the residential neighborhood directly to the west of the site (see Attachment C – Photo Simulations).

As identified in the photo simulations, the monopine facility, although visible, would blend in well to the stand of trees that exists immediately northeast of the East Market Street and Orange Street intersection. However, in the photo simulation that identifies the view to the facility from East Market Street looking south at the site, the facility would be less screened by existing tree foliage. This is largely due to the fact that the transformer station exists on the northerly portion of the site, precluding the ability for trees to be planted and grow.

In general, staff feels that the proposed design of the monopine would provide adequate visual mitigation from most locations. In reviewing the application however, staff expressed concern about the height of the facility. At 76 feet tall, the proposed monopine would be significantly taller than the adjacent

telephone poles and trees that immediately surround it. As a point of reference, where the monopine would be located at the southwest corner of the transformer station site, the tallest adjacent telephone pole is 40 feet in height and adjacent trees range in height between 35 and 40 feet tall. The existing MetroPCS pole which can be seen very clearly from East Market Street is 50 feet tall.

In response to staff's concern, the applicant has prepared a figure to illustrate the need for additional height in the context of existing adjacent tree height and area topography, using the existing MetroPCS pole facility as an example (see Attachment D – Height Justification). As shown in the figure, the existing MetroPCS pole is at the minimum height necessary for its signals to clear the height of adjacent trees and residential rooftops to the west. Like the MetroPCS pole, the proposed AT&T Mobility monopine would be located downhill from a significant number of signal recipients, thereby also necessitating greater height.

Although the height of the proposed monopine would be most visually prominent from the adjacent residences to the west, tree clusters along the west side of the East Market Street right-of-way provide an immediate, partial screen of the facility for many of these residences. A tree cluster northeast of the East Market Street and Orange Street intersection would also provide effective screening of the monopine base from the west.

Staff is therefore recommending approval of the monopine at the proposed height, subject to the applicant installing additional tree plantings near the base of the monopine, both at the south and west end of the lease area. The planting will, over time, provide additional visual screening and tapering at the monopine base. The specific tree requirements, including the requirement that the tree be included in the lease wireless facility area, are identified in the Conditions of Approval. Also included in the Conditions of Approval are requirements for retaining these screen trees once planted and the requirement for City approval to prune or remove any trees in the future.

Design Review

Aside from the monopine itself, the new facility would occupy a 820 square foot lease area (20' x 41') at the southwest corner of the transformer station. The lease area is proposed to be enclosed by a six-foot wooden fence. Access to the lease area would be provided by in a six-foot-wide access road from East Market Street. Equipment serving the facility would be located within a prefabricated equipment shelter which would incorporate an exposed aggregate exterior that is brown in color. The equipment enclosure and shelter would be most visible from Orange Street and less so from East Market Street.

Although satisfied with the overall design quality of the equipment enclosure layout and shelter design, staff is recommending adoption of Conditions of Approval requiring that the wood fence proposed to surround the enclosure area instead be modified to reflect a solid masonry wall with powder-coated metal doors, both painted to match the brown color of the equipment shelter. Also, to ensure the longevity of existing screen trees given the trenching that will be necessary for underground utility work and access road construction, staff is recommending adoption of a Condition of Approval which requires that the Planning Division inspect the site prior to any excavation to identify any areas which need to be hand-trenched so as to avoid root disturbance.

Electromagnetic Frequency Radiation

Pursuant to the Zoning Ordinance, wireless communications may not generate electromagnetic frequency (EMF) radiation that exceeds the standards for permissible human exposure established by the Federal Communications Commission (FCC). The applicant has prepared an EMF exposure study in compliance with City requirements which has concluded that EMF radiation exposure that would be caused by the

proposed facility, in conjunction with EMF radiation already present at the site (originated by the existing MetroPCS facility), would be below the public exposure limit.

The study recommends additional signage at the site to make persons servicing the facility aware of potential risks prior to entering the monopine equipment enclosure. Specific sign requirements are identified in the EMF exposure study and, upon installation, would bring the site into compliance with FCC rules and regulations. Staff is therefore recommending the addition of these signs as a Condition of Approval.

Findings

Staff finds that, as conditioned, the proposed Use Permit UPR-8-13-7695 and Design Review DR-9-13-7801 are in compliance with Title 17 (Zoning) of the Daly City Municipal Code. Approval of the use permit and design review would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. These findings are based on the following facts:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the Planning Commission conducted a public hearing on October 1, 2013. Legal public notice of said hearing was provided by newspaper publication on Saturday, September 20, 2013, posting and via first class mailing to property owners within 300 feet of the site.
2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorically Exempt per Section 15303: New Construction.
3. The proposed project is consistent with Zoning Ordinance Chapter 17.44 (Use Permits) and Chapter 17.39 (Wireless Telecommunication Facilities).
4. The facility is non-residential in nature and does not affect existing recreation facilities or create the need for new facilities. The location of the wireless facility, as demonstrated in a visual analysis does not affect existing public access or scenic or visual resources due to its proximity to trees and the surrounding topography.
6. As demonstrated by a visual analysis prepared for the project, the placement of the wireless facility will cause minimal interference with views of streetscape, natural vegetation, and scenery. Tree clusters along the west side of the East Market Street right-of-way would provide an immediate screen of the facility for many residences that exist west of the facility site. A tree cluster northeast of the East Market Street and Orange Street intersection would also partially screen the monopine from the west.
7. To ensure continued screening, the City has required the planting of additional trees along the southern and western boundaries of the equipment lease area, and has required that the facility lease area be revised to include the areas containing these screen trees to ensure screening in perpetuity.
8. Wireless communications facilities operating alone and in conjunction with other telecommunications facilities shall not generate electromagnetic frequency (EMF) radiation in excess of the standards for permissible human exposure to EMF as adopted by the Federal

Communications Commission (FCC). The applicant has prepared an EMF exposure study in compliance with City requirements which has concluded that EMF radiation exposure that would be caused by the proposed facility, in conjunction with EMF radiation already present at the site (originated by the existing MetroPCS facility), would be below the public exposure limit.

Conditions of Approval

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. Within thirty (30) days of Council approval, the applicant shall file with the City Clerk a Declaration of Acceptance of all conditions. Until said declaration is filed, the project shall not be granted for any permits sought from the City.
2. If building permits are not issued and construction diligently pursued within one year of approval of the use permit approval, the use permit shall become invalid.
3. The applicant shall submit signage material details for review and approval by the Planning Division.
4. Use Permit UPR-8-13-7695 and Design Review DR-9-13-7801 shall be valid for a period of one year from the date of City Council approval. The approval shall terminate if a building permit has not been obtained and construction commenced within one-year of City Council approval of the project.

Facility Screening

5. Plans submitted for building permit shall reflect the addition of new tree plantings along the southern and western perimeter of the proposed equipment area, together with a staking detail for these trees and temporary plan for establishment irrigation. The new trees shall be spaced at eight-feet on center, sized at 24-inch box specimen, and be of a variety that will not negatively impact overhead power lines on the site (vertical growth). Installation of trees and associated establishment shall occur prior to final building permit inspection, and the applicant shall provide the City with evidence of an expanding lease area which includes the area planted with trees. The lease area shall, at a minimum extend 10 feet from the existing lease area southern and western boundaries.
6. Any trees planted as a requirement of Use Permit UPR-8-13-7695 shall be retained in perpetuity. Should a tree require removal for public safety purposes or require significant pruning so as to maintain clearance from adjacent power lines, the applicant shall submit an arborist report to the City not less than 30 days prior to the planned removal or pruning. The arborist report shall identify the reasons for the proposed removal or pruning, the extent of pruning, and provide pruning recommendations to ensure the longevity of the tree proposed for pruning. The City shall, at its own discretion, either allow or disallow the proposed removal or pruning, and shall retain the ability to place conditions on the removal or pruning. Should a tree be approved for removal, the tree stump shall be ground and a box-specimen tree planted in its place. Establishment irrigation shall be provided to any replaced trees.

Design Review

7. The equipment enclosure shall be modified to reflect a solid masonry wall with powder-coated metal doors. Upon completion, the wall and metal doors shall be painted dark brown to reflect the color of the equipment shelter.
8. Any trenching that may be necessary between the equipment enclosure adjacent streets shall be completed in manner than minimizes the impact to the root systems of existing trees at the site. The applicant shall, prior to commencement of trenching operations, stake the areas proposed for trenching and contact the Planning Division for inspection. The Planning Division shall reserve the right to identify areas during the inspection which shall be subject to hand-trenching.
9. The proposed access road shall be a design and material acceptable to the Planning and Engineering Divisions. The road shall either drain to adjacent ground or to a catch basin installed at the applicant's expense. In no event shall drainage occur over the City sidewalk adjacent to East Market Street.

Co-Location

10. Prior to facility operation, the applicant shall provide a written commitment to the City stating that AT&T Mobility will allow other wireless carriers to co-locate antennas on the facility herein approved unless technical and economic reasons exist to justify otherwise, as determined by the City. The letter shall commit and extend this requirement to any future assignees of the subject facility and state that it shall be AT&T Mobility's responsibility to inform and notify future assignees of this commitment. The applicant shall be aware and shall also make future assignees aware that Use Permit approval will be required if co-location results in potential changes to the structure/s.

Cessation of Operations

11. The applicant shall provide written notification to the Director of Economic and Community Development upon cessation of operations on the site exceeding a 90-day period. Subject to the determination of the Director of Economic and Community Development, the applicant shall remove all obsolete or unused facilities from the site within 180 days of termination of its lease with the property owner or cessation of operations.
12. A new Use Permit shall be required if the site is to be used again for the same purpose as permitted under the original Use Permit, if a consecutive period of 180 days has lapsed since cessation of operations.

Equipment

13. All ground equipment (including, equipment, fencing, and fence slats) shall be painted to match the existing structures at the site and the Monopine structure shall be natural colors of greens and browns to closely imitate the surrounding vegetation and trees.
14. All exterior mechanical and electrical equipment cabinets shall be the minimum size feasible, and the minimum number required for the operation of the telecommunications facility.
15. No exposed cabling shall be utilized as part of this, or any subsequent cellular antenna installation.

16. The applicant shall be responsible for maintaining all telecommunication facilities in a graffiti-free condition. A maintenance program is required and the schedule shall be provided to the Planning Division prior to building permit issuance.
17. No storage of construction material or maintenance equipment shall be permitted to block public or private streets, driveways, and emergency vehicle access or sidewalk areas.
18. The applicant shall provide signage as required in the EMF report prepared for the project, such as safety notices and including phone numbers of the utility provider for use in case of emergency. The signs shall be visibly posted at the communications equipment/structure.
19. The use of lighting shall not be allowed on telecommunication facilities unless required as a public safety measure.

EMF Radiation

20. The applicant shall continually maintain the operation of the approved facility in compliance with all Federal Communications Commission (FCC) rules and regulations.
21. Annual EMF (RF) reports that demonstrate the facility continues to meet FCC requirements shall be submitted to the Planning Division on or before the anniversary date of the administrative use permit or use permit. Failure to submit the report may result in revocation of the use permit. The report shall be by a licensed professional third party

Structural Communications

22. The applicant shall provide three sets of plans and calculations justifying the proposed design, detailing the installation of the new equipment cabinet, the connection to the existing structure, how the structure will carry the loads imposed by the project accounting for gravity and lateral forces and any modifications to any existing structures on site. Plans and calculations shall be prepared by a California registered civil or structural engineer and submitted with an application for a building permit.

Time Limit

23. This use permit shall be valid for a period of ten years from the date of approval and shall expire unless renewed prior to expiration. A new application and fee shall be required for renewal of the use permit.

Noise

24. Complaints of noise generated from the equipment area shall be addressed by the Planning Division. If complaints persist in reference to the noise generation from the equipment area, the use permit will be subject to review by the City, including possible revocation of the permit.

B. POLICE DEPARTMENT

25. In the event of a disaster or emergency, the installations shall not interfere with any City emergency service telecommunications facilities transmission.

26. AT&T Mobility shall agree to adjust, correct or remove the antennas to the satisfaction of the City of Daly City should the transmission from the antennas interfere with Daly City emergency transmission or communications.

C. FIRE DEPARTMENT

27. Plans shall be submitted to the Fire Department for review and approval by the Fire Department prior to building permit issuance. This can be conducted as part of the building permit plan check. Daly City Fire Department standards shall be met including, but not limited to, all secondary containment, battery quantity types and sizes, placards, fire apparatus, equipment cabinet and storage racks etc. Any required fire protection system plans shall be submitted to the Fire Department for review and approval prior to installation. Fire Department personnel may be contacted at (650) 991-8150.

D. DEPARTMENT OF WATER & WASTE WATER RESOURCES

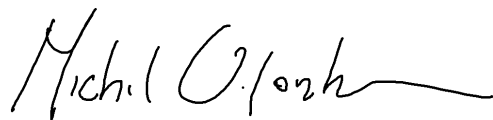
28. Plans shall be submitted to the Department of Water and Wastewater Resources for review and approval prior to building permit issuance. This can be conducted as part of the building permit plan check. All utility telecomm trenches shall meet applicable requirements and standards including but not limited to private fires system clearances, trenching and trench crossings.
29. The proposal must not interfere with Department of Water Waste Water Resources SCADA systems in any way, and if found to interfere then AT&T shall agree to adjust, correct or remove antennas to the satisfaction of the City of Daly City.

Recommendations

Staff recommends that the Planning Commission forward to the City Council the following actions:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve Use Permit UPR-8-13-7695 and Design Review DR-9-13-7801, subject to the Findings and Conditions outlined herein.

Respectfully submitted,



Michael VanLonkhuysen
Senior Planner



Brian Millar
Director of Economic and Community
Development

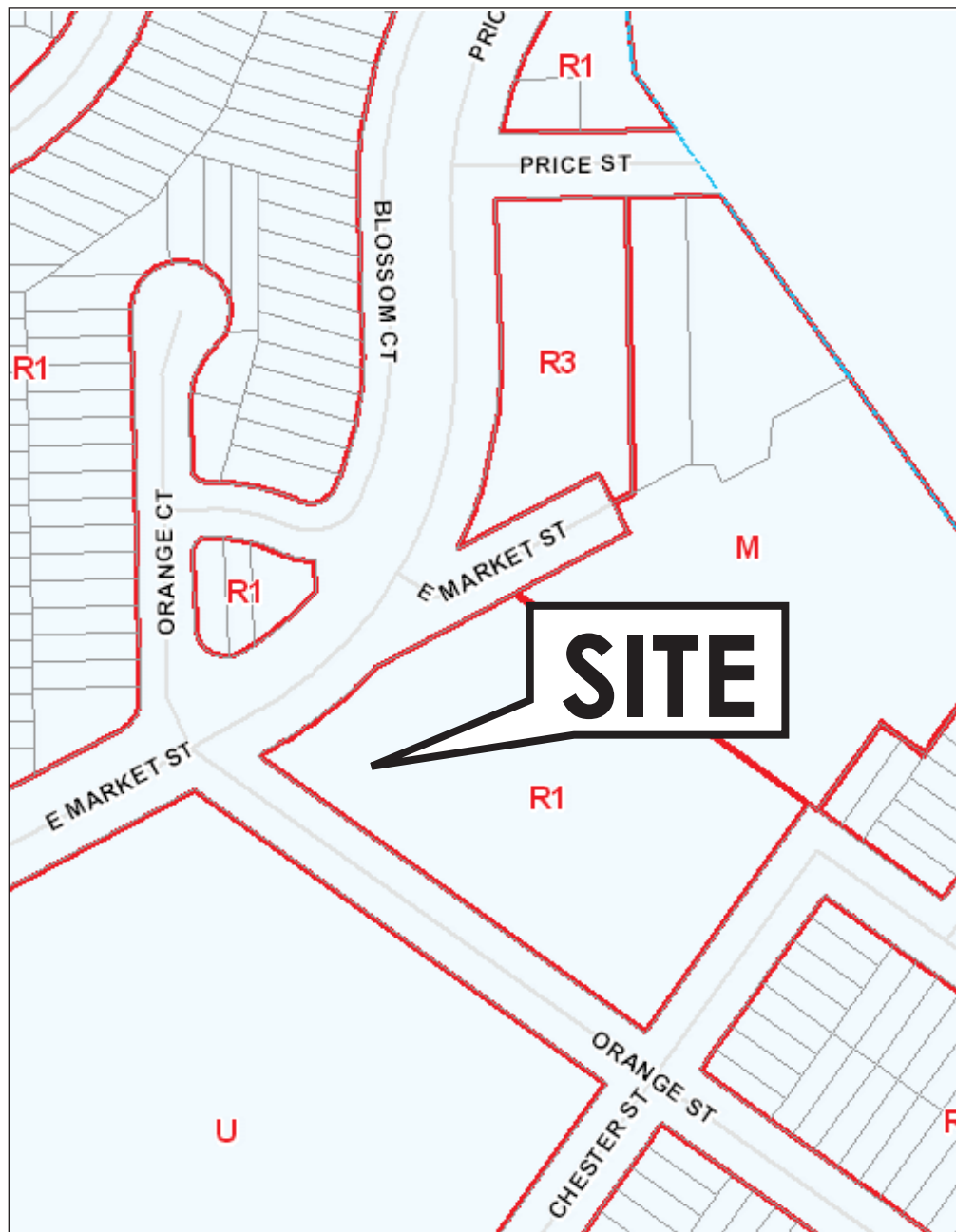
Attachments

Attachment A – Location Map
Attachment B – Project Plans
Attachment C – Photo Simulations
Attachment D – Height Justification

LOCATION MAP



Use Permit UPR-8-13-7695 and
Design Review DR-9-13-7801
888 E. Market Street (APN 006-433-999)
Construction of a new “monopine” wireless facility
Planning Commission Review



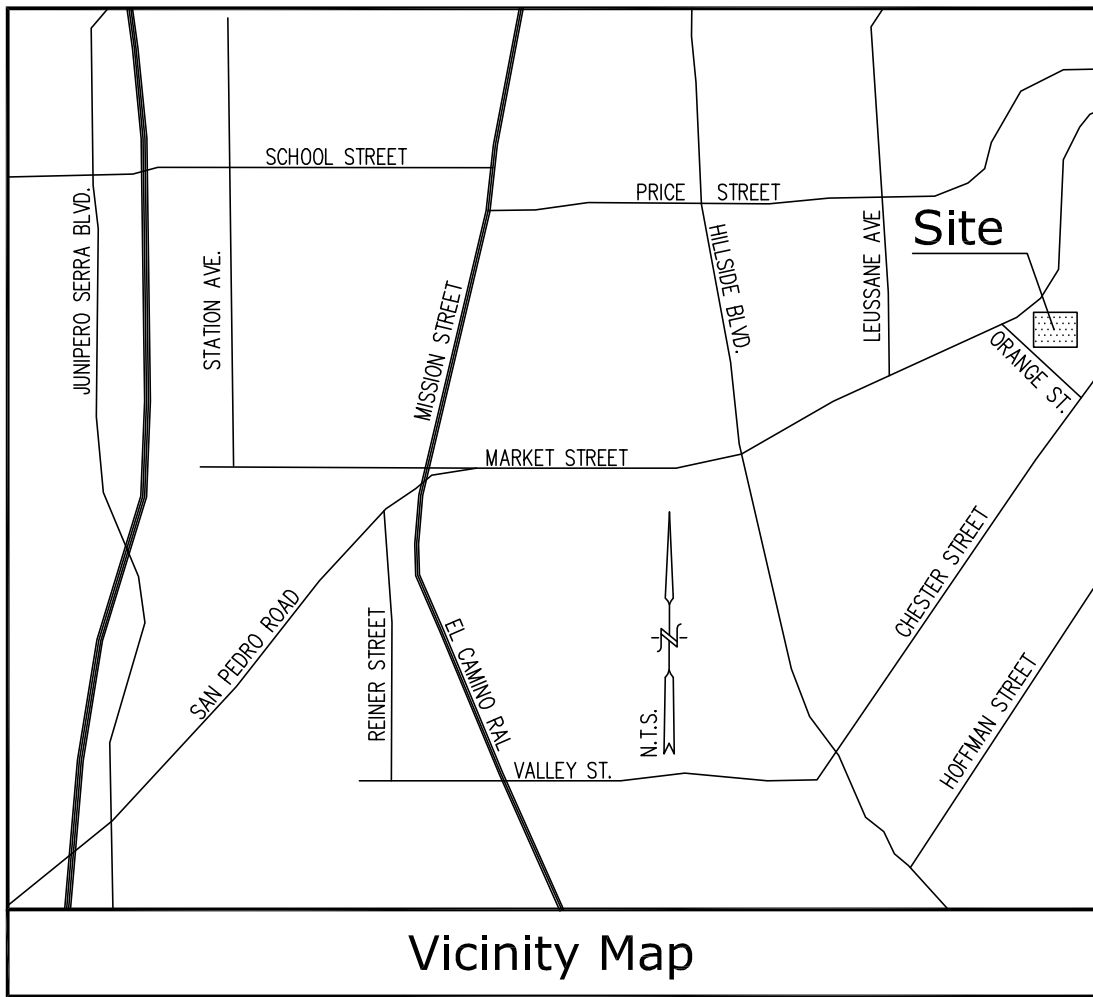


AT&T MOBILITY
SITE NUMBER: CCU5215
SITE NAME: DALY CITY SUB
928 EAST MARKET STREET
DALY CITY, CA 94014

PG&E SITE INFORMATION/REFERENCE :
SITE NO. : ATT-CCU5215
SITE NAME : DALY CITY SUB
SBE :135-41-25 (SAN MATEO COUNTY)
SITTERA PROJECT: 2011-12 NEW SITE (6496)

CODE COMPLIANCE
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL CODES.
2010 CALIFORNIA BUILDING CODE ('10 CBC) 2010 CALIFORNIA PLUMBING CODE ('10 CPC) 2010 CALIFORNIA ELECTRICAL CODE ('10 CEC) 2010 CALIFORNIA FIRE CODE ('10 CFC)

DRAWING INDEX		REV.	DIRECTIONS	PROJECT INFORMATION																																					
25736-635-AA-CCU5215-T01 25736-635-AA-CCU5215-C01 25736-635-AA-CCU5215-A01 25736-635-AA-CCU5215-A02 25736-635-AA-CCU5215-A03 25736-635-AA-CCU5215-A04 25736-635-AA-CCU5215-A05 25736-635-AA-CCU5215-S01	TITLE SHEET SITE SURVEY OVERALL SITE PLAN ANTENNA LAYOUT EQUIPMENT LAYOUT & KEYNOTES NORTHEAST & NORTHWEST ELEVATIONS SOUTHEAST & SOUTHWEST ELEVATIONS ANTENNA & COAX CABLE SCHEDULE RRU,GPS, ANTENNA & SURGE PROTECTION	0 0 7 0 0 0 0 0	AT 4430 ROSEWOOD DR, PLEASANTON GOING TOWARD ROSEWOOD DR. TURN RIGHT (NORTH–WEST) ONTO OWENS DR. TURN RIGHT (NORTH–EAST) ONTO HACIENDA DR. TAKE RAMP (RIGHT) ONTO I–580 [ARTHUR H BREED FWY]. TAKE RAMP (LEFT) ONTO I–80 ROAD NAME CHANGES TO US–101 KEEP RIGHT ONTO RAMP. TAKE RAMP (LEFT) ONTO I–280 [JOHN F FORAN FWY]. TAKE RAMP (RIGHT) ONTO SAN JOSE AVE. KEEP LEFT TO STAY ON SAN JOSE AVE. KEEP STRAIGHT ONTO SR–82 [SAN JOSE AVE]. TURN LEFT (NORTH–EAST) ONTO LOCAL ROAD(S) BEAR RIGHT (EAST) ONTO E MARKET ST. TURN RIGHT (SOUTH–EAST) ONTO ORANGE ST. ARRIVE 928 E MARKET ST, DALY CITY, CA 94014	THIS IS AN APPLICATION FOR A NEW, UNMANNED AT&T MOBILITY SERVICES FACILITY, SECURED WITHIN A 6’–0” HIGH WOODEN FENCE ENCLOSURE, CONSISTING OF A STATE APPROVED PRE–FABRICATED EQUIPMENT SHELTER, NINE (12) PANEL ANTENNAS MOUNTED ON PROPOSED 76’–0” HIGH MONOPINE, AND ASSOCIATED ANTENNA AND UTILITIES (ELECTRICAL AND TELEPHONE) CABLES.																																					
	VICINITY MAP			SITE ADDRESS: 928 EAST MARKET STREET DALY CITY, CA 94014 PROPERTY OWNER: PG&E 245 MARKET STREET SAN FRANCISCO, CA 94105 CONTACT PERSON: DAVID DUNCAN PHONE: (415) 971–0994 AT&T WIRELESS SERVICES APPLICANT: AT&T MOBILITY C/O TRILLIUM CONSULTING CONTACT PERSON: JAKE WOOTEN PHONE: (714) 717–6113 LATITUDE (NAD 83): 37° 41’ 29.83” N LONGITUDE (NAD 83): 122° 27’ 23.76” W ELEVATION (NAD 88): 216.8’ AMSL JURISDICTION: DALY CITY A.P.N. NUMBER: 006–433–020 PROPOSED USE: TELECOMMUNICATIONS FACILITY ELECTRICAL COMPANY: PACIFIC GAS & ELECTRIC CONTACT: – PHONE: – TELCO COMPANY: AT&T CONTACT: – PHONE: –																																					
	DISABLED ACCESS REQUIREMENTS			SITE QUALIFICATION PARTICIPANTS																																					
THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE TITLE 24 PART 2, SECTION 11348.2.1 EXCEPTION 4			<table><thead><tr><th></th><th>NAME</th><th>COMPANY</th><th>NUMBER</th></tr></thead><tbody><tr><td>A/E</td><td>ALBERT TENG</td><td>DELTA GROUPS ENGINEERING, INC.</td><td>(925) 468–0115</td></tr><tr><td>SAC</td><td>JAKE WOOTEN</td><td>TRILLIUM CONSULTING</td><td>(714) 717–6113</td></tr><tr><td>RF</td><td>STEVENLY</td><td>AT&T MOBILITY</td><td>(415) 889–7487</td></tr><tr><td>ZONING</td><td>VALERIE TALLERICO</td><td>TRILLIUM CONSULTING</td><td>(714) 414–5618</td></tr><tr><td>LANDLORD</td><td>DAVID DUNCAN</td><td>PG&E</td><td>(415) 971–0994</td></tr><tr><td>CONSTRUCTION</td><td>C. E. RASK</td><td>BECHTEL</td><td>(925) 207–9814</td></tr></tbody></table>					NAME	COMPANY	NUMBER	A/E	ALBERT TENG	DELTA GROUPS ENGINEERING, INC.	(925) 468–0115	SAC	JAKE WOOTEN	TRILLIUM CONSULTING	(714) 717–6113	RF	STEVENLY	AT&T MOBILITY	(415) 889–7487	ZONING	VALERIE TALLERICO	TRILLIUM CONSULTING	(714) 414–5618	LANDLORD	DAVID DUNCAN	PG&E	(415) 971–0994	CONSTRUCTION	C. E. RASK	BECHTEL	(925) 207–9814							
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DELTA GROUPS ENGINEERING, INC. CONSULTING ENGINEERS 5635 W LAS POSITAS BLVD., SUITE 403 PLEASANTON, CA 94588 TEL: (925) 468–0115 FAX: (925) 468–0355	DALY CITY SUB CCU5215 928 EAST MARKET STREET DALY CITY, CA 94104 DGE I.D. NUMBER P12BE025	at&t AT&T MOBILITY 4430 ROSEWOOD DRIVE, BLDG. 3 PLEASANTON, CA 94588	<table><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>0</td><td>3/12/13</td><td>ISSUED FOR ZONING</td><td></td><td>JK</td><td>HT AT</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISIONS</td><td></td><td>BY</td><td>CHK APP'D</td></tr><tr><td>SCALE</td><td>AS SHOWN</td><td>DESIGNED</td><td>JT</td><td>DRAWN</td><td>JT</td></tr></table>																			0	3/12/13	ISSUED FOR ZONING		JK	HT AT	NO.	DATE	REVISIONS		BY	CHK APP'D	SCALE	AS SHOWN	DESIGNED	JT	DRAWN	JT	TITLES SHEET	
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Title Report

PREPARED BY: NORTH AMERICAN TITLE COMPANY
ORDER NO.: 119244
DATED: SEPTEMBER 27, 2012

Legal Description

IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL ONE
BLOCK 45 AND BLOCK 46, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, AS DESCRIBED IN (1) THE FINAL ORDER OF CONDEMNATION RECORDED MARCH 14, 1952 IN BOOK 2215 OF OFFICIAL RECORDS AT PAGE 109 AND (2) THE FINAL ORDER OF CONDEMNATION RECORDED SEPTEMBER 26, 1952 IN BOOK 2302 OF OFFICIAL RECORDS AT PAGE 22, EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE COUNTY OF SAN MATEO IN THE DEED RECORDED JULY 22, 1971 IN BOOK 5983 OF OFFICIAL RECORDS AT PAGE 322, DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE SOUTHEASTERLY BOUNDARY LINE OF MARKET STREET, AS SAID MARKET STREET IS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, WITH THE NORTHEASTERLY BOUNDARY LINE OF ORANGE STREET, AS SHOWN ON SAID MAP OF ABBEY HOMESTEAD ASSOCIATION, AND RUNNING THENCE NORTH 61° 13' 10" EAST, ALONG THE SOUTHEASTERLY BOUNDARY LINE OF SAID MARKET STREET, 149.53 FEET; THENCE SOUTHWESTERLY ON A CURVE TO THE RIGHT WITH A RADIUS OF 415.01 FEET THROUGH A CENTRAL ANGLE OF 18° 44' 31" AND TANGENT AT THE NORTHEASTERLY TERMINUS THEREOF TO A LINE WHICH HAS A BEARING OF SOUTH 42° 28' 39" WEST, AN ARC DISTANCE OF 135.75 FEET; THENCE SOUTHERLY ON A CURVE TO THE LEFT WITH A RADIUS OF 3.13 FEET, THROUGH A CENTRAL ANGLE OF 116° 47' 21" AND TANGENT AT THE NORTHERLY TERMINUS THEREOF TO A LINE WHICH HAS A BEARING OF SOUTH 61° 13' 10" WEST, AN ARC DISTANCE OF 6.38 FEET TO A POINT IN THE NORTHEASTERLY BOUNDARY LINE OF SAID ORANGE STREET; THENCE NORTH 55° 34' 10" WEST, ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID ORANGE STREET, 29.74 FEET, MORE OR LESS, TO THE POINT OF BEGINNING AND BEING PORTIONS OF LOTS 15, 16, 17, 18, 19 AND 20 OF BLOCK 46, AS SAID BLOCK AND LOTS ARE SHOWN ON THE MAP OF THE WALTON SUBDIVISION OF ABBEY HOMESTEAD RECORDED IN BOOK D OF ORIGINAL MAPS AT PAGE 56 AND COPIED INTO BOOK 2 OF MAPS AT PAGE 51.
PARCEL TWO
THAT PORTION OF THE LAND DESCRIBED IN THE "ORDER VACATING PUBLIC STREET" RECORDED JANUARY 18, 1960 IN BOOK 3735 OF OFFICIAL RECORDS AT PAGE 240, LYING SOUTH OF THE CENTERLINE OF MARKET STREET, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO RALPH J. MCOLL, ET UX, IN THE DEED RECORDED APRIL 11, 1960 IN BOOK 3777 OF OFFICIAL RECORDS AT PAGE 550 AND SEPTEMBER 16, 1963 IN BOOK 4547 OF OFFICIAL RECORDS AT PAGE 317, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE CENTERLINE OF MARKET STREET, WHICH POINT IS DETERMINED BY RUNNING NORTHEASTERLY ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID MARKET STREET, 217.08 FEET, AND THENCE SOUTHERLY, DEFLECTING AT AN ANGLE OF 116° 39' 40" TO THE RIGHT, 33.569 FEET FROM THE INTERSECTION OF THE NORTHEASTERLY BOUNDARY LINE OF SAID MARKET STREET WITH THE EASTERLY BOUNDARY LINE OF ATLANTA STREET, AS SHOWN ON SAID MAP OF ABBEY HOMESTEAD ASSOCIATION, RUNNING THENCE FROM THE POINT OF BEGINNING AS SO DETERMINED SOUTHWESTERLY, ALONG THE SOUTHEASTERLY BOUNDARY LINE OF SAID MARKET STREET, 37.50 FEET; THENCE NORTHEASTERLY, AT A RIGHT ANGLE TO SAID MARKET STREET, 18.828 FEET TO A POINT IN THE SOUTHERLY BOUNDARY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO RALPH J. MCOLL, ET UX, RECORDED APRIL 11, 1960 IN BOOK 3777 OF OFFICIAL RECORDS AT PAGE 550, THENCE EASTERLY, ALONG THE LAST MENTIONED BOUNDARY LINE, 41.962 FEET TO THE POINT OF BEGINNING.
PARCEL THREE
THAT PORTION OF THE LAND DESCRIBED IN THE "ORDER VACATING PUBLIC STREET" RECORDED AUGUST 30, 1961 IN BOOK 4045 OF OFFICIAL RECORDS AT PAGE 687, LYING SOUTH OF THE CENTERLINE OF MARKET STREET, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO POPPY CONSTRUCTION CO., A CALIFORNIA CORPORATION, IN THE DEED RECORDED OCTOBER 30, 1956 IN BOOK 3119 OF OFFICIAL RECORDS AT PAGE 642, DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF CHESTER STREET WITH THE NORTHEASTERLY LINE OF ATLANTA STREET, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, AND RUNNING THENCE NORTH 55° 46' 15" WEST, ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID ATLANTA STREET, 20.00 FEET; THENCE NORTH 34° 13' 45" EAST, PARALLEL WITH THE CENTERLINE OF SAID CHESTER STREET, 100.00 FEET; THENCE SOUTH 55° 46' 15" EAST, PARALLEL WITH THE NORTHEASTERLY BOUNDARY LINE OF SAID ATLANTA STREET, 20.00 FEET TO A POINT IN THE CENTERLINE OF SAID CHESTER STREET; THENCE SOUTH 34° 13' 45" WEST, ALONG THE CENTERLINE OF SAID CHESTER STREET, 100.0 FEET TO THE POINT OF BEGINNING.
PARCEL SIX
BEING A PORTION OF THE LAND DESCRIBED IN THE "ORDER VACATING A PORTION OF CHESTER STREET IN THE CITY OF DALY CITY, CALIFORNIA" RECORDED AUGUST 20, 1956 IN BOOK 3080 OF OFFICIAL RECORDS AT PAGE 206, AND MORE PARTICULARLY DESCRIBED IN THE DEED FROM KEN F. ROYCE, ET UX, TO PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION, RECORDED OCTOBER 30, 1956 IN BOOK 3119 OF OFFICIAL RECORDS AT PAGE 639, AS FOLLOWS:
BEGINNING AT A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF CHESTER STREET, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, FROM WHICH THE INTERSECTION OF THE SOUTHEASTERLY BOUNDARY LINE OF CHESTER STREET WITH THE NORTHEASTERLY BOUNDARY LINE OF ATLANTA STREET, AS SHOWN ON SAID MAP OF ABBEY HOMESTEAD ASSOCIATION, BEARS SOUTH 34° 13' 45" WEST, PARALLEL WITH THE NORTHEASTERLY BOUNDARY LINE OF SAID ATLANTA STREET, 30.00 FEET TO A POINT IN THE CENTERLINE OF SAID CHESTER STREET; THENCE NORTH 34° 13' 45" EAST, ALONG THE CENTERLINE OF SAID CHESTER STREET, 200.23 FEET TO A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF THE LANDS OF ABBEY HOMESTEAD ASSOCIATION, AS SHOWN ON SAID MAP OF ABBEY HOMESTEAD ASSOCIATION, RUNNING THENCE FROM THE POINT OF BEGINNING TO A POINT IN THE SOUTHEASTERLY BOUNDARY LINE OF SAID CHESTER STREET, THENCE SOUTH 34° 13' 45" WEST, ALONG THE SOUTHEASTERLY BOUNDARY LINE OF SAID CHESTER STREET, 205.83 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

Access Route\ License Area

ACCESS ROUTE
A STRIP OF LAND 8.00 FEET WIDE, LYING WITHIN BLOCK 45 AND BLOCK 46, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, AS DESCRIBED IN (1) THE FINAL ORDER OF CONDEMNATION RECORDED MARCH 14, 1952 IN BOOK 2215 OF OFFICIAL RECORDS AT PAGE 109 AND (2) THE FINAL ORDER OF CONDEMNATION RECORDED SEPTEMBER 26, 1952 IN BOOK 2302 OF OFFICIAL RECORDS AT PAGE 22, LYING 3.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
COMMENCING AT THE CENTERLINE INTERSECTION OF MARKET STREET AND ORANGE STREET AS SHOWN ON THE RECORD OF SURVEY FILED IN BOOK 8, PAGES 4 THROUGH 7 OF MAPS, RECORDS OF SAID COUNTY; THENCE ALONG THE CENTERLINE OF SAID MARKET STREET, N62°32'33"E, 56.75 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 375.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 83°04'47" AND AN ARC LENGTH OF 55.72 FEET; THENCE S35°58'14"E, 40.00 FEET TO A POINT OF THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID MARKET STREET AND THE POINT OF BEGINNING; THENCE S27°22'16"E, 20.51 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 11.33 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 26°52'31" AND AN ARC LENGTH OF 5.31 FEET; THENCE S54°14'47"E, 42.53 FEET; THENCE S35°45'13"W, 3.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A" AND THE END OF SAID STRIP.
LICENSE AREA
BEGINNING AT POINT "A" AS DESCRIBED ABOVE; THENCE S54°14'47"E, 16.29 FEET; THENCE S35°45'13"W, 20.00 FEET; THENCE N54°14'47"W, 41.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "B"; THENCE N35°45'13"E, 20.00 FEET; THENCE S54°14'47"E, 24.71 FEET TO THE POINT OF BEGINNING.
CONTAINING 820 SQUARE FEET OF LAND.



PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

CONSULTANT

CAL VADA
SURVEYING, INC.

411 Jenks Cir., Suite 205, Corona, CA 92680
Phone: 951-280-9980 Fax: 951-280-9746
Email: 800-CALVADA www.calvada.com
JOB NO. 11755



PREPARED FOR



4430 Rosewood Drive
Pleasanton, California 94588

APPROVALS

R.F.	DATE
SAC AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME

MISSION ST. & CASTLE ST.

PROJECT NUMBER

CCU5215

928 EAST MARKET STREET
DALY CITY, CA 94014
SAN MATEO COUNTY

REV.	DATE	DESCRIPTION	BY
1	9/13/11	SUBMITTAL	HN
2	10/12/11	GEOGRAPHIC COORDINATES	RAS
3	10/12/11	CLIENT'S COMMENTS (POWER POLE HEIGHT)	RG
4	1/11/12	TITLE REPORT / FINAL	RAS
5	12/24/12	CLIENTS COMMENTS	AL
6	01/02/13	CLIENTS COMMENTS	AL
7	02/05/13	CLIENTS COMMENTS	AL
8	03/05/13	LEGAL DESC.	AL

SHEET TITLE

TOPOGRAPHIC SURVEY

C-1

SHEET 1 OF 1

Geographic Coordinates at Proposed Monopine

1983 DATUM: LATITUDE 37° 41' 29.83" N LONGITUDE 122° 27' 23.76" W
ELEVATION = 216.8 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION:
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND, THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Utility Route

A STRIP OF LAND 5.00 FEET WIDE, LYING WITHIN BLOCK 45 AND BLOCK 46, AS SHOWN ON THE MAP OF ABBEY HOMESTEAD ASSOCIATION RECORDED JANUARY 2, 1872 IN BOOK B OF ORIGINAL MAPS AT PAGE 43 AND COPIED INTO BOOK 1 OF MAPS AT PAGE 14, RECORDS OF SAN MATEO COUNTY, AS DESCRIBED IN (1) THE FINAL ORDER OF CONDEMNATION RECORDED MARCH 14, 1952 IN BOOK 2215 OF OFFICIAL RECORDS AT PAGE 109 AND (2) THE FINAL ORDER OF CONDEMNATION RECORDED SEPTEMBER 26, 1952 IN BOOK 2302 OF OFFICIAL RECORDS AT PAGE 22, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
BEGINNING AT POINT "B" AS DESCRIBED ABOVE; THENCE N85°39'08"W, 46.38 FEET; THENCE S35°45'13"W, 8.00 FEET TO THE END OF SAID STRIP.

Easements

- ⑧ EASEMENT FOR ROAD PURPOSES RECORDED APRIL 11, 1960 IN BOOK 3777, PAGE 552, O.R. (DOES NOT AFFECT THE PROPOSED FACILITIES)
- ⑨ EASEMENT FOR ROAD PURPOSES RECORDED JUNE 12, 1962 IN BOOK 4225, PAGE 325, O.R. (DOES NOT AFFECT THE PROPOSED FACILITIES)

Lease Area Detail

SCALE: 1"=10'

AT PROPOSED MONOPINE
GEOGRAPHIC COORDINATES
LAT.= 37°41'29.83"N (NAD 83)
LONG.= 122°27'23.76"W

Assessor's Parcel No.

NOT APPLICABLE (S.B.E. 135-41-25)

Basis of Bearings

THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 3.

Bench Mark

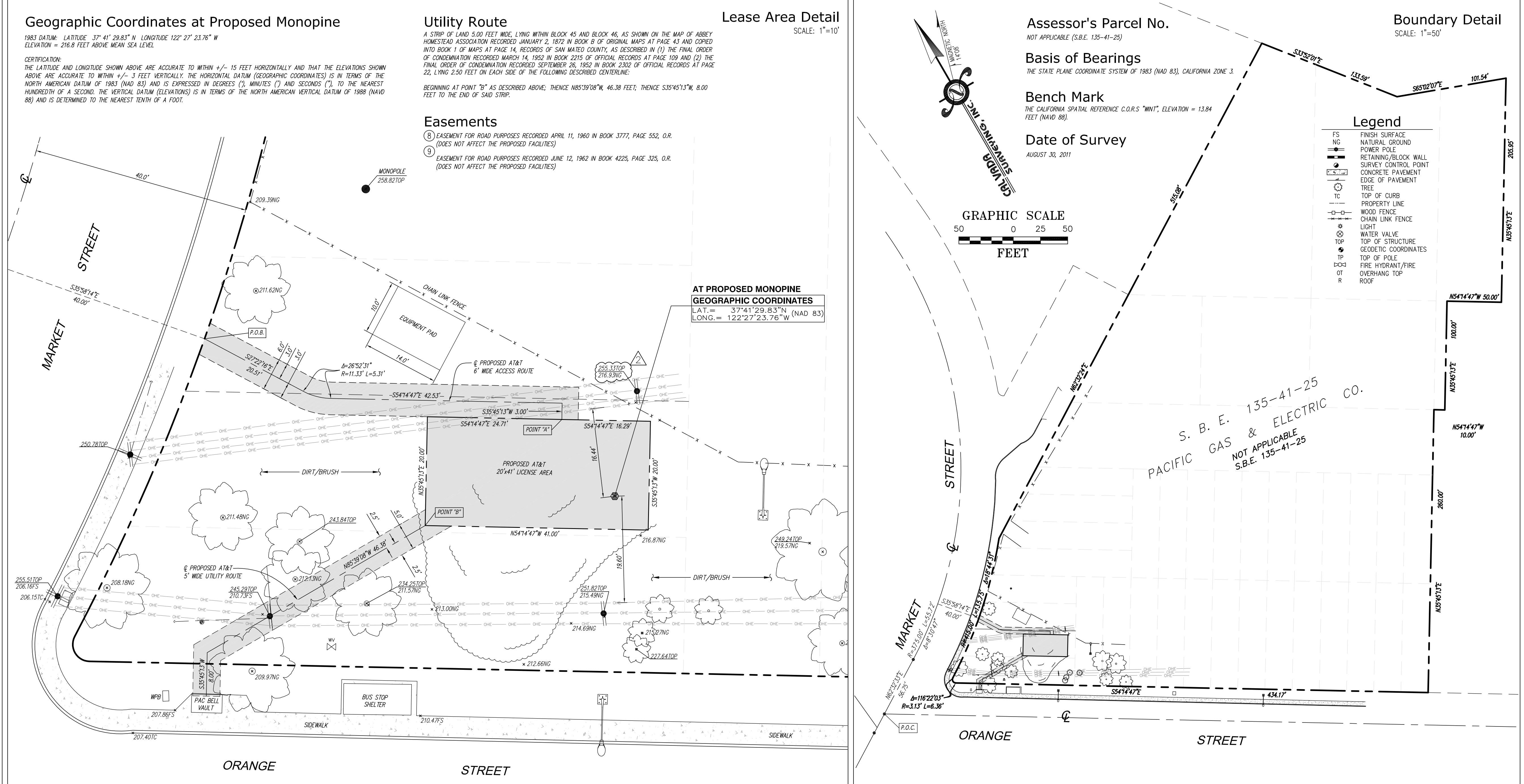
THE CALIFORNIA SPATIAL REFERENCE C.O.R.S "WIN", ELEVATION = 13.84 FEET (NAVD 88).

Date of Survey

AUGUST 30, 2011

Boundary Detail

SCALE: 1"=50'



KEY NOTES:

- 1

PROPOSED 41'-0"x20'-0" (820 SQ. FT.) AT&T LICENSE AREA -

1

A02

2

PROPOSED AT&T PANEL ANTENNAS (3 PER SECTOR; 3 SECTORS TOTAL), RRU11 (2 PER SECTOR; TYP. OF 3 SECTORS TOTAL) & SURGE SUPPRESSOR

2

A02

3

A02

4

A02

5

A02

3

EXISTING TELCO VAULT (TELCO P.O.C.)

4

EXISTING UTILITY POLE (POWER P.O.C.)

5

PROPOSED TELCO UNDERGROUND ROUTING EASEMENT (APPROX. ±20'-0" L.F. FROM TELCO P.O.C. TO JOINT POWER/TELCO TRENCHING)

6

PROPOSED POWER UNDERGROUND ROUTING EASEMENT (APPROX. ±80'-0" L.F. FROM JOINT POWER/TELCO TRENCHING TO PROPOSED AT&T EQUIPMENT AREA)

7

PROPOSED 6'-0" WIDE AT&T LICENSE EASEMENT (APPROX. 70'-0" L.F. FROM EQUIPMENT AREA TO PUBLIC R.O.W. ALONG EAST MARKET STREET)
- 8

EXISTING BUS STOP SHELTER (TYP.)

9

EXISTING TREES/LANDSCAPING (TYP.)

10

EXISTING UTILITY POLE (TYP.)

11

EXISTING UTILITY LINE (TYP.)

12

EXISTING LIGHT POLE (TYP.)

13

EXISTING CHAIN LINK FENCE W/ BARBED WIRE (TYP.)

14

EXISTING CHAIN LINK FENCE W/ BARBED WIRE ACCESS GATE (TYP.)

15

EXISTING METROPCS EQUIPMENT AREA (MP-SFA-Z08-526B)

16

EXISTING CURB (TYP.)

17

EXISTING SIDEWALK (TYP.)

18

EXISTING WATER VALVE (TYP.)
- 6

4

5

3

8

1
- NOTES:
1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS OF AND BETWEEN EXISTING BUILDINGS/STRUCTURES, OR RELATIVE DISTANCES AS SHOWN BETWEEN EXISTING BUILDINGS/STRUCTURES AND THE TRUE NORTH ARE TO BE CONFIRMED BY THE SURVEYOR.

2. POWER/TELCO ROUTING AND DESIGN ARE PRELIMINARY AND MUST BE VERIFIED WITH LOCAL UTILITY COMPANIES.
- OVERALL SITE PLAN
- SCALE:
1 inch = 30 ft
-
- 1
-
-
- DELTA GROUPS
ENGINEERING, INC.**
CONSULTING ENGINEERS
- 5635 W LAS POSITAS BLVD., SUITE 403
PLEASANTON, CA 94588
TEL: (925) 468-0115 FAX: (925) 468-0355
- DALY CITY SUB**
CCU5215
928 EAST MARKET STREET
DALY CITY, CA 94104
- DGE I.D. NUMBER
- P12BE025
-
- at&t**
- AT&T MOBILITY
4430 ROSEWOOD DRIVE, BLDG. 3
PLEASANTON, CA 94588
- | | | | | | | | | | |
|-------|---------|-------------------|--|----------|--|----|-------|-------|----|
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| 0 | 3/12/13 | ISSUED FOR ZONING | | | | JK | HT | AT | |
| NO. | DATE | REVISIONS | | | | BY | CHK | APP'D | |
| SCALE | | AS SHOWN | | DESIGNED | | JT | DRAWN | | JT |
- OVERALL SITE PLAN
- | | | | |
|--------------|-------------|------------|-----|
| JOB NO. | DRAWING NO. | SHEET NO. | REV |
| 25736-635-AA | CCU5215 | A01 | 0 |

EQUIPMENT AREA PLAN	<u>SCALE:</u> 1/4" = 1'		1
----------------------------	----------------------------	---	----------

1 PROPOSED 11'-5"x20'-0" PRE-FABRICATED EQUIPMENT SHELTER (CA STATE APPROVED)- FIBERBOND MODEL D8714-3A (DESIGN BY OTHERS) - PAINTED COLOR BROWN WITH PREMIERE EXPOSED AGGREGATE EXTERIOR FINISH

- NOTES:
- REFER TO EQUIPMENT SHELTER MANUFACTURER'S
DRAWINGS FOR ADDITIONAL INFORMATION



2	EQUIPMENT LAYOUT
---	------------------

SCALE:
1/8 inch = 1 ft



1



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DALY CITY SUB
CCU5215
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P12BE025



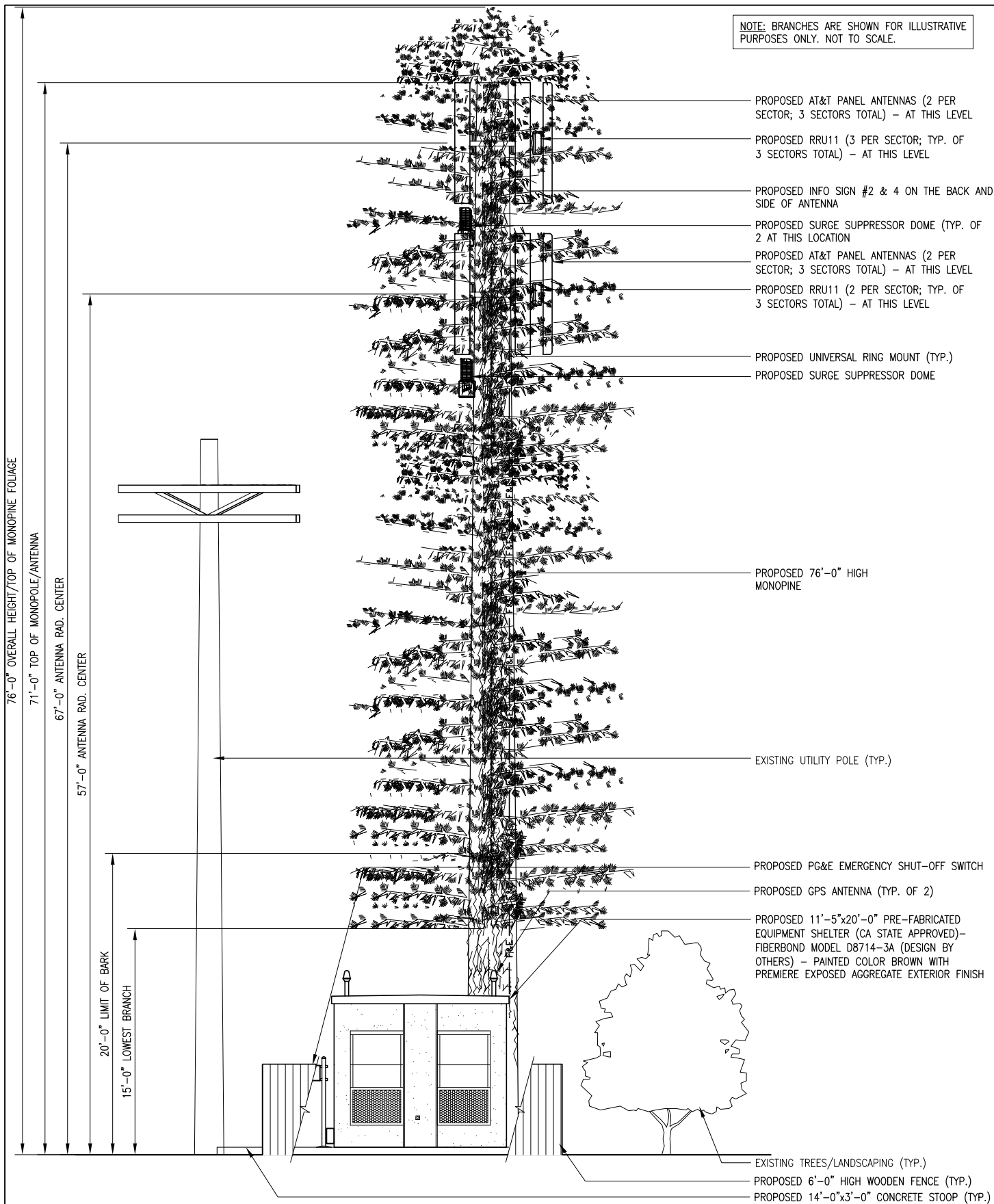
at&t

AT&T MOBILITY
4430 ROSEWOOD DRIVE, BLDG. 3
PLEASANTON, CA 94588

0	3/12/13	ISSUED FOR ZONING					JK	HT	AT
NO.	DATE	REVISIONS					BY	CHK	APP
SCALE AS SHOWN		DESIGNED JT		DRAWN		JT			

EQUIPMENT LAYOUT & KEY NOTES

JOB NO.	DRAWING NO.	SHEET NO.	REV
25736-635-AA	CCU5215	A03	0

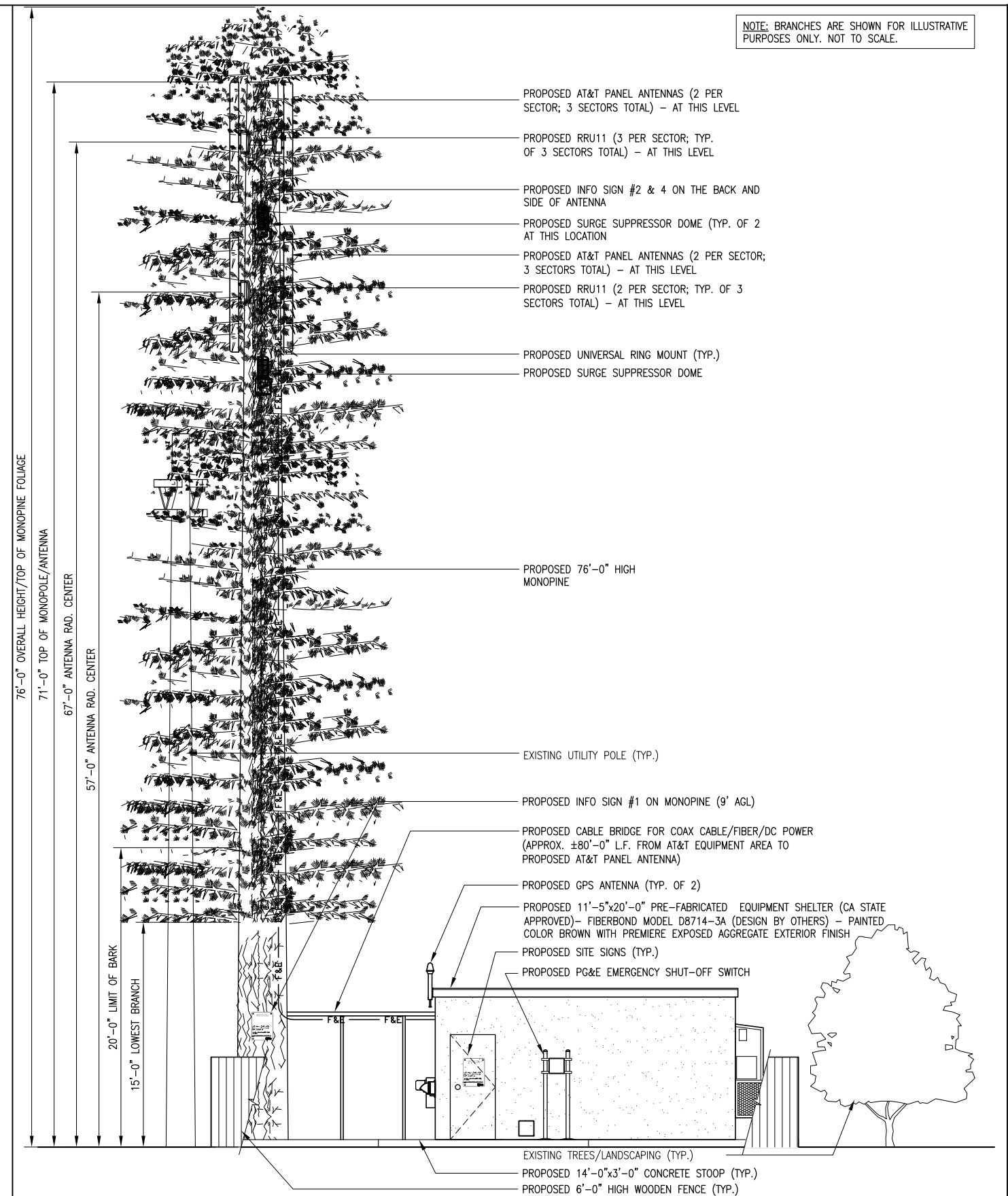


NORTHWEST ELEVATION

SCALE:
1/4 inch = 1 ft



2



NORTHEAST ELEVATION

SCALE:
1/4 inch = 1 ft



1



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at&t

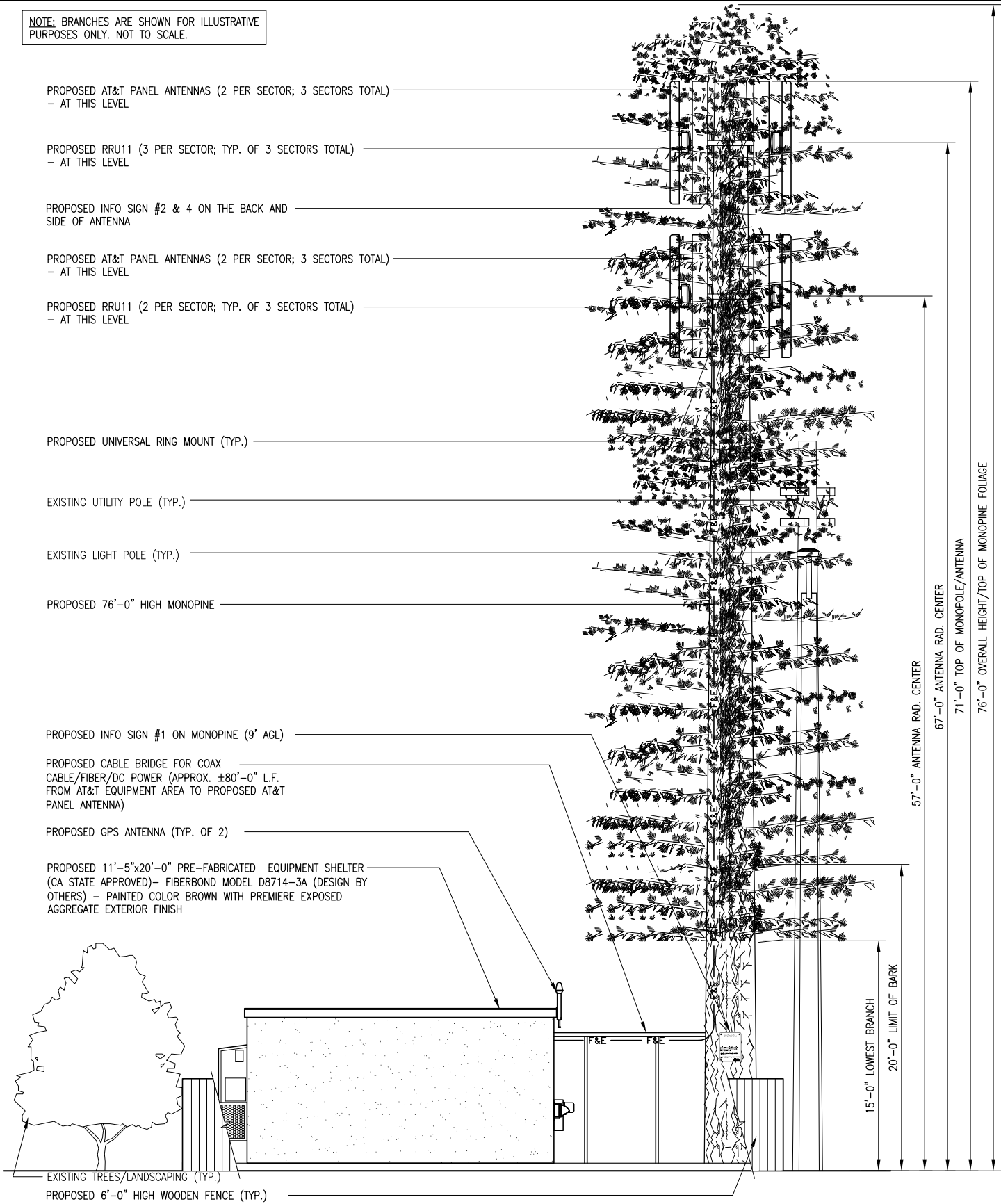
AT&T MOBILITY
4430 ROSEWOOD DRIVE, BLDG. 3
PLEASANTON, CA 94588

0	3/12/13	ISSUED FOR ZONING			JK	HT
NO.	DATE	REVISIONS			BY	CHK
SCALE	AS SHOWN	DESIGNED	JT	DRAWN	JT	

**NORTHEAST & NORTHWEST
ELEVATIONS**

JOB NO.	DRAWING NO.	SHEET NO.	REV
25736-635-AA	CCU5215	A04	0

NOTE: BRANCHES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.



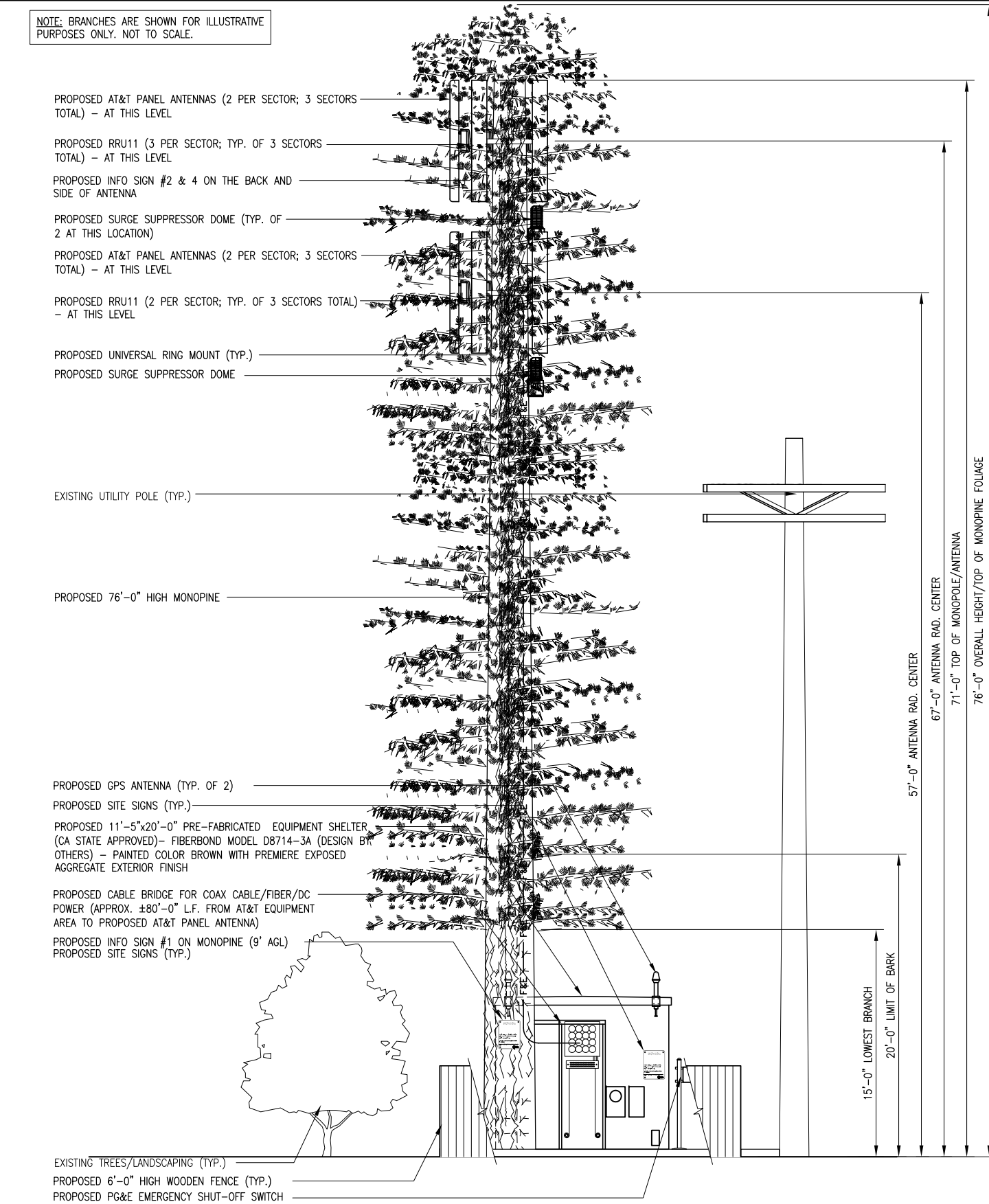
SOUTHWEST ELEVATION

SCALE:
1/4 inch = 1 ft



2

NOTE: BRANCHES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.



SOUTHEAST ELEVATION

SCALE:
1/4 inch = 1 ft



1



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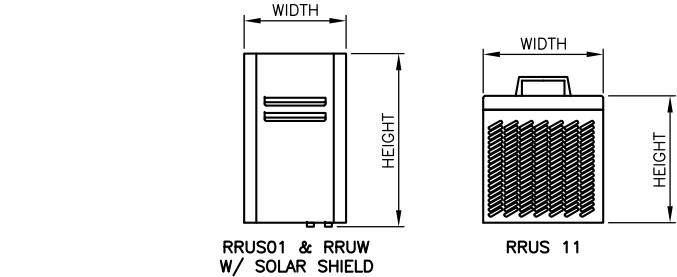
0	3/12/13	ISSUED FOR ZONING				JK	HT	AT	
NO.	DATE	REVISIONS				BY	CHK	APP'D	
SCALE	AS SHOWN	DESIGNED	JT	DRAWN	JT				

**SOUTHEAST & SOUTHWEST
ELEVATIONS**

JOB NO.	DRAWING NO.	SHEET NO.	REV
25736-635-AA	CCU5215	A05	0

SECTOR	AZIMUTH		ANTENNA MAKE/MODEL NO./SIZE	RAD CENTER HEIGHT (AGL)	RRU	FIBER LENGTH	COAX JUMPER LENGTH
ALPHA	1	320	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-700 (1) RRUS-11-AWS	90'	10'
	2	320	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-PCS	90'	10'
	3	320	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-PCS	90'	10'
	3	320	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-850	90'	10'
BETA	1	235	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-700 (1) RRUS-11-AWS	90'	10'
	2	235	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-PCS	90'	10'
	3	235	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-PCS	90'	10'
	3	235	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-850	90'	10'
GAMMA	1	150	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-700 (1) RRUS-11-AWS	90'	10'
	2	150	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	67'-0"	(1) RRUS-11-PCS	90'	10'
	3	150	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-PCS	90'	10'
	3	150	ANDREW SBNH-1D6565C 96.4"HX11.9"WX7.1"D	57'-0"	(1) RRUS-11-850	90'	10'

- NOTES:
- ALL MATERIALS ON THE ABOVE TABLE SHALL BE PROVIDED BY THE AT&T WIRELESS TO THE CONTRACTOR FOR INSTALLATION.
 - CONTRACTOR SHALL AS-BUILT CABLE LENGTHS AND PROVIDE ANTENNA SERIAL NUMBERS ON RED-LINED DRAWINGS.
 - ANTENNAS SHALL BE PROCURED AND INSTALLED WITH DOWNTILT BRACKETS AND HEAVY DUTY CLAMPS SUPPLIED BY ANTENNA MANUFACTURER.
 - COAX GROUND KITS, COAX WEATHER PROOFING, SNAP-IN HANGER CLAMPS AND HOISTING GRIPS SHALL BE PROVIDED BY THE AT&T WIRELESS TO THE CONTRACTOR FOR INSTALLATION.
 - CONTRACTOR MUST ALSO INSTALL THE COAXIAL CABLES FOR THE FUTURE ANTENNAS.
 - CONTRACTOR TO REFER TO B.O.M. AND RF BUILD SHEET FOR NUMBER AND TYPE OF ANTENNA(S) TO INSTALL.



SIZE AND WEIGHT TABLE

RRUS	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
RRUS11 (700 MHz) WITHOUT SOLAR SHIELD	16.3"	5.8"	15.8"	44 LBS.
RRUS11 (700 MHz) SOLAR SHIELD	17.3"	7.2"	17.8"	50 LBS.
RRUS11 (AWS 1700/2100M MHz) SOLAR SHIELD	16.3"	5.8"	15.8"	50 LBS.
RRUS11 (AWS 1700/2100M MHz) SOLAR SHIELD	17.3"	7.2"	17.8"	44 LBS.

MINIMUM CLEARANCE TABLE FOR RRUS01/RRUS-INSTALL PER MANUFACTURER SPECIFICATIONS

RRU CABINET	CLEARANCES (INCHES)	COMMENTS
FRONT	36"	INSTALLATION ACCESS
REAR	0"	ZERO REAR CLEARANCE IS ALLOWED USING SUPPLIED MOUNTING BRACKETS
RIGHT	8"	AIR FLOW
LEFT	8"	AIR FLOW
ABOVE/TOP	16"	AIR FLOW
BOTTOM	12"	CONDUIT ROUTING/AIR FLOW

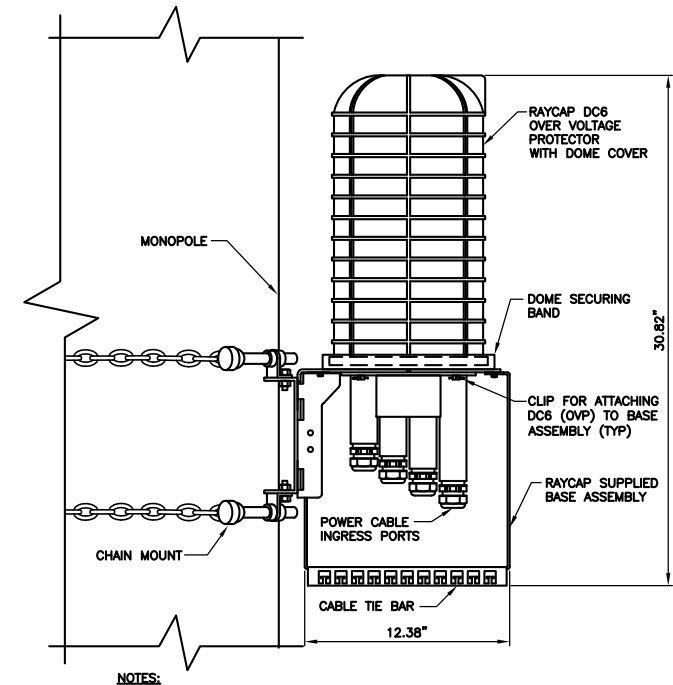
MINIMUM CLEARANCE TABLE FOR RRUS11-INSTALL PER MANUFACTURER SPECIFICATIONS

RRU CABINET	CLEARANCES (INCHES)	COMMENTS
FRONT	36"	INSTALLATION ACCESS
REAR	0"	ZERO REAR CLEARANCE IS ALLOWED USING SUPPLIED MOUNTING BRACKETS
RIGHT	8"	FROM SOLAR SHIELD
LEFT	8"	FROM SOLAR SHIELD
ABOVE/TOP	16"	FROM CEILING FOR AIR FLOW (NOTE1)
BOTTOM	12"	CONDUIT ROUTING/AIR FLOW

- NOTES:
- NO PAINTING OF RRU OR THE SOLAR SHIELD IS ALLOWED

ERICSSON
REMOTE RADIO UNIT (RRU)

DETAIL 1131
NTS



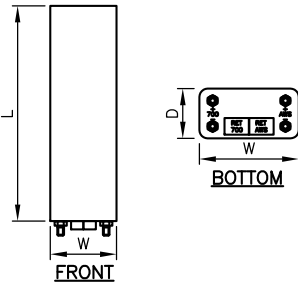
- NOTES:
- RAYCAP VIA AT&T SUPPLIES THE DC6 OVER VOLTAGE PROTECTOR AND THE BASE ASSEMBLY. SUBCONTRACTOR SHALL SUPPLY THE CHAIN MOUNT.
 - NO PAINTING OF THE OVER VOLTAGE PROTECTOR (OVP) IS ALLOWED.

RAYCAP DC6-48-60-18-8F
DC POWER OVER VOLTAGE PROTECTOR (OVP)
CHAIN MOUNT BASE ASSEMBLY

DETAIL 1116E
NTS

DC SURGE PROTECTION

1



BAND	FREQUENCIES, MHZ	POLARIZATION	RET	L, IN	W, IN	D, IN	WEIGHT, LB
DUAL	698-894 1710-2170	DUAL	INSTALLED	96.4	11.9	7.1	66.1

LTE/UMTS/GSM DUAL BAND
DUAL POLARIZATION ANTENNA (TYP)

DETAIL 1500
NTS

ANTENNA & COAX CABLE SCHEDULE

4 RRU DETAILS

3 ANTENNA DETAIL

2



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at&t

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0	3/12/13	ISSUED FOR ZONING			JK	HT	AT
NO.	DATE	REVISIONS			BY	CHK	APP'D
SCALE		AS SHOWN	DESIGNED	JT	DRAWN	JT	

SHEET TITLE
**ANTENNA & COAX CABLE SCHEDULE
RRU,GPS, ANTENNA AND SURGE
PROTECTION**

JOB NO.	DRAWING NO.	SHEET NO.	REV
25736-635-AA	CCU5215	S01	0

Existing



Proposed



view from Orange Street looking northwest at site

Existing



Proposed



view from Orange Court looking east at site



Existing



Proposed



view from E Market Street looking south at site

**CCU5215_at&t Daly City Substation - Corner of East Market & Orange
- AUP 6-13-7493**

Shown below is the snapshot of the area and as compared to surrounding foliage (trees and terrain)
Terrain is uphill on the A & C Sector direction and surrounding homes are of 2-storey in height
The antennas shooting through these trees and just barely overcome the heights of the houses

METROPCS with ADJACENT TREES



METROPCS SECTOR shooting barely above and through roof of homes close to it



With the height being applied for CCU5215, we could overcome these issues

Also to have a slimline design of the tree, antennas are stacked havin a 2 TOP/2 BOTTOM antenna setup

With this antenna setup, additional height is required to accommodate the design thus allowing us to "see over" the tree line.