

CITY OF DALY CITY

SPECIAL MEETING – CITY COUNCIL

AGENDA

Tuesday, May 28, 2019 - 7:00 PM
City Hall Council Chambers – 2nd Floor
333 – 90th Street, Daly City, CA 94015

Live Telecast: Comcast Channel 27, Astound 26, AT&T U-Verse 99

Webcast: www.dalycity.org/meetings

For those wishing to address the City Council on any Item on the Agenda or under Public Appearances/Oral Communications, please complete a Speaker Card located at the entrance to the Council Chambers and submit to a Staff Member as early in the meeting as possible.

Persons with disabilities who require auxiliary aids or services in attending or participating in this meeting should call the office of the City Clerk at 991-8078 as soon as possible.

CALL TO ORDER:

PLEDGE TO THE FLAG:

ROLL CALL:

PRESENTATIONS:

Community Overcoming Relationship Abuse (CORA) Officer of the Quarter Award
- Daly City Police Officer Kody Lizana (Colsaria Henderson, CORA Executive Director)

HEART Summary of Accomplishments and Workshop Announcement (Armando Sanchez, Executive Director)

APPROVAL OF MINUTES:

Regular Meeting of May 13, 2019

APPROVAL OF AGENDA:

CONSENT AGENDA

AVAILABILITY OF PUBLIC RECORDS:

All public record to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the City Clerk's Office, City Hall located at 333 90th Street, Daly City, CA during normal business hours, at the same time that the public records are distributed or made available to the legislative body.

All items listed on the Consent Agenda are considered to be routine and may be approved by one roll call vote of the City Council. There shall be no separate discussion of the matters on the Consent Agenda unless requested by a member of the City Council. If discussion is required, that item will be removed from the Consent Agenda and will be considered separately at the end of the Agenda.

Resolutions:

1. Accept and Appropriate FY 2017/2018 \$27,255 and FY 2018/2019 \$26,891 Grant Funding from CalRecycle
2. Notice of Completion for John Daly Boulevard Streetscape Improvements Project
3. Accept and Appropriate a \$20,000 Grant from Get Healthy San Mateo County
4. Acceptance of San Mateo County Narcotics Task Force DARE Funds for the Purchase of Promotional Items for Children
5. Setting the Time and Place of the Public Hearing for Daly City's National Pollutant Discharge Elimination System Program Regulatory Fee

END OF CONSENT AGENDA

PUBLIC HEARINGS:

6. General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833 – Construction of Six Townhomes at 3001 Geneva Avenue

A. Findings

B. EA (Negative Declaration)

C. GPA-1-19-13827, ZC-1-19-13828, UPR-1-19-13830, SUB-1-19-13832, DR-1-19-13833

Staff:

Paland

Recommended Action:

Open/Close Hearing

Adopt Resolution

Roll Call

Motion for City Attorney to Read by Title Only

Councilmember Introduce Ordinance

7. General Plan Amendment GPA-3-19-13911 and Design Review DR-6-18-13530 – Construction of Four Single-Family Homes at 717 Templeton Avenue

- A. Findings
- B. EA (Negative Declaration)
- C. GPA-3-19-13911, DR-6-18-13530

Staff:

Paland

Recommended Action:

Open/Close Hearing

Adopt Resolution

Roll Call

COMMUNICATIONS:

- 8. Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424 – Expansion of an Existing Two-Story Medical Office Building at 211 Eastmoor Avenue

- A. Findings
- B. EA (Categorical Exemption)
- C. UPR-3-19-13936, DR-4-18-13424

Staff:

Van Lonkhuysen

Recommended Action:

Adopt Resolution

Roll Call

PUBLIC APPEARANCES/ORAL COMMUNICATIONS:

NOTE: Speakers are limited to two minutes, unless modified by the Mayor. The Council cannot take action on any matter raised under this item

APPOINTMENTS: Board/Commission Membership Committee Appointments

REPORTS:

- 9. Council Committee
- 10. City Council
- 11. Staff

ADJOURNMENT:

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
MAY 13, 2019

To view videos of the City Council meetings, visit <http://yt.vu/+dalycitycouncil>

The meeting was called to order by Vice Mayor Sylvester at 7:00 P.M.

ROLL CALL: Councilmembers Present:

Glenn R. Sylvester, Vice Mayor
Rod Daus-Magbual
Pamela DiGiovanni
Juslyn C. Manalo

Councilmembers Absent:

Raymond A. Buenaventura, Mayor

Staff Present:

Shawna Maltbie, City Manager
Rose L. Zimmerman, City Attorney
K. Annette Hipona, City Clerk

PRESENTATIONS/PROCLAMATIONS:

Proclaiming Week of May 19-25, 2019 as National Public Works Week

(Richard Chiu, Jr., Director of Public Works)

2019 LPGA Mediheal Championship

(Patrick Healy, Senior Director, Octagon)

APPROVAL OF MINUTES:

Regular Meeting of April 22, 2019

It was moved by Councilmember DiGiovanni, seconded by Councilmember Daus-Magbual and carried to approve the minutes of April 22, 2019.

APPROVAL OF AGENDA:

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried to approve the agenda.

CONSENT AGENDA:

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried to approve the consent agenda with item #2 being removed from the consent agenda for further discussion.

Resolutions:

Authorization to Contract with Maverick Networks and Mitel for Support and Maintenance

Resolution 19-63, Authorizing Execution Of Contract With Maverick Networks, Inc.

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
MAY 13, 2019

Page 2

Accept and Appropriate a \$1,500 Grant from the Daly City Public Library Associates (DCPLA)

Council thanked the DCPLA for raising upwards of \$200,000 in donations to Daly City's libraries. William Lex, DCPLA Board, and Victoria Magbilang, Executive Director, who were present, thanked Council for their continued support and partnership, encouraging everyone to become a member.

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried by voice vote to adopt the following resolution:

Resolution 19-64, Accepting And Appropriating Grant From The Daly City Public Library Associates

Accept and Appropriate a \$15,000 Grant from the California School-Age Consortium

Resolution 19-65, Accepting And Appropriating A \$15,000 Grant From The California School-Age Consortium

Set Time and Place of Public Meeting – Notice of Intent to Lien Real Property (Set Hearing: 6/24/19)

Resolution 19-66, Setting Time And Place Of Hearing Re: Notice Of Intent To Lien Real Property

Approval of Resolution of Intent to Adopt Appropriation Limitation (Gann Limit)

Resolution 19-67, To Adopt Its Appropriations Limitation For The Fiscal Year 2019-2020 On June 24, 2019

Amend Traffic Regulations to: (1) Install five (5) one-hour limited parking meters on Mission Street at the entrance of War Memorial Community Center; and (2) Install Red Zones, Westlake Avenue, west of Mission Street

Resolution 19-68, Establishing Traffic Regulations

Set Time and Place for a Hearing on General Plan Amendment GPA-3-19-13911 and Design Review DR-6-18-13530, 717 Templeton Avenue (Set Hearing: 5/28/19)

Resolution 19-69, Setting Time and Place of Public Hearing Regarding General Plan Amendment GPA-3-19-13911 and Design Review DR-6-18-13530 (717 Templeton Avenue)

Set Time and Place for a Hearing on General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-113830, Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833 at 3001 Geneva Avenue, Daly City (Set Hearing: 5/28/19)

Resolution 19-70, Setting Time and Place of Public Hearing Regarding General Plan Amendment GPA-1-19-13827, Use Permit UPR-1-19-113830, Major Subdivision SUB-1-19-13832, Use Permit UPR-1-19-113830, and Design Review DR-1-19-13833 (3001 Geneva Avenue – APN 005-072-310)

Setting Time and Place of Public Hearing - Notice of Intent to Lien Real Property for Delinquent Garbage Bill (Set Hearing: 6/24/19)

Resolution 19-71, Setting Time And Place Of Hearing Re: Notice Of Intent To Lien Real Property

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
MAY 13, 2019

Page 3

Check Registers:

Check Registers for the Month of April 2019

END OF CONSENT AGENDA

PUBLIC HEARINGS:

Approval of Daly City's HUD Consolidated One Year Action Plan for Fiscal Year 2019-2020

Housing Coordinator Lenelle Suliguin gave an overview of the draft one-year Action Plan which describes how the City will use its Community Development Block Grant and HOME funds. Ms. Suliguin addressed Council's question with regard to the timeframe the City has to utilize these funds.

It was moved by Councilmember DiGiovanni, seconded by Councilmember Daus-Magbual and carried to open the public hearing.

The following individuals thanked Council for their continued support and funding of their respective organizations and reported on the various programs and services they offer to the community.

Dan Schmid, Daly City Youth Health Center
Lisa Heath, Center for Independence
Heather Cleary, Peninsula Family Service

Natalie Rodriguez, HIP Housing
Fernando Cordova, Project Read

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried to close the public hearing.

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried by unanimous roll call vote to adopt the following resolution:

Resolution 19-72, Approving The City's One-Year Action Plan For Fiscal Year 2019-2020 (July 1, 2019 Through May 30, 2020)

Approval of Benefit Assessments for Linda Vista Area for Fiscal Year 2019-2020

City Engineer Kevin Fehr recommended Council to conduct a public hearing and approve the engineer's report for fiscal year 2019-20 property assessments for the benefited area.

It was moved by Councilmember Manalo, seconded by Councilmember DiGiovanni and carried to open the public hearing. There were no speakers on this matter.

It was moved by Councilmember Manalo, seconded by Councilmember Daus-Magbual and carried to close the public hearing.

It was moved by Councilmember DiGiovanni, seconded by Councilmember Daus-Magbual and carried by unanimous roll call vote to adopt the following resolution:

Resolution 19-73, Approving Engineer's Report And Imposing A Benefit Assessment For Fiscal Year 2019-2020

CITY OF DALY CITY
MINUTES – REGULAR MEETING - CITY COUNCIL
MAY 13, 2019

Page 4

AWARD OF BIDS/CONTRACTS:

Appropriate Funds and Award of Construction Contract for the 2019-20 Crocker/Hillside, Junipero Serra Blvd., & San Pedro Road Slurry Seal Project

Engineer I Alexander Yuen gave staff recommendations to award a construction contract to VSS International, Inc. in the amount of \$1,967,023 and authorize City Manager to execute said contract. Mr. Yuen addressed Council's question with regard to SB 1 funds allocated for the upcoming Original Daly City Civic Center slurry seal project and how staff will find opportunities to fully fund the project.

It was moved by Vice Mayor Sylvester, seconded by Councilmember DiGiovanni and carried by unanimous roll call vote to adopt the following resolution:

Resolution 19-74, Authorizing Execution Of Construction Contract With VSS International Inc. Of West Sacramento, California (2019-20 Crocker/Hillside, Junipero Serra Blvd. & San Pedro Rd. Slurry Seal Project)

REPORTS:

City Council Committee: (Council Committee Meeting April 22 – May 12, 2019)

Cannabis (Daus-Magbual/Buenaventura)
San Mateo County Office of Education (DiGiovanni)
Center for Age-Friendly Excellence (CAFÉ) (Sylvester)
Housing Endowment & Regional Trust (HEART) (Sylvester)

City Council:

The Council gave reports on their activities including meetings and events for the period covering April 22nd through May 12th. Councilmember Manalo announced the following: Daly City will have a HEART workshop event in Council Chambers at City Hall on June 6th and City of Daly City hosted the Council of Cities dinner on April 26th. Vice Mayor Sylvester announced Daly City received an appreciation award from the LPGA Mediheal Championship for their partnership with regard to the golf tournament.

Staff:

Ms. Maltbie reported the next Council meeting will be held on Tuesday, May 28th due to the upcoming holiday; there will be no Council meeting on Monday, June 10th; and, there will be a City Council study session to discuss citywide parking right before the regular meeting on June 24th.

ADJOURNMENT:

At 8:51 PM, Vice Mayor Sylvester adjourned the meeting in memory of Doreen Carroll, William Mott, Kippie Locati, Ernest Chuck Ayala, Rodolfo Gutierrez, Jorge Eduardo Martinez Vargas, Alberto T Jacinto, Melanie Natividad, Russ Brabec, Arturo Buenavista, the police officers who lost their lives in the line of duty, and the youth who lost their lives in the tragic shootings.

Approved as submitted, this _____ 28th

day of _____ May _____, 2019.

City Clerk

Mayor



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: Appropriation of Grant Funding from CalRecycle

Recommended Action

Accept and appropriate a \$27,255 grant for FY 2017/18 and a \$26,891 grant for FY 2018/19 from the California Department of Resources Recycling and Recovery (CalRecycle) for implementation of recycling and diversion activities.

Background/Discussion

CalRecycle is the California State agency that promotes recycling, waste reduction, and product reuse. Through the Beverage Container Recycling City/County Payment Program, grant funding is provided to jurisdictions to promote beverage container recycling and litter cleanup activities with a goal to reach and maintain an 80 percent recycling rate for all California refund value beverage containers—aluminum, glass, plastic, and bi-metal. The City of Daly City will use funds to increase recycling opportunities in public and other residential areas, host litter clean-up events, conduct marketing and create advertisements to promote recycling, and provide educational opportunities for elementary and middle schools in the community. The City of Daly City has approximately two years to expend the funding award.

Fiscal Impact

The grant revenue from CalRecycle will be fully expended at the end of Fiscal Year 2021/22.

Summary/Conclusion

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Stephen Stolte
Assistant to the City Manager



City Council Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: Notice of Completion for John Daly Boulevard Streetscape Improvements Project

Recommended Action

Staff recommends that the City Council authorize the filing of the Notice of Completion for the John Daly Boulevard Streetscape Improvements Project and accept the completion of the project in compliance with the construction contract.

Background

In December 2012, the City applied for and received \$1,000,000 in Transportation for Livable Communities (TLC) grant funds from the OneBayArea Grant (OBAG) Program. The TLC grant was targeted for projects providing Complete Streets. The OBAG funding plan was subsequently updated in February 2016 to add an additional \$290,000 in grant funds from the City/County Association of Governments (C/CAG).

In January 2014, the City applied for and received another \$1,000,000 in grant funds from the San Mateo County Transportation Authority's (TA) New Measure A Pedestrian and Bicycle Program. The goal of the program was to fund projects that improve bicycling, pedestrian accessibility and safety in San Mateo County, helping to encourage more residents to participate in active transportation and thereby reduce auto trips and congestion.

The City was awarded a total of \$2,290,000 in grant funds to construct this project.

On July 11, 2016, the City Council authorized the award of a construction contract to Bauman Landscape & Construction, Inc. for the John Daly Boulevard Streetscape Improvements Project.

Discussion

The John Daly Boulevard Streetscape Improvements Project is a "Complete Streets" project to improve access for all users, including pedestrians, bicyclists, motorists, and transit riders of all ages and abilities. The project reconfigured curb lines, installed bicycle lanes, installed curb ramps and stamped crosswalks, improved traffic signals, and transformed the underutilized median areas by constructing a network of new pedestrian facilities. This project improved the access and connectivity between the Daly City Bay Area Rapid Transit (BART) station and the SamTrans bus hub at the Top of the Hill.

In addition, the project is an example of a "Green Infrastructure" project that uses vegetation, soils, and other elements to filter and treat stormwater runoff, creating a healthier environment. The

Notice of Completion for John Daly Boulevard Streetscape Improvements

Meeting Date: May 28, 2019

Page 2 of 2

project constructed vegetated channels called bioswales to provide treatment and retention of stormwater. The bioswales in the medians help to reduce the water volume and velocity while naturally treating the stormwater runoff from John Daly Boulevard.

Bauman Landscape & Construction, Inc. of San Francisco has completed all improvements required by the construction contract documents for a total amount of \$3,336,245.21, including change orders in the amount of \$78,177.71. The total dollar value of the change orders is 2.4% of the original contract award of \$3,258,067.50. The change orders were issued for additional work around unforeseen conditions, perforated drain pipes in the bioswale, additional storm water pollution prevention measures, irrigation point of connection, watermain modifications, miscellaneous electrical work, and differences between estimated bid quantities and actual quantities.

Fiscal Impact

The construction contract was completed in the total amount of \$3,336,245.21 with funds available in the Capital Improvement Program (CIP) Project account 17-312-677.

Summary/Conclusion

Staff recommends that the City Council authorize the filing of the Notice of Completion and accept the improvements completed by Bauman Landscape & Construction, Inc. for the City's maintenance and use.

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,



Roland Yip
Senior Civil Engineer



Richard Chiu, Jr.
Director of Public Works

Attachments: Notice of Completion and Resolution

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DALY CITY ACCEPTING
COMPLETION OF CERTAIN PROJECT IN THE
DEPARTMENT OF PUBLIC WORKS

(John Daly Boulevard Streetscape Improvements)

A. The Project Manager has advised that the project set forth hereinafter has been completed in accordance with the terms of the contract with the City of Daly City and Bauman Landscape and Construction, Inc., a California Corporation.

B. The City Council of the City of Daly City desires to acknowledge the completion of such project so that notice of completion may be given.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Daly City that pursuant to the above, the City of Daly City does hereby accept as complete the following described project:

John Daly Boulevard Streetscape Improvements

BE IT FURTHER RESOLVED by the City Council of the City of Daly City that said project be, and it is hereby accepted as complete, and at the expiration of fifty-five (55) days from this date, final payment in connection with this project be, and it is hereby authorized, provided that all statutory liens, claims and withholds are satisfied pursuant to law.

I hereby certify the foregoing to be a true copy of a Resolution adopted by the City Council of Daly City, California, at a special meeting thereof held on the _____ day of _____, 20____, by the following vote of the members thereof:

AYES, and in favor thereof, Councilmembers: _____

NOES, Councilmembers: _____

ABSENT, Councilmembers: _____

CITY CLERK OF THE CITY OF DALY CITY

APPROVED:

MAYOR OF THE CITY OF DALY CITY

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

OFFICE OF THE CITY CLERK
CITY OF DALY CITY
333 - 90th Street
Daly City, California 94015

Notice of Completion

NOTICE IS HEREBY GIVEN as follows:

1. The date of completion of the work of improvement is: May 28, 2019
2. The owner of the work of improvements is: City of Daly City, a Municipal Corporation.
3. The address of the owner of the work of improvement is: City Hall
333 - 90th Street
Daly City, California 94015
4. The nature of the owner's interest or estate is: In fee.
5. The work of improvement is located in Daly City, California, and is particularly described as follows:

John Daly Boulevard Streetscape Improvements

The name of the original contractor for the work of improvement is:

Bauman Landscape and Construction, Inc.
1255 Battery St., Ste. 400
San Francisco, CA 94111

Dated: _____

The undersigned, being duly sworn, says: That he is the owner of the aforesaid interest or estate in the property described in the foregoing notice; that he has read the same, and knows the contents thereof, and that the facts stated therein are true.

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

CITY OF DALY CITY, OWNER

Richard Chiu, Jr., Public Works Director

STATE OF CALIFORNIA,

COUNTY OF _____ } ss.

Subscribed and sworn to (or affirmed) before me on this ____ day of _____, 20__.

by _____, proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature _____

Name (Typed or Printed)
Notary Public in and for said County and State



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: Accepting and Appropriating a \$20,000 Grant from Get Healthy San Mateo County

Recommended Action

It is recommended the City Council accept a \$20,000 grant from Get Healthy San Mateo County (GHSMC) for the purpose of conducting a Food Assessment Study in the Bayshore neighborhood.

Background

Every year, GHSMC awards funding to community organizations, non-profits, public agencies, and schools for place-based primary prevention and healthy equity efforts. The focus of the funding is to improve the health of County residents by building healthy, equitable communities. The grant awarded to the City will be used to conduct a Food Assessment Study in the Bayshore neighborhood. The Bayshore neighborhood is, according to the United States Department of Agriculture, a Low-Income and Low-Access Census Tract. It is considered an underserved area that has: 1) limited access to affordable, healthy foods, including fresh fruits and vegetables, in grocery retail stores or farmer-to-consumer direct markets; and 2) a high rate of hunger or food insecurity or a high poverty rate. The City will partner with the University of California Cooperative Extension (UCCE) to design and conduct the study and report on findings and recommendations to improve access to healthy foods for low income residents in the Bayshore neighborhood. The Bayshore neighborhood is a neighborhood in transition, particularly in light of 604 additional housing units in the pipeline, its Opportunity Zone designation, and the potential for future commercial and residential development on the Cow Palace site. The results of the Food Assessment Study will be made available to the community and interested stakeholders, including developers looking to build in the Bayshore neighborhood.

Fiscal Impact

The City of Daly City Economic and Community Development Department will receive \$20,000 in calendar year 2019. The grant will be used for salaries to fund part-time researchers to conduct the study, and other costs related to the study.

Summary/Conclusions

Staff is available to provide any additional information desired by the Mayor or City Council.

Respectfully Submitted,

Lenelle Suliguin
Housing Coordinator

Tatum Mothershead
Director, Economic and Community Development



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: **Acceptance of San Mateo County Narcotics Task Force DARE Funds for the Purchase of Promotional Items for Children**

Recommended Action

Staff requests the acceptance of DARE funds in the amount of \$922.00 from the San Mateo County Narcotics Task Force to purchase promotional items for our community's youth.

Background

The Daly City Police Department requested and received DARE funds disbursed by the Governing Board of the San Mateo County Narcotics Task Force. The funds are used to purchase promotional items that will assist us in our mission of keeping our youth away from gangs and drugs.

Discussion

State Asset Forfeiture laws stipulate that a portion of the seized funds be spent on programs designed to combat drug abuse and divert gang activity, and shall whenever possible involve educators, parents, community-based organization, local businesses and uniformed law enforcement officers. As such, the Daly City Police Department currently provides promotional items to children at our schools and various community events.

Fiscal Impact

Staff requests the acceptance of \$922.00 in DARE Funds.

Summary/Conclusions

Staff is available to provide any additional information desired by the Mayor or Councilmembers.

Respectfully submitted,

Handwritten signature of John Gamez in black ink.

John Gamez
Captain

Handwritten signature of Patrick Hensley in black ink.

Patrick Hensley
Chief of Police



City Council Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: Setting the Time and Place of the Public Hearing for Daly City's National Pollutant Discharge Elimination System Program Regulatory Fee

Recommended Action

It is recommended the City Council set the time and place of a public hearing for 7:00 p.m., July 8, 2019 to review the local National Pollutant Discharge Elimination System (NPDES) Stormwater Regulatory Fee.

Background

The San Francisco Regional Water Quality Control Board issued a consolidated Bay Area Municipal Regional Permit (MRP) on November 19, 2015. The permit conditions mandate numerous and costly municipal stormwater management activities over the following five years. The City/County Association of Governments continues to administer the General Program components. Each municipality is responsible for achieving specific program activities and filing an annual report on city specific and county-wide compliance activity. The City first established a stormwater fee in 1995 several years after the NPDES regulatory program was initially established in 1991 in order to finance the many new municipal activities required under to comply with this program.

Discussion

Since 1995, Daly City utilized the regulatory fee structure adopted in Ordinance No. 1219 to finance local specific activities to comply with mandated Stormwater Program requirements. This fee structure has not been amended or increased at any time in the past 23 years. This fee structure remains as follows for each Assessor Parcel Number:

Single Family/Duplex	\$9.80	Multi-Family (11-20 units)	\$36.76
Unimproved Land	\$4.90	Commercial/Retail/Manufacturing	\$56.84
Multi-Family (3-10 units)	\$19.60	Condominiums	\$4.90

On an annual basis, this local fee generates approximately \$449,000. Its structure is based on the correlation between parcel size, land use and stormwater runoff, with the base fee assigned to single family/duplex parcels as they are the City's predominant land use. To allocate costs proportionately, all other categories of use are assigned a factor compared to single family/duplex and take into account street frontage, impervious surface coverage and vehicle trips.

From its prior action, the City Council already authorized continued use of the San Mateo County Flood Control District to collect charges associated with the Countywide NPDES General Program.

Staff is available to provide any additional information desired by the Mayor or City Council members.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Sibely C. Calles".

Sibely Calles
Management Analyst

A handwritten signature in black ink, appearing to read "Richard Chiu".

Richard Chiu
Director of Public Works



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833 – Construction of Six Townhomes at 3001 Geneva Avenue

Recommended Action

Approve the General Plan Amendment, Zone Change, Use Permit, Major Subdivision, and Design Review, subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On May 7, 2019, the Planning Commission voted 4-0 to recommend the City Council approve General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833. Commissioner Proaño asked about the homeowner participation in constructing the project. Peter Dunne, Vice President of Real Estate for Habitat for Humanity Greater San Francisco, stated that the project would be 100 percent affordable and would utilize a mix of homeowner sweat equity and two groups of skilled and unskilled volunteers. Commissioner Crump complimented the interior and exterior architecture of the proposed building.

Background

The applicant, Habitat for Humanity Greater San Francisco, requests approval to construct six townhomes on a 6,142 square foot (0.14 acre) vacant lot at the northeast corner of Geneva Avenue and Schwerin Street (see Attachment A – Site Location). Entitlements necessary to construct the project include amending the General Plan designation for the parcel from Residential – Medium Low Density (R-MLD) to Residential – Medium Density (R-M), rezoning the parcel from Unzoned to R-3 – Multiple Family Residential, obtaining an airspace (condominium) subdivision for six townhouses, and design review approval. The vacant site was previously the location of a Daly City Fire Station 93 before the station was relocated to Martin Street in the early 2000s.

Discussion

According to the project narrative supplied by Habitat for Humanity, each condominium in the townhouse building will be affordable and sold to a family that meets Habitat's program and qualification criteria (see Attachment B – Project Narrative). Habitat for Humanity has previously completed successful projects in Daly City, including the 36-unit condominium development at 7555 Mission Street, seven detached homes on Third Avenue, two detached homes on Parkview Avenue, and seven detached homes on DeLong Street.

As proposed, the townhouse building would provide six townhouses, each consisting of 1,836 square feet of habitable space (1,827 square feet for Unit One) and each containing three bedrooms, two bathrooms, and a one-car garage (see Attachment C – Project Plans). Each unit would provide

an entry hall, utility room, and garage area on the ground level. The second floors would contain a kitchen, dining room, living room, and bathroom. Three bedrooms and a bathroom would be located at the third floor.

The overall architectural appearance of the townhouse building is intended to complement the scale and mix of housing types in the immediate neighborhood. Development regulations within the Zoning Ordinance require buildings in the R-3 Multiple Family Residential District (proposed zoning) to have a minimum front setback of 15 feet in the front and 10 feet in the rear, and a maximum height of 35 feet. The proposed building complies with the height maximum (it is just under 35 feet tall) and the rear yard setback. The applicant is proposing to utilize a predominant setback allowance for the front yard setback, whereby the Zoning Ordinance allows the front setback of any building to be the average front yard of all the improved lots in the same block. Since the adjacent homes on the same block of Geneva Avenue provide only a one-foot setback, the subject property qualifies for a reduced one-foot setback.

The proposal complies with all other development regulations except for parking, where the applicant has requested a concession allowing a reduction from the required nine spaces to six. This concession request is discussed in greater detail in the *Parking and Circulation* section of this staff report.

General Plan Amendment and Zoning Change

The applicant has proposed amending the General Plan designation for the parcel from Residential – Medium Low Density (R-MLD) to Residential – Medium Density Residential (R-MD) and rezoning the parcel from Unzoned to R-3 – Multiple Family Residential. These amendments are necessary to allow the project to be constructed as proposed since the site's current zoning essentially allows no development and the existing General Plan designation would permit no more than three units on the 0.14-acre site.

In addition to amending the General Plan designation, the applicant has requested a density bonus under California Government Code §65915, the State Density Bonus Law. As described previously, the applicant has proposed that the parcel be re-designated to Residential – Medium Density (R-MD), consistent with the density of the adjacent homes fronting Geneva Avenue. Because the project has proposed affordability within the parameters of the State Density Law, i.e., all the proposed units will be sold to individuals considered lower income per State Density Bonus, the applicant is requesting a 22 percent density increase, from 4.9 units to 6 units. With the proposed density bonus applied, the project density would be 43 dwelling units per acre.

In considering the proposed density, which would allow between 20.1 and 35 (before density bonus is applied), the City Council should consider the density of the adjacent single-family homes on Geneva Avenue, which are constructed on 1,500 square foot lots, or at an existing density of 29 dwelling units per acre. This density is within the density range of Residential — Medium Density, which allows between 20.1 and 35 dwelling units per gross acre. Therefore, the proposed General Plan designation density is no greater than that which currently exists in the adjoining residential neighborhood fronting Geneva Avenue.

As discussed previously, qualification for density bonus units qualifies the applicant to also receive development concessions, such as deviations to the City's normal regulations pertaining to building height, lot coverage, and similar regulations. In this case, the applicant has requested a parking reduction from nine to six spaces, assuming the proposed request to rezone the site is approved, and a waiver of the park in-lieu fees that would otherwise be applicable to the project.

With regard to the park in-lieu fee waiver, the applicant contends that waiver of the park in-lieu fees would contribute to the affordability of the project and that such an action would be consistent with the City's General Plan (Policy HE-10), which encourages the City to help reduce the cost of affordable housing developments in the City. Should the City Council desire to grant the fee waiver, findings are included in the Council's recommended approval action to support such a request.

Use Permit

The applicant is required to obtain a use permit pursuant to Chapter 17.37 – Condominiums and Condominium Conversions, which requires the permit for any condominium project. Prior to the approval of the permit, the Zoning Ordinance requires the City Council to make the following findings:

1. The condominium project will not have a detrimental effect on sound community planning, the economic, ecological, cultural and aesthetic qualities of the community, and on public health, safety and general welfare;
2. The overall impact on schools, parks, utilities, neighborhood streets, traffic, parking and other community facilities and resources will not be detrimental;
3. That tenants over the twelve months preceding the filing of any application required for a conversion shall not have been encouraged to vacate in order to bring about the conversion.

For reasons discussed in this staff report, staff is recommending that the Council adopt the first two findings. The applicant has not applied to convert any existing apartment to a condominium and therefore the third finding does not apply.

Design Review

The design review process provides the staff, Planning Commission, and City Council the opportunity to analyze the architectural style and quality of material for aesthetics and harmony with the surrounding residential uses, which consists primarily of single-family detached homes. Staff has worked closely with the project architect over the preceding two years to ensure the townhouse building would not disrupt the neighborhood character and is harmonious with these existing single-family homes, which are primarily two-story structures.

The project architecture features high quality materials such as lap siding with extensive trim around windows, between floors, and at building corners. Large second-floor windows would be double-hung and accentuated with corbels and trellis structures. All garage doors would be

recessed for de-accentuation and embellished visually also through the use of corbels and overhead trellises at the sidewalk level. To reduce building mass, the applicant has developed a paint scheme which provides a darker first floor tan color with a lighter color proposed for the second and third floors. The unit at the corner of Schwerin and Geneva Avenue would be buffered visually from the adjacent sidewalk and street by a landscape planter area, providing visual relief at the west building end. Also, gable roof ends are proposed for the building with intermediate recesses along Geneva Avenue to further reduce the mass of the building, as would a ten-foot building separation for the existing home immediately to the east on Geneva Avenue.

As indicated previously, the project architect has worked with staff over an extensive period to ensure that the highly visible project along the Geneva Avenue corridor is aesthetically acceptable in the context of the lower-scale buildings which surround it. Although no Conditions of Approval are recommended related to the building design, staff is recommending Conditions of Approval that recessed garage security lighting be installed at the underside of each garage and porch soffit, that each townhouse unit receive common window coverings at initial construction acceptable to the Planning Division, and that a 40-year roof acceptable to the Planning Division be installed at initial construction.

Parking and Circulation

Based on the number of square feet associated with each of the proposed townhouses, two parking spaces would normally be required for each of the six townhouse units, or 12 parking spaces total. Because the project is a condominium designed and intended for the exclusive occupancy of low-income persons or families other than the elderly, the Zoning Ordinance requires that the applicant provide only three-fourths the normally required number of spaces, or nine spaces in this case. As indicated in the project narrative, the applicant has requested a density bonus and concession allowing a parking reduction from nine to six parking spaces. According to the applicant, strict compliance with the Zoning Ordinance parking regulations would change the design, layout, and overall quality of the project and increase the cost of each unit, thereby reducing the total number of affordable units constructed.

In support the parking concession request, the applicant has identified a number of transit options within one half-mile of the project site, several of which qualify as a major transit stop in State Density Bonus Law, i.e., a stop with a frequency of at least every 15 minutes during peak commute hours. These are as follows:

San Francisco Municipal Transportation Agency (SFMTA) -

- 9R San Bruno Rapid – Every 9 minutes to downtown SF
- 8 AX Bayshore Express – Every 6 minutes to downtown SF
- 8 BX Bayshore Express – Every 7 minutes to downtown SF/City College/Balboa BART
- 91 3rd-19th Ave OWL -- Late night/early morning, every 30 minutes to downtown SF

San Mateo County Transit District (SamTrans) –

- Route 292 – Every 30 minutes to downtown SF / SFO Airport and South
- Route 24 – Daily School route to Jefferson High, Westmoor High, Summit Shasta High
- Route 29 – Daily School route to Lipman Middle School

Caltrain -

- Daily Free Shuttle Service to Bayshore Station

In light of the above transit proximities, staff supports the concession request. The Planning Commission may care to note that recent parking studies related to parking for affordable housing have determined that the provision of one-half space per bedroom is appropriate given affordability, with a further 25 percent reduction if units are transit proximate such as the subject project (Fehr & Peers Multi-Family Parking Study - Palo Alto and Statewide, 2018).

Project Affordability

The City's Affordable Housing Ordinance requires that developers submit an Affordable Housing Plan (AHP). The Ordinance further requires that 20 percent of all ownership dwelling units within a proposed development be affordable to households at or below 120 percent of the area median income for San Mateo County. The subject development would thus be obligated to provide two affordable units (20 percent of the six base dwelling units). The applicant has submitted an AHP that proposes to build all six affordable units within the project. The City Manager has determined that the affordable housing plan meets the intent of the Ordinance and has accepted the plan. Prior to construction, the applicant will enter into an affordable housing agreement with the City. Although there are many variables which could change between the current approval process and construction, staff estimates that the above affordability requirements would result in a \$540,000 purchase price for each unit and a monthly \$1,500 mortgage payment (final parameters to be set by Habitat for Humanity).

Subdivision Requirements

Pursuant to Section 66474 of the Subdivision Map Act, a legislative body of a city or county may approve a subdivision map if it makes the following findings:

1. The proposed subdivision and/or design or improvement must be consistent with applicable general and specific plans.
 - The proposed General Plan designation for the site is Residential – Medium Density Residential (R-MD) which allows for a maximum of 35 dwelling units per net acre, or 4.9 units. The applicant has requested and qualifies for a 22 percent density bonus under California Government Code §65915, which would allow for up to six units. With the proposed density bonus applied, the project density would be 43 dwelling units per acre.

2. The site must be physically suitable for the type and density of the proposed subdivision.
 - The subject site is situated on Geneva Avenue, between Schwerin Street and Allen Street. This area is characterized by a mixture of single family residences, commercial/recreational (Cow Palace), and heavy utility (PG and E substation) uses. Given the size and shape of the subject property, together with adjacent land uses, a high density development consisting of 43 condominium units is the highest and best use of the subject property.
3. The design of the proposed subdivision or improvements must not cause substantial environmental damage or injure fish or wildlife or their habitat.
 - Staff has determined that the proposed subdivision will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area. Staff has completed an Initial Study for the project and determined that the project would not have a significant impact on the environment. Adoption of a Negative Declaration is therefore appropriate level of review under the California Environmental Quality Act (CEQA).
4. The design of the proposed subdivision must not cause serious public health problems.
 - The proposed project consists of six townhouses, all of which will be subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk.
5. The design of the proposed subdivision or improvements must not conflict with any easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.
 - Access to the proposed new lots and utilities for the lots would be available from existing adjacent roads. No structures of any kind will be built over the property lines. Where necessary, permits for utility connections for the new townhouses would be obtained from the City of Daly City and/or the Bayshore Sanitary District.

Utility Providers

The subject property is located within a fully urbanized area with all public services likely capable of serving the new lots. The follow agencies provide utilities to the proposed project:

<i>Utility</i>	<i>Provider</i>
Water, Sanitary Sewers, Storm Drains	City of Daly City/Bayshore Sanitary District
Gas & Electric	PG&E
Telephone	AT&T
Cable Television	Astound! Cable Services and/or Comcast
Fire/Police Protection	North County Fire Authority/City Daly City

Fiscal Analysis and Impacts

The construction of six townhouse units will add an incremental demand for City services. Prior to project completion, the project applicant will be required to pay park in-lieu fees as required by Parkland Dedications Ordinance (unless waived by the City Council), building permit, plan check, affordable housing, and AB 1600 fees to the City. Upon sale of the residential properties, the future owners will pay property tax to the County, a portion of which will be distributed to the City.

Environmental Assessment

Staff has completed an Initial Study for the project and determined that the project would not have a significant impact on the environment (see Attachment D – Initial Study). Adoption of a Negative Declaration is therefore appropriate level of review under the California Environmental Quality Act (CEQA).

Findings

On May 7, 2019, the Planning Commission found that, as conditioned, the approval of General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833, would comply with all applicable provisions of the Daly City Municipal Code. Approval of the proposed project would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the City. These findings are based on the following facts, which staff recommends that the City Council adopt:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council will conduct a public hearing on May 28, 2019; notice of said hearing was published in a newspaper of general circulation on May 16, 2019, and by posting and first-class mailing to property owners within 300 feet;
2. The City Council has determined that the proposed subdivision will not cause significant environmental damage or injure fish, wildlife, or their habitat. The proposed project would be constructed in a fully urbanized area. Staff has completed an Initial Study for the project and determined that the project would not have a significant impact on the environment. Adoption of a Negative Declaration is therefore appropriate level of review under the California Environmental Quality Act (CEQA);
3. The proposed General Plan designation for the site (as amended) would be Residential – Medium Density Residential (R-MD) allowing for a maximum of 35 dwelling units per net acre, or 4.9 units. The applicant has requested and qualifies for a 22 percent density bonus under California Government Code §65915, which would allow for up to six units. With the proposed density bonus applied, the project density would be 43 dwelling units per acre;

4. In consideration of the density bonus request, the adjacent single-family homes on Geneva Avenue exist on 1,500 square foot lots, or at an existing density of 29 dwelling units per acre, which is within the density range of proposed Residential — Medium Density General Plan designation. Therefore, the proposed General Plan designation density is no greater than that which currently exists in the adjoining residential neighborhood fronting Geneva Avenue;
5. In consideration of the parking concession request, staff has determined that strict compliance with the Zoning Ordinance parking regulations would change the design, layout, and overall quality of the project and increase the cost of each unit, thereby reducing the total number of affordable units constructed. Furthermore, the project is proximate to transit in ways outlined in staff report prepared for it and recent parking studies related to parking for affordable housing have determined that the provision of one-half space per bedroom is appropriate given affordability, with a further 25 percent reduction if units are transit proximate such as the subject project;
6. The subject site is situated on Geneva Avenue, between Schwerin Street and Allen Street. This area is characterized by a mixture of single-family residences, commercial/recreational (Cow Palace), and heavy utility (PG and E substation) uses. Given the size and shape of the subject property, together with adjacent land uses, a high-density development consisting of 43 condominium units is the highest and best use of the subject property;
7. The project will minimize the risk to existing public improvements and adjacent private property by providing controlled stormwater runoff from the site to City facilities in full compliance with Order R-2 NPDES Permit No. CAS612008 and Order No. 2010-0014-DWQ, NPDES No. CAS000002, the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit;
8. The proposed project consists of six townhouses, all of which will be subject to Building Code requirements that set forth minimum safety standards for new construction. Other City and State regulations will assure that public health is not at risk;
9. Access to the proposed new lots and utilities for the lots would be available from existing adjacent roads. No structures of any kind will be built over the property lines. Where necessary, permits for utility connections for the new townhouses would be obtained from the City of Daly City and/or the Bayshore Sanitary District;
10. The condominium project will not have a detrimental effect on sound community planning, the economic, ecological, cultural and aesthetic qualities of the community, and on public health, safety and general welfare;
11. The overall impact on schools, parks, utilities, neighborhood streets, traffic, parking and other community facilities and resources will not be detrimental;
12. General site considerations, including site layout, open space and topography, orientation and location of buildings, vehicular access, circulation and parking, setbacks, heights, walls,

fences, public safety and similar elements have been designed to provide a desirable environment;

13. General architectural considerations, including the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements have been incorporated in order to insure the compatibility of this development with its design concept and the character of other adjacent buildings;
14. The applicant's proposal is consistent with the City's Small Residential Design Guidelines, which require that the applicant recess the third floor of the building's front elevation, provide a recessed garage door and pedestrian entrance, and replicate the front façade architectural materials and details onto the visible side walls of the building. The proposed homes would be constructed to provide alternating siding materials and articulated walls to ensure that the home relate to the architectural character of older residential buildings in the neighborhood;
15. General landscape considerations of Chapter 17.41, Landscaping, have been provided to insure visual relief, to complement buildings and structures and to provide an attractive environment for the enjoyment of the public; and
16. In effort to contribute to the affordability of the project, the City Council hereby waives the park in-lieu fees that would otherwise apply to Major Subdivision SUB-1-19-13832. The General Plan encourages the provision of financial incentives in Policy HE-10, which allows the use the financial resources available to the City to reduce the cost and increase the amount of affordable housing.

Conditions of Approval

The Planning Commission recommends the City Council approve General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The project shall be valid only in conjunction with detailed plans submitted and approved by the City Council and Design Review Committee. Any modifications required due to the Conditions of Approval and minor changes to the plan, must be approved by the Planning Division. Major site or architectural modifications shall be treated as an amendment and shall be subject to a new Design Review application.

2. The tentative subdivision map and use permit approvals granted herein shall be valid for a period of two years. If a final map has not been approved within this timeframe, the applicant shall apply for a time extension for both within six months of the map and use permit expiration.
3. Prior to approval of the Final Map for the residential portion of the project, the applicant shall pay park-in-lieu fees, in compliance with DCMC Chapter 16.30 Parkland Dedications. Per DCMC Section 16.30.060, the in-lieu fee shall be based upon said dedication requirement. Per DCMC Section 16.30.090, in-lieu fees are required to be paid to the City of Daly City. The project is subject to full compliance with DCMC Chapter 16.30 Parkland Dedications, unless such fees are waived by resolution of the City Council.
4. Prior to the issuance of a building permit for the residential portion of the project, the applicant shall enter into an Affordable Housing Agreement with the City, identifying the dedication of units or payment of fees consistent with the approved Affordable Housing Plan. The Agreement shall be recorded against the property prior to building permit issuance. Failure to abide to the Agreement may result in code enforcement action by the City.

Property Owners Association

6. The applicant shall establish a Homeowners Association (HOA) for the purpose of enforcing the project Code, Covenants, and Restrictions (CCRs), and maintaining all commonly owned private facilities, including, but not limited to, commonly-owned buildings, roads, landscaping, driveways, gates, fencing, retaining walls, stormwater treatment facilities, gates, and other facilities.
7. The HOA shall be professionally managed by Habitat for Humanity or a management company acceptable to the City. The HOA by-laws and initial annual operating budget shall be reviewed and approved by the Planning Division prior to obtaining a white report from the California Department of Real Estate.
8. Leasing, renting, or otherwise allowing parking on the subject site free of charge by any HOA member for any off-site use or activity shall be specifically prohibited in the project CC and Rs.
9. The developer shall submit to the City Attorney, for review and approval, a copy of the Covenants, Conditions, and Restrictions (CC&Rs) that will apply to the development prior to recordation of the Final Map.
10. Prior to the recordation of a Final Map, the developer shall submit a maintenance plan, which clearly specifies methods and standards for performance of common responsibilities and maintenance for the townhouse building and landscaping. The maintenance plan shall identify specific fees to be assessed for such purposes and shall include a budget acceptable to the City for major repairs and extraordinary expenses.

Building Design

11. Recessed garage security lighting shall be installed at the underside of each garage and porch soffit.
12. Each townhouse unit shall receive common window coverings at initial construction acceptable to the Planning Division.
13. A 40-year roof acceptable to the Planning Division be installed at initial construction.

Site Design

14. The design of wooden privacy fences associated with individual townhouses units shall be approved by the Planning Division and such fences shall be included in the building permit submittal packages. Fences shall be of a high quality construction, stained dark brown or other stain color approved by the Planning Division. Tubular metal fences shall be exempt from this staining requirement.

Landscaping

15. A detailed landscape plan shall be submitted at the time of building permit application. The plan shall incorporate box-specimen trees a variety of trees and shrubs to provide an attractive tree canopy and ground cover throughout the subdivision.
16. All yard areas associated with the development shall be landscaped, including the area located in the public right-of-way behind the City sidewalk. The applicant shall submit landscape plans, including irrigation plans, for review and approval by the Planning Division. The irrigation system shall be professionally installed and include an automatic timing device.
17. All landscaped areas shall be maintained in a vigorous and healthy condition. Dead and dying plants shall be removed and replaced as necessary. Disturbed areas of the project site not intended for development shall receive appropriate groundcover or a hydroseed mix approved by the Planning Division.
18. The landscape plan shall identify an excavation plan for all trees that provides a sufficient trench to allow for root expansion, as determined by the City. Tree trenches shall be inspected by the City for size prior to tree installation.
19. The applicant shall provide establishment irrigation, and where necessary, long-term irrigation to all trees, shrubs, and groundcover.
20. The applicant shall triple-stake all trees and this staking shall be subject to initial inspection by the City. Trees shall remain triple-stake through the establishment period and tree staking shall be subject to the annual inspection identified above.

B. BUILDING DIVISION

21. Building design shall conform with accessibility requirement per CBC Chapter 11B when public funding is used to construct the building.
22. If this project is not considered to be publicly funded, accessibility shall conform with CBC Chapter 11A if the design of the building has 3 or more units (CRC R320).
23. Rear access to the public way shall be a recorded "Easement" with no fencing or accessory structures will be allowed. The rear access is provided to comply with emergency escape and rescue requirements for bedroom windows (CRC R310 and DCMC 15.10.140).

C. ENGINEERING DIVISION

24. The applicant shall comply with the applicable requirements of the City of Daly City General Conditions of Approval: Use Permits, Variances, Design Reviews, Planned Developments, and Subdivisions, in effect at the time of subdivision and design review application submittal, final map submittal and/or at the time of building permit application.
25. A Subdivision Improvement Plan which includes an Erosion and Sedimentation Control plan shall be submitted for review and approval by the City Engineer prior to commencement of any improvement work. This plan shall conform to all standards adopted by the City of Daly City and shall comply with all appropriate requirements of the City's NPDES Permit relative to grading and sediment erosion control.
26. No permanent building encroachment including but not limited to: awnings, canopies, marquees, signs, windows, balconies, architectural features and mechanical equipment shall be allowed in the Right-Of-Way without the written authorization of the City Engineer.
27. The applicant may be required to restore existing street frontage pavements with a minimum of two inches of new AC to the satisfaction of the City Engineer.
28. All project improvements shall be ADA compliant. The applicant shall repair, replace and make the sidewalk along all the property frontages ADA compliant to current City Standards to the satisfaction of the City Engineer.
29. Following new utility installation, the applicant shall replace areas of street pavement, sidewalk, curb, and gutter damaged by construction. Such repair shall be per City standard specifications.
30. All street trees and landscaping proposed shall be maintained by the HOA in perpetuity, with irrigation tied to and maintained by the HOA.
31. Republic Services shall review and approve the circulation route for their solid waste collection services vehicles.

32. Provide at least one large temporary project sign during construction that includes basic project information and a phone number where members of the public may report problems and obtain information or assistance as needed.
33. Grading exceeding 50 cubic yards shall require approval of plans and a grading permit. A licensed Civil Engineer shall prepare the grading plans and erosion control plan in conformance with a soil report prepared by a licensed soil engineer or qualified civil engineer in compliance with the NPDES requirements prior to any development on the property.
34. A Grading and Construction Operation plan shall be submitted by the subdivider for review and approval by the City Engineer prior to issuance of any permits of subdivision improvements. The Grading/Construction Operation plan shall address truck traffic, issues regarding dust, noise, and vehicular and pedestrian safety, storage of construction materials, placement of sanitary facilities, parking for construction vehicles, and parking for construction personnel.
35. All electrical and telecommunications services shall be provided through underground connections. There shall be no overhead drops.
36. The project's electrical transformer shall not be installed within the public right-of-way.
37. Easements shall be provided for any existing utilities found to be within the property.
38. Drainage to the public storm drain system shall be through pipes under the sidewalk, as drainage over the sidewalk is not permitted. The rate of flow to the City's Storm Drain System shall not exceed predevelopment rate. The development shall provide infiltration or detention for increment of drainage flow for a 10-year/2 hour frequency storm event.
39. Hydraulic calculations along with a letter from the engineer of record indicating that the proposed storm drain system does not increase runoff above the pre-development condition shall be submitted for review and approval by the City Engineer prior to approval of Subdivision Improvement Plans.
40. All storm water compliance and detention facilities shall be located on private property and maintained by the HOA. Storm water compliance measures shall include provisions for full trash capture in the catch basins. A Storm Water Treatment Measures Maintenance Agreement will be required and must be included in the Covenants, Conditions and Restrictions (C.C.R.'s) of the Homeowners Association Agreement.
41. Prior to requesting approval for the Final Map, all improvements, including on- and off-site improvements, and all public service and utility facilities required to serve the development, shall be completed by the applicant, or the applicant shall enter into a Subdivision Improvement Agreement with the City to complete the improvements within the time limit specified by the City.

42. All subdivision Conditions of Approval and subdivision improvements shall be satisfied and constructed to the satisfaction of the City Engineer or bonded for prior to approval of the Final Map. All appropriate fees shall be paid prior to the approval of the Final Map.
43. Common improvements shall not be located on private property without appropriate easements.
44. The applicant shall submit one set of mylars of the final as-built drawings.

D. FIRE DEPARTMENT

45. A sprinkler system is required for all new facilities per NFPA 13D. Project plans shall be submitted to the Fire Department for review and approval as a deferred submittal to the building permit issuance.
46. Smoke Detectors and CO monitors required per CBC.
47. Clearly visible address identification required.

E. DEPARTMENT OF WATER AND WASTEWATER RESOURCES

48. Daly City Specifications shall be followed at all times.
49. Individual services for each dwelling unit are required.
50. Service shall be to the front of the properties from the 12 inch water main on Geneva Avenue.
51. Each service shall be a combination domestic/ fire service per Detail W-2.
52. An irrigation service shall be required and shall follow Detail W- 1.
53. A caged, reduced pressure principle backflow device is required for the irrigation service and shall follow Detail W-10.
54. Meter boxes shall be placed in the sidewalk, 12 inches behind curb, shall not be located in the driveway and shall be Christy Oldcastle B1017 with steel checker plate lid.
55. Within the property, Daly City/ North San Mateo County Sanitation District Specifications shall be followed.
56. Within the right of way, Bayshore Sanitary District specifications shall be followed.
57. Individual sewer laterals for each dwelling unit are required.
58. Sewer laterals shall be to the front of the property.

59. A clean out is required 18 to 24 inches outside the building foundation and shall follow Detail SS - 10.

60. Sewer lateral material shall be SDR 26 PVC within the property.

F. BAYSHORE SANITARY DISTRICT

61. The applicant shall submit a Class Four application to the Bayshore Sanitary District for further review of the project. The applicant shall pay connections fees to the District based on the current adopted Bayshore Sanitary District rate schedule.

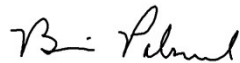
Recommendations

The Planning Commission recommends that the City Council do the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-113830, Major Subdivision SUB-1-19-13832, and Design Review DR-1-19-13833, subject to the Conditions of Approval identified herein.

Staff is available to provide any additional information desired by the Council members.

Respectfully submitted,



Brian Paland
Assistant Planner



Tatum Mothershead
Director of Economic and Community
Development

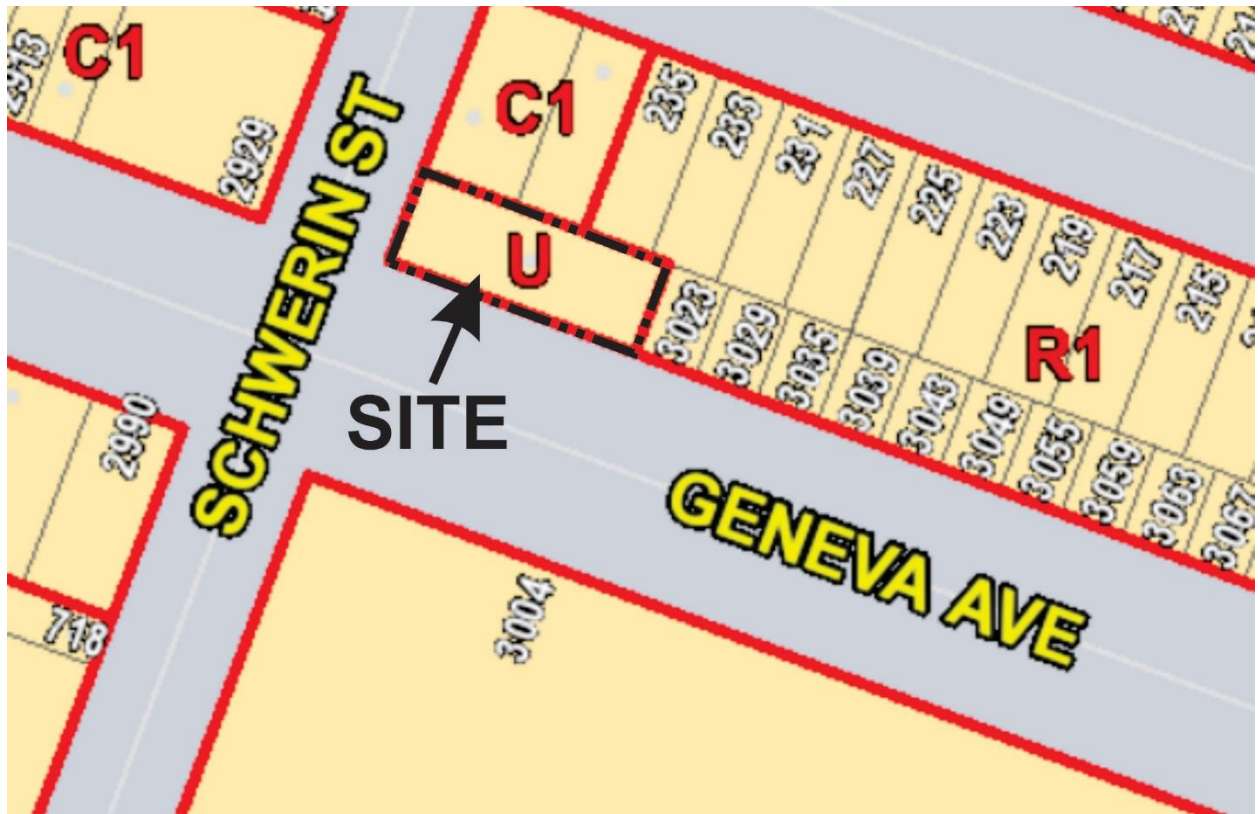
Attachments

Attachment A – Site Location

Attachment B – Project Narrative

Attachment C – Project Plans

Attachment D – Initial Study/Negative Declaration



3001 Geneva Avenue
6 Unit Townhome Development
100% Affordable Homeownership Development



Prepared For: The City of Daly City

Submitted by: Habitat for Humanity of Greater San Francisco

Submitted On: January, 4, 2019

Project Description:

Habitat for Humanity of Greater San Francisco (HFHGSF) is excited to propose a new, 100% affordable housing development at 3001 Geneva Avenue in Daly City. The proposed project will be six (6) three-story, 3-bedroom and 1.5-bathroom, townhouse style, condominiums. Each condominium will be sold, affordably, to a family that meets Habitat's program and qualification criteria.

Habitat's mission is to provide high quality safe, decent, affordable, and sustainable housing to hard working clients in San Francisco, Marin, and San Mateo Counties. Since 1989, Habitat Greater San Francisco has built 248 homes in our tri-county service area and is working to grow our development pipeline.

HFHGSF will act as the developer and general contractor for the project, utilizing a mix of our highly trained staff, volunteer workforce, and hired trade professionals to build the highest quality affordable housing project that will be a benefit and asset to the community.

Project features will include:

- Six (6) 3 bedroom and 1.5 bathroom units
- One (1) off-street garage parking space for each unit
- Rear yard area to provide outdoor space for each unit
- Ample glazing to provide maximum daylighting
- Each unit will be a Green Point Rated to ensure a healthy, sustainable and energy efficient home

Project Details:

- Construction will be a slab on grade with three (3) wood framed stories above
- Property Size: 6,142 sq. ft (0.14 acres)
- Proposed Building Size: 11,017 sq. ft.
- Dwelling Units per Acre (DUA): 43

HFHGSF underwent a Pre-Application Review with the City of Daly City, receiving feedback in July 2018. The feedback and guidance provided by the City has been incorporated in the enclosed documentation in this submittal. An enclosed response letter specifically details how Habitat has responded to each individual comment.

Current Use:

3001 Geneva Avenue is a 6,142 sq. ft. vacant, flat, rectangular parcel on the corner of Geneva Avenue and Schwerin Street in the Bayshore neighborhood of Daly City. Located approximately a quarter mile east of the Cow Palace, the site was formerly a fire station, but has been vacant and unused for over a decade. Habitat for Humanity acquired the property from the City of Daly City with the express purpose of developing affordable housing at this location.

Density and Entitlements

The site is currently un-zoned and has a General Plan designation of Low Density. Because there are 1,500 square foot lots fronting Geneva Avenue east of the project site, Habitat is requesting a General Plan Amendment to have the site re-designated as Residential Medium-Density (R-MD).

In addition to the General Plan amendment, Habitat is also requesting that the project site be re-zoned to R-3 Multi-Family Residential. The R-3 zoning would best meet the needs of the proposed development. The project's design team, led by David Crabbe Architects, has designed the project to meet all the requirements of R3 zoning, as indicated in the enclosed documentation, subject to two concessions explained below.

Density Bonus

Pursuant with California Government Code Sections 65915 – 65918, Habitat is requesting an increase in density to allow the construction of six (6) affordable housing units on this site.

- The requested designation of R-MD would allow for a DUA of 35 (or 4.9 units).
- The proposed project includes 6 units on a 0.14-acre site for a DUA of 43.

100% of the proposed units will be sold to individuals considered lower income per Density Bonus Code and the criteria set forth in Subparagraph (b)(1)(A). Because the development is 100% affordable, HFHGSF is allowed to request an increase of density up to 35%. The proposed development is requesting an increase of 22% (from 4.9 units to 6 units).

Building fewer than six units on this site would greatly undermine the project's feasibility – fewer units would increase the cost per unit, decrease the mortgage revenue, and make the project much more difficult to fund in our non-profit business model. Habitat also believes the proposed development will be an asset to the community: it will provide much needed affordable housing for lower-income families, fits well within the Bayshore community, and is consistent with the General Plan.

In order to meet the requirements of this density bonus request, the project requires two concessions regarding development standards:

Parking Concession

Habitat is requesting a concession to the number of off-street parking spaces provided by the development. The city's requirement for off-street parking for a 100% affordable housing development is 1.5 spaces per unit. The project proposes to provide one (1) off-street parking space per unit – this concession is being requested in order to make the financially feasible. Requiring additional parking would change the design, layout, and overall quality of the project and dramatically increase the cost of each unit. This added cost burden would ultimately lower the amount of affordable housing units provided.

To support this parking concession request, below is a listing of transit options within one half-mile of the project site. Several of these options qualify as a major transit stop per the Density Bonus Code (defined as a stop with a frequency of at least every 15 minutes during peak commute hours). As you can see, the project will provide future homeowners a wide array of nearby transit options. Habitat believes this provides strong support for our concession request.

San Francisco Municipal Transportation Agency (SFMTA)

- 9R San Bruno Rapid – Every 9 minutes to downtown SF
- 8 AX Bayshore Express – Every 6 minutes to downtown SF
- 8 BX Bayshore Express – Every 7 minutes to downtown SF/City College/Balboa Park Bart
- 91 3rd-19th Ave OWL -- Late night/early morning, every 30 minutes to downtown SF / SFSU

San Mateo County Transit District (SamTrans)

- Route 292 – Every 30 minutes to downtown SF / SFO Airport and South
- Route 24 – Daily School route to Jefferson High, Westmoor High, Summit Shasta High
- Route 29 – Daily School route to Lipman Middle School

CalTrains

- Daily Free Shuttle Service to Bayshore Station

Setback Concession

The project is also requesting concession to a 3rd floor step-back requirement. Current R-3 code requires a 4' step-back on the 3rd floor. Habitat is requesting a concession to not step-back the 3rd floor in order to provide adequate square footage in each unit. Because this project provides 100% affordable housing, HFHGSF believes this concession should be allowed per the Density Bonus Code.

The proposed project adheres to Habitat's general design and program guidelines; 3-Bedroom units are standard and meet the typical needs of qualified applicants. Without this exception, the square footage of each unit would decrease, the number of bedrooms would decrease, units would be less desirable, and it would be more difficult to find qualified homeowners.

HFHGSF believes these two concessions to current development standards -- a parking reduction and the 3rd floor step-back -- are critical for the feasibility of this project. The proposed project is 100% affordable and will serve clients identified as lower income -- as such HFHGSF believes these concessions should be allowed per the Density Bonus Code. Without these concessions, the design and layout of the project would drastically change, the cost per unit would increase, mortgage revenue would decrease, and it would be more difficult for Habitat to build and sell these units as affordable housing.

Easements

As indicated on our Boundary Survey, there is a 4' pole easement held by PG&E at the rear of the subject property. This 4' easement was recorded on March 1, 1924, is identified on our current tile report, and is included in our documentation package. There is no language in the attached easement that prevents Habitat from building a fence along the easement line; proper egress and access will be provided. Final details to be confirmed with PG&E during construction documentation.

Construction & Schedule

HFHGSF is an experienced and highly qualified licensed and insured general contractor. Habitat will serve as the developer and general contractor for this proposed development. Construction will be completed by our highly trained and skilled staff and use a mix of a volunteer workforce and hired trade professionals. The jobsite will be consistently staffed by a member of the HFHGSF staff.

Construction for the project will occur over an approximate 20-month period. Construction will be limited between 7 a.m. to 6 p.m. during weekdays and 8 a.m. to 5 p.m. on Saturdays. No construction will occur on Sundays or holidays.

About Habitat

Habitat for Humanity Greater San Francisco is a non-profit affordable housing developer that builds homes and sustains affordable homeownership opportunities for families in Marin, San Francisco, and San Mateo counties. We believe that everyone should have safe, healthy, and affordable places to live, play, and grow. And we believe there's power in numbers — and that by mobilizing our own neighbors, we can change people's living situations for the better. Our values focus on building partnerships, equity, stability, and legacy.

With the support of community and public investment, Habitat for Humanity Greater San Francisco provides a fantastic opportunity for local families: a home at zero-down payment, zero percent interest, and a 30-year mortgage with monthly payments set at no more than 30 percent of their household income.

In lieu of a down payment, first-time homebuyers put in 500 hours of "sweat equity" to build their future homes and the homes of their neighbors. With no interest on their mortgage, families start saving as homeowners from day one in their Habitat home. Habitat has provided homeownership opportunities for more than 248 local families, and we remain the only provider of affordable homeownership opportunities in Marin, San Francisco, and San Mateo counties that serves households in the 40% - 80% area median income range (AMI).



PROPOSAL FOR SIX 100% AFFORDABLE HOUSING UNITS
ON VACANT SITE AT 3001 GENEVA AVENUE

LIST OF DRAWINGS

ARCHITECTURAL:

- D-0 TITLE SHEET
- D-1 SITE PLAN / FLOOR PLANS
- D-2 MISCELLANEOUS PERSPECTIVES
- D-3 EXTERIOR ELEVATIONS W/ LANDSCAPING
- D-4 EXTERIOR ELEVATIONS W/ DMENSIONS & NOTES

CIVIL:

- C1 TENTATIVE MAP
- C2 TOPOGRAPHIC SURVEY
- C3 GRADING & DRAINAGE PLAN
- C4 UTILITY PLAN
- C5 CONSTRUCTION DETAILS
- C6 EROSION CONTROL PLAN
- C7 CONSTRUCTION BMPS

LANDSCAPE:

- L-1.0 PLANTING PLAN
- L-2.0 HYDROZONE PLAN
- L-2.1 IRRIGATION DETAILS

REVISIONS	BY

DAVID CRABBE
ARCHITECT
289 CRESTVIEW
DRIVE
SAN CARLOS, CA.
94070
(650) 631-8614

APPLICANT
HABITAT FOR
HUMANITY GSF
500 WASHINGTON ST.
SUITE 250
SAN FRANCISCO, CA
TEL. (415) 625-1045

SIX HOUSES FOR
HABITAT FOR HUMANITY GSF
3001 GENEVA AVENUE, DALY CITY, CA.

TITLE
SHEET

DATE: DEC. 19, 2018

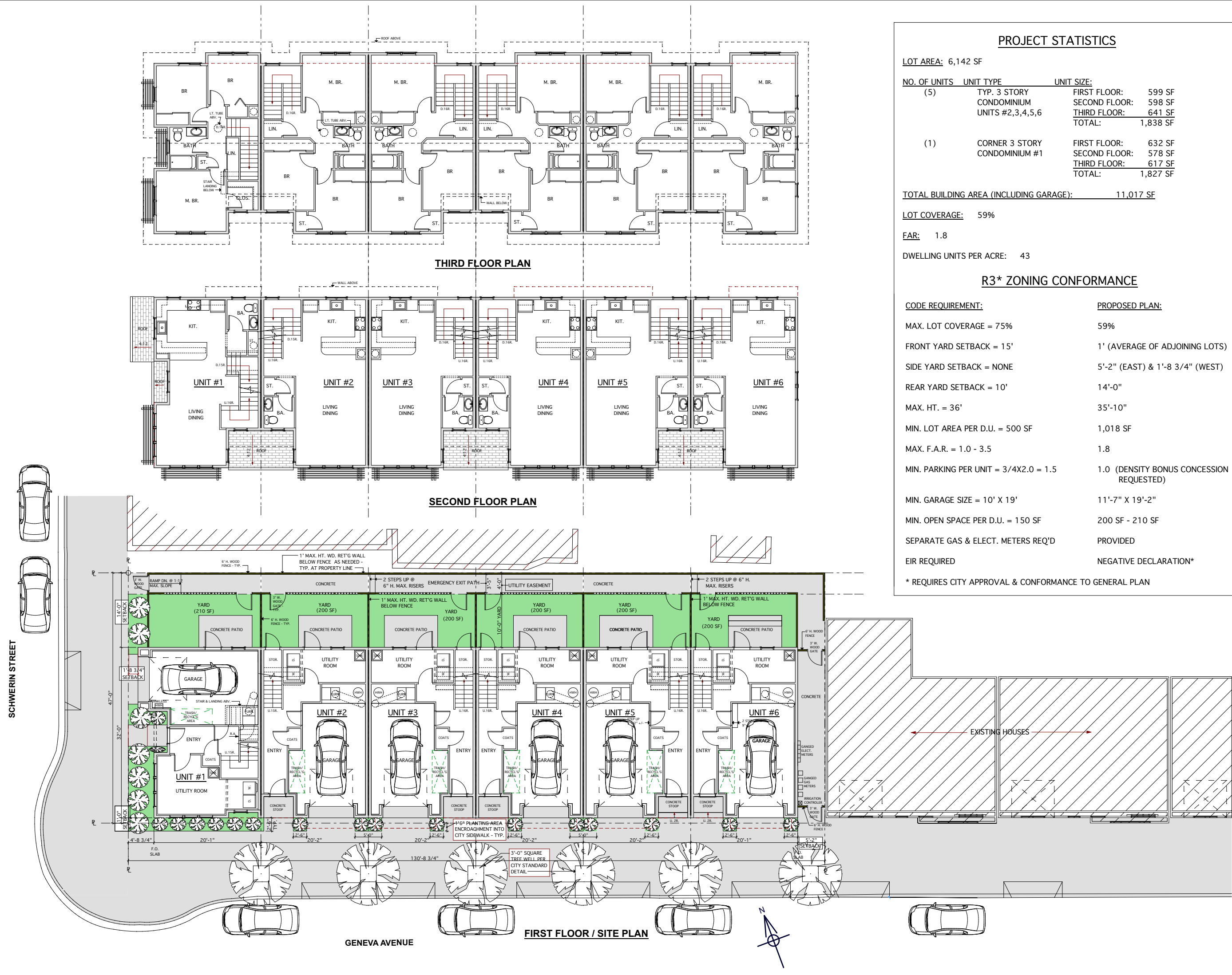
SCALE:

DRAWN: DC

JOB: 7101

D-O

OF SHEETS



PROJECT STATISTICS			
LOT AREA: 6,142 SF			
NO. OF UNITS	UNIT TYPE	UNIT SIZE:	
(5)	TYP. 3 STORY CONDOMINIUM UNITS #2,3,4,5,6	FIRST FLOOR:	599 SF
		SECOND FLOOR:	598 SF
		THIRD FLOOR:	641 SF
		TOTAL:	1,838 SF
(1)	CORNER 3 STORY CONDOMINIUM #1	FIRST FLOOR:	632 SF
		SECOND FLOOR:	578 SF
		THIRD FLOOR:	617 SF
		TOTAL:	1,827 SF
TOTAL BUILDING AREA (INCLUDING GARAGE):		11,017 SF	
LOT COVERAGE:		59%	
FAR:		1.8	
DWELLING UNITS PER ACRE:		43	
R3* ZONING CONFORMANCE			
CODE REQUIREMENT:		PROPOSED PLAN:	
MAX. LOT COVERAGE = 75%		59%	
FRONT YARD SETBACK = 15'		1' (AVERAGE OF ADJOINING LOTS)	
SIDE YARD SETBACK = NONE		5'-2" (EAST) & 1'-8 3/4" (WEST)	
REAR YARD SETBACK = 10'		14'-0"	
MAX. HT. = 36'		35'-10"	
MIN. LOT AREA PER D.U. = 500 SF		1,018 SF	
MAX. F.A.R. = 1.0 - 3.5		1.8	
MIN. PARKING PER UNIT = 3/4X2.0 = 1.5		1.0 (DENSITY BONUS CONCESSION REQUESTED)	
MIN. GARAGE SIZE = 10' X 19'		11'-7" X 19'-2"	
MIN. OPEN SPACE PER D.U. = 150 SF		200 SF - 210 SF	
SEPARATE GAS & ELECT. METERS REQ'D		PROVIDED	
EIR REQUIRED		NEGATIVE DECLARATION*	
* REQUIRES CITY APPROVAL & CONFORMANCE TO GENERAL PLAN			

REVISIONS BY

DAVID CRABBE ARCHITECT
289 CRESTVIEW DRIVE
SAN CARLOS, CA. 94070
(650) 631-8614

APPLICANT
HABITAT FOR HUMANITY GSF
500 WASHINGTON ST. SUITE 250
SAN FRANCISCO, CA. TEL. (415) 625-1045

SIX HOUSES FOR HABITAT FOR HUMANITY GSF
3001 GENEVA AVENUE, DALY CITY, CA.

SITE PLAN / FLOOR PLANS

DATE: DEC. 27, 2018
SCALE: 1/8" = 1'-0"
DRAWN: DC
JOB: 7101

D-1

OF SHEETS



GENEVA AVENUE PERSPECTIVE LOOKING NORTHEAST



GENEVA AVENUE PERSPECTIVE LOOKING NORTHWEST



AERIAL VIEW FROM GENEVA



GENEVA AVENUE SIDEWALK LOOKING WEST



SCHWERIN STREET LOOKING SOUTH

REVISIONS	BY

**DAVID CRABBE
ARCHITECT**
289 CRESTVIEW
DRIVE
SAN CARLOS, CA.
94070
(650) 631-8614

APPLICANT
HABITAT FOR
HUMANITY GSF
500 WASHINGTON ST.
SUITE 250
SAN FRANCISCO, CA.
TEL. (415) 625-1045

**SIX HOUSES FOR
HABITAT FOR HUMANITY GSF**
3001 GENEVA AVENUE, DALY CITY, CA.

**MISC.
PERSP.**

DATE:
DEC. 19, 2018

SCALE:

DRAWN: DC

JOB:
7101

D-2

OF SHEETS

REVISIONS	BY

DAVID CRABBE
ARCHITECT
 289 CRESTVIEW
 DRIVE
 SAN CARLOS, CA.
 94070
 (650) 631-8614

APPLICANT
 HABITAT FOR
 HUMANITY GSF
 500 WASHINGTON ST.
 SUITE 250
 SAN FRANCISCO, CA.
 TEL. (415) 625-1045

SIX HOUSES FOR
HABITAT FOR HUMANITY GSF
 3001 GENEVA AVENUE, DALY CITY, CA.

EXT.
 ELEV. W/
 TREES &
 MAT'LS
 LIST

DATE:
 DEC. 19, 2018
 SCALE:
 1/8" = 1'-0"
 DRAWN:
 JOB:
 7101

D-3
 OF SHEETS



SOUTH (GENEVA) ELEVATION



WEST ELEVATION



EAST ELEVATION

BUILDING MATERIALS / COLORS

EXTERIOR SIDING - 8.25" HARDIEPLANK LAP SIDING, 7" EXPOSURE, SELECT CEDARMILL, PRE-FINISHED, KHAKI BROWN & NAVAJO BEIGE, PER EXTERIOR ELEVATIONS

SOFFITS - HARDIESOFFIT, CEDARMILL, PRE-FINISHED, NAVAJO BEIGE

WINDOW TRIM, BELLY BAND, FASCIAS, & CORNER TRIM - SMOOTH, PRE-FINISHED, WHITE - 2X4, 2X6, & 2X8, PER EXTERIOR ELEVATIONS

WINDOWS - MILGARD TRINSIC OR EQUAL, WHITE PVC FRAME, SINGLE HUNG, HORIZ. SLIDERS, & CASEMENT WINDOWS PER ELEVATIONS, DOUBLE-GLAZED, LOW-E GLASS, MATCHING INSECT SCREEN

FRONT ENTRANCE DOORS - METAL OR FIBERGLASS paneled door w/ TWO GLAZED LITES; PRE-PRIMED; FRAME FINISHED WITH TWO COATS SEMI-GLOSS ENAMEL TO MATCH WHITE TRIM; PRE-PRIMED DOOR, FINISHED WITH TWO COATS SEMI-GLOSS PAINT, TO MATCH NAVAJO BEIGE SIDING

BACK DOORS - METAL OR FIBERGLASS FLUSH DOOR w/ ONE GLAZED LITE; PRE-PRIMED FRAME FINISHED WITH TWO COATS SEMI-GLOSS ENAMEL TO MATCH WHITE TRIM; PRE-PRIMED DOOR, FINISHED WITH TWO COATS SEMI-GLOSS PAINT TO MATCH NAVAJO BEIGE SIDING

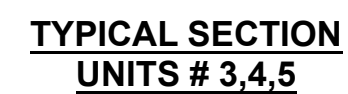
GARAGE DOORS - METAL OVERHEAD w/ GLAZING, PRE-PRIMED, FINISHED WITH TWO COATS SEMI-GLOSS LATEX, TO MATCH KHAKI BROWN SIDING

ROOFS - CLASS A FIRE RESISTANT COMPOSITION SHINGLES, 40 YEAR WARRANTY - GAF TIMBERLINE COOL SERIES, BARKWOOD COLOR

SITE FENCES - CONSTRUCTION HEART REDWOOD BOARDS, UNFINISHED



NORTH ELEVATION

[illegible]



CEQA Environmental Checklist

PROJECT DESCRIPTION AND BACKGROUND

Project Title:	Habitat for Humanity 6-Unit Townhomes
Project File Numbers:	General Plan Amendment GPA-1-19-13827, Zone Change ZC-1-19-13828, Use Permit UPR-1-19-13830, Major Subdivision SUB-1-19-13832, Design Review DR-1-19-13833, and Environmental Review CEQA-1-19-13834
Lead agency name and address:	City of Daly City 333 90 th Street ECD Department, Daly City, CA 94015
Contact person and phone number:	Brian Paland Assistant Planner (650) 991-8035
Project Location:	3001 Geneva Avenue Daly City, CA 94014 Assessor's Parcel Number: 015-072-310
Project sponsor's name and address:	Habitat for Humanity Greater San Francisco 500 Washington Street, Suite 250 San Francisco, CA 94111
General Plan description:	Residential – Low Medium Density (proposed for amendment to Residential Low Density)
Zoning:	R-3 Medium Density Residential
Description of project: (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation.)	The proposal includes subdividing a vacant 0.14-acre property for the purpose of constructing six three-story townhomes. The proposal would amend the General Plan designation for the site to Residential – Medium Density and the zoning to R-3 – Multiple Family Residential District.
Surrounding land uses and setting; briefly describe the project's surroundings:	The project site is surrounded by a mix of single-family and light commercial uses
Other public agencies whose approval is required (e.g. permits, financial approval, or participation agreements):	None

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. Please see the checklist beginning on page 3 for additional information.

☐	Aesthetics	☐	Agriculture and Forestry	☐	Air Quality
☐	Biological Resources	☐	Cultural Resources	☐	Geology/Soils
☐	Greenhouse Gas Emissions	☐	Hazards and Hazardous Materials	☐	Hydrology/Water Quality
☐	Land Use/Planning	☐	Mineral Resources	☐	Noise
☐	Population/Housing	☐	Public Services	☐	Recreation
☐	Transportation/Traffic	☐	Utilities/Service Systems	☐	Mandatory Findings of Significance

DETERMINATION:

On the basis of this initial evaluation:

☒	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
☐	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
☐	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
☐	I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
☐	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required

Signature: 	Date: 4/24/19
Printed Name and Title: Brian Paland, Assistant Planner	

INITIAL STUDY CHECKLIST:

This checklist identifies physical, biological, social and economic factors that might be affected by the proposed project. In many cases, background studies performed in connection with the projects indicate no impacts. A NO IMPACT answer in the last column reflects this determination. Where there is a need for clarifying discussion, the discussion is included either following the applicable section of the checklist or is within the body of the environmental document itself. The words "significant" and "significance" used throughout the following checklist are related to CEQA, not NEPA, impacts. The questions in this form are intended to encourage the thoughtful assessment of impacts and do not represent thresholds of significance.

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
I. AESTHETICS: Would the project:				
a) Have a substantial adverse effect on a scenic vista	☐	☐	☐	☒
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway	☐	☐	☐	☒
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	☐	☐	☐	☒
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	☐	☐	☐	☒

Discussion of Evaluation:

The applicant provided architectural concept drawings which show the project as three-story six unit townhome with one-car garages, approximately 1,800 square feet in size. The elevation drawings identify traditional building materials such as horizontal lap siding with composition shingle roofs, which compliments the varied architecture of the adjacent structures.

Mitigation: None required.

II. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and the forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	☐	☐	☐	☒
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	☐	☐	☐	☒
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	☐	☐	☐	☒
d) Result in the loss of forest land or conversion of forest land to non-forest use?	☐	☐	☐	☒

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a previously developed site, surrounded by existing residential and commercial development in a fully urbanized area. There is no evidence of any agricultural activities on the site, nor within the surrounding vicinity of the site. The proposed project would not convert farmland to non-agricultural use. There is no Williamson Act contract for the site. The project site is not considered forest land as defined in Public Resources Code section 12220(g), or timberland as defined in Public Resources Code section 4526. The proposed development will not result in the loss of forest land or conversion of forest land to non-forest use.

Mitigation: None required.

III. AIR QUALITY: Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	☐	☐	☐	☒
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	☐	☐	☐	☒
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non- attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	☐	☐	☐	☒
d) Expose sensitive receptors to substantial pollutant concentrations?	☐	☐	☐	☒

e) Create objectionable odors affecting a substantial number of people?	☐	☐	☐	☒
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Bay Area Air Quality Management District (BAAQMD) adopted, *California Environmental Quality Act Air Quality Guidelines* in June, 2010 (Guidelines), to assist lead agencies in evaluating air quality impacts of projects and plans proposed in the San Francisco Bay Area Air Basin (SFBAAB). The Guidelines provides BAAQMD-recommended procedures for evaluating potential air quality impacts during the environmental review process consistent with CEQA requirements. Furthermore, the Guidelines contain instructions on how to evaluate, measure, and mitigate air quality impacts generated from land development construction and operation activities.

Operational-Related Impacts: In 2011, BAAQMD developed screening criteria to provide lead agencies and project applicants with a conservative indication of whether the proposed project could result in potentially significant air quality impacts. The screening criteria identified by BAAQMD are not thresholds of significance, but instead are generally representative of new development on greenfield sites without any form of mitigation measures taken into consideration. In addition, the screening criteria do not account for project design features, attributes, or local development requirements, such as Green Building requirements, that could also result in lower emissions.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of 6 townhome style dwelling units, no screening criteria identified in the BAAQMD guidelines would be exceeded by the project.

Community Risk and Hazard Impacts: To assist lead agencies in evaluating air quality impacts at the neighborhood scale, *Thresholds of Significance* have been established for local community risks and hazards associated with Toxic Air Contaminants (TACs) and Fine Particulate Matter (PM_{2.5}) with respect to siting a new source and/or receptor; as well as for assessing both individual source and cumulative multiple source impacts. The Guidelines recommend methods whereby local community risk and hazard impacts from projects for both new sources and new receptors can be determined based on comparison with applicable thresholds of significance and screening criteria and the Guidelines recommend mitigation measures for these impacts.

BAAQMD provides a Risk and Hazard Screening analysis process, to assist lead agencies in deciding whether there should be further environmental review. The process involves identifying emission sources within 1,000 feet of a project's fence line, conducting initial conservative screening, conducting advanced screening for more refined estimates, and conducting refined modeling analysis. Each step of the process either results in an assumption that the project will not have significant impact for risk and hazards and no further analysis is required, or the requirement to pursue the next step in the analysis process. If the risk and hazard estimates are not below the thresholds, after conducting the final step of refined modeling analysis, the project would have to implement risk reduction strategies.

There is one permitted emission source within 1,000 feet of the project boundary, Pacific Gas and Electric – Martin Generator at 3150 Geneva Avenue). After conducting initial conservative screening, by first identifying the estimated PM_{2.5}, cancer risk and hazard index values for the

identified permitted sources and comparing the estimates against the CEQA single source thresholds, then looking up PM2.5, cancer risk, and hazard index values for highways and major roadways based on the distance of the roadways from the project and whether the project is east/west or north/south of the roadway, the individual values for all the sources within 1,000 feet of the project were summed and the total compared against the cumulative thresholds. Both the Individual Project and Cumulative Thresholds of Risk and Hazards for new receptors is Compliance with a Qualified Community Risk Reduction Plan OR Cancer: >100 in a million (from all local sources); Non-cancer: >10.0 Hazard Index (from all local sources) (Chronic); and PM2.5: >0.8 µg/m³ annual average (from all local sources). Daly City has not prepared and adopted a Qualified Community Risk Reduction Plan so analysis was based on the latter criteria. Cumulative sums for the project resulted in Cancer Risk of 0.943 in a million (from all local sources); Non-cancer hazard index of 0.016; and PM2.5 of 0.09µg/m³. The construction-related thresholds for Risk and Hazards for new receptors are the same as the Operation Thresholds. All of the risk and hazard estimates were below the thresholds and based on this process, the proposed project can assume no significant impact for risk and hazards and no further analysis are needed.

Local Carbon Monoxide Impacts: The Guidelines contain a preliminary screening methodology that provides lead agencies with a conservative indication of whether the implementation of the proposed project would result in CO emissions that exceed the *Thresholds of Significance* shown in Table 2-1 of the Guidelines. The Guidelines state that a proposed project would result in a less-than-significant impact to localized CO concentrations if the following screening criteria is met: 1. Project is consistent with an applicable congestion management program established by the county congestion management agency for designated roads or highways, regional transportation plan, and local congestion management agency plans; 2. The project traffic would not increase traffic volumes at affected intersections to more than 44,000 vehicles per hour; and 3. The project traffic would not increase traffic volumes at affected intersections to more than 24,000 vehicles per hour where vertical and/or horizontal mixing is substantially limited (e.g., tunnel, parking garage, bridge underpass, etc.). According to the City's Traffic Engineer, a traffic study was not warranted due to the size of the project. The proposed project would not generate more than 100 net PM peak trips and therefore is consistent with the congestion management plan and all of the aforementioned preliminary screening criteria.

Construction Related Impacts:

Construction-related activities are those associated with the building of a project. Construction activities are typically short-term or temporary in duration; however, project-generated emissions could represent a significant impact with respect to air quality and/or global climate change.

The first step in determining the significance of construction-related criteria air pollutants and precursors is to compare the attributes of the proposed project with the applicable *Screening Criteria* listed in Section 3.5.1 of the Guidelines. If all of the *Screening Criteria* are met, construction of the proposed project would result in a less-than-significant impact to air quality. If not, then construction emissions need to be quantified. The development of the 6-unit subdivision met all of the criteria.

The second step in determining the significance of construction-related criteria air pollutants and precursors is to quantify the construction emissions. Staff utilized the BAAQMD's recommended URBEMIS (version 9.2.4) modeling program to quantify construction emissions for the proposed land use development project.

The daily average emissions of construction-related criteria air pollutants or precursors of the proposed 6-unit subdivision will not exceed any of the *Thresholds of Significance*, and the project therefore, would result in a less-than-significant impact to air quality.

All *Basic Construction Mitigation Measures* will be included in the design of the project design and implemented during construction. The project will not include uses or activities expected to create any objectionable odors affecting a substantial number of people. The project will not result in any significant deterioration of air quality.

Mitigation: None required.

IV. BIOLOGICAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	☐	☐	☐	☒
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	☐	☐	☐	☒
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	☐	☐	☐	☒
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	☐	☐	☐	☒
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	☐	☐	☐	☒

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	☐	☐	☐	☒
--	--------------------------	--------------------------	--------------------------	-------------------------------------

Discussion of Evaluation: The project site is previously developed land, surrounded by existing residential and commercial development in a fully urbanized area. There is no evidence of any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or United States Fish and Wildlife Service located on or near the subject property. There are no riparian habitats or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service located on or near the subject property.

There are no federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) that will be adversely affected through direct removal, filling, hydrological interruption, or other means, by the development of this project.

This project will not interfere with the movement of any native resident or migratory fish or wildlife species, as there are none present on or near this site; or with established native resident or migratory wildlife corridors, as there are none on this site; or impede the use of native wildlife nursery sites, as there are none in the project's vicinity.

There are no habitat areas on or bordering the site. The City has no tree preservation policies or ordinances. There is no adopted Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional or state habitat conservation plan at this site.

Mitigation: None required.

V. CULTURAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	☐	☐	☐	☒
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	☐	☐	☐	☒
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	☐	☐	☐	☒
d) Disturb any human remains, including those interred outside of formal cemeteries?	☐	☐	☐	☒

Discussion of Evaluation: The project site is previously developed land, surrounded by existing

residential and commercial development in a fully urbanized area. There are no known historical or archaeological resources or sites, as defined by §15064.5, on the subject site or within the immediate vicinity. There are also no known paleontological resources or unique geologic features on the subject site or within the immediate vicinity.

The project does not have the potential to cause a physical change, which would affect unique ethnic cultural values. Should evidence of cultural or historic artifacts be uncovered during subsequent development, work shall be halted in the area of the find. An archaeologist or historian, selected by the City, shall be consulted and shall determine the significance of the find; identify feasible mitigation measures to preserve, recover or document the find pursuant to the California Environmental Quality Act; and at that time the City shall specify the measures to be taken.

Mitigation: None required.

VI. GEOLOGY AND SOILS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42?	☐	☐	☐	☒
ii) Strong seismic ground shaking?	☐	☐	☒	☐

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction?	☐	☐	☐	☒
iv) Landslides?	☐	☐	☐	☒
b) Result in substantial soil erosion or the loss of topsoil?	☐	☐	☐	☒
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	☐	☐	☐	☒
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	☐	☐	☐	☒
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	☐	☐	☐	☒

Discussion of Evaluation: The site is not within a State of California designated Alquist-Priolo Earthquake Fault Zone, but is located in the San Francisco Bay Area, considered one of the most seismically active regions in the United States. Significant earthquakes have occurred in the Bay Area, and will continue to occur, with intensities varying, depending upon the magnitude of earthquake, the distance of the site from the causative fault, and the type of materials underlying the site.

According to the Safety Element of the Daly City General Plan, the subject site could experience "Very Strong" ground shaking intensity from an earthquake on the San Andreas Fault. Otherwise, according to more recent data prepared by the Association of Bay Area Governments (ABAG), "*On Shaky Ground, 2010*," there are three different types of ground shaking intensities shown in the project area: high, moderately high, and moderate. These intensities are projected from earthquakes on the San Andreas or other faults in the region.

No known active faults or fault traces are known to traverse the subject site. However, due to the proximity of the nearest active fault line, the San Andreas fault, approximately three miles west, the proposed development, along with all of the City of Daly City, engenders risk of seismic instability. Due to its proximity to the San Andreas Fault and the generally seismically active region, severe ground shaking is likely during the life of the structure(s), particularly during a major seismic event.

Another recently discovered fault, named the Mussel Rock fault, located about two miles southwest of the San Andreas fault, extending offshore at Mussel Rock, was identified in 1998. Although not extensively studied, this fault is not presently classified as active. Compared to the nearby San Andreas Fault, the Mussel Rock Fault is not currently considered to be a significant seismic hazard for the City of Daly City.

The project site is previously developed land, surrounded by existing residential and commercial development in a fully urbanized area. Soils reports are typically required wherever future development is intended, prior to grading or issuance of a building permit, as determined by the Building Official and/or City Engineer. The proposed buildings on the site will be subject to the building and safety requirements of the City of Daly City and the Uniform Building Code of the State of California, and based upon the observed geologic conditions of the site. No significant impact is expected.

Mitigation: No mitigation required beyond compliance with the Uniform Building Code.

VII. GREENHOUSE GAS EMISSIONS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	☐	☐	☐	☒
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	☐	☐	☐	☒

Discussion of Evaluation: BAAQMD's approach to developing a *Threshold of Significance* for Greenhouse Gas (GHG) Emissions is to identify the emissions level for which a project would not be expected to substantially conflict with existing California legislation adopted to reduce statewide GHG emissions needed to move us toward climate stabilization. If a project would generate GHG emissions above the threshold, it would be considered to contribute substantially to a cumulative impact and would be considered significant. The *Thresholds of Significance* for operational-related GHG emissions for land use development projects are either compliance with a qualified GHG Reduction Strategy; or annual emissions less than 1,100 metric tons per year (MT/yr) of CO₂ e; or 4.6 MT of CO₂ e/SP/yr (residents + employees). Land use development projects include residential, commercial, industrial, and public land use facilities. The City of Daly City has not adopted a qualified GHG Reduction Strategy.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of 6 townhomes, the screening criteria identified in the BAAQMD guidelines exceeded would not be exceeded by the project.

Additionally, the City of Daly City adopted a Green Building Ordinance in December, 2010 that requires all new residential construction to meet minimum requirements for Build It Green, LEED, or an equivalent third party rating system certification. Compliance with certification requirements of one of the aforementioned third party rating systems will translate into building

energy efficiency above what is required by Code, greater resource conservation in the demolition, construction and operation of the site, and healthier interior and exterior materials. According to the U.S. Environmental Protection Agency (EPA), buildings account for 38.9% of the nation's total carbon dioxide emissions—a major contributor to GHG emissions. Mandating green building practices in new residential construction will result in increased energy efficiency that can ultimately contribute toward lower GHG emissions and other pollutants.

Mitigation: None required.

VIII. HAZARDS AND HAZARDOUS MATERIALS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	☐	☐	☐	☒
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	☐	☐	☐	☒
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒

g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	☐	☐	☐	☒
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	☐	☐	☐	☒

Discussion of Evaluation: As part of the building permit process, all plans are reviewed for compliance with applicable Building and Fire Department requirements, pursuant to the Uniform Building and Fire Codes, and all other related City requirements. The referenced codes prescribe types of construction to protect safety.

The proposed 6-unit subdivision would not involve the routine transport, use, or disposal of hazardous materials. As such, there would be no risk of significant hazard to the public or the environment involving the release of hazardous materials into the environment. While the construction vehicles would typically use gas and diesel fuel, Best Management Practices (BMPs) would be utilized to ensure that no construction-related fuel hazards occur. No hazardous materials are currently present at the site. The proposed project would not result in the emission of hazardous materials, substances or hazardous waste.

The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

The site is not located within an airport land use plan, and would not result in a safety hazard for people residing or working in the project area. The site is not located within a private airstrip. The proposed project would not impair implementation or physically interfere with an adopted emergency plan or emergency evacuation plan.

The proposed project would ultimately result in the grading of the site and construction of townhomes on the 0.14-acre site. As previously stated, the site is currently vacant, all the surrounding land uses are fully developed, and the project site is considered an urban infill site that is located in an urban setting. The site is currently in a disturbed state and, as such, has been totally denuded of any native vegetation. The site is not within an area that is subject to wildland fires.

Mitigation: None required.

IX. HYDROLOGY AND WATER QUALITY: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?	☐	☐	☐	☒

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☐	☐	☒
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	☐	☐	☐	☒
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	☐	☐	☐	☒
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	☐	☐	☐	☒
f) Otherwise substantially degrade water quality?	☐	☐	☐	☒
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐	☐	☐	☒
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	☐	☐	☐	☒
j) Inundation by seiche, tsunami, or mudflow	☐	☐	☐	☒

Discussion of Evaluation: The project is within the jurisdiction of the City of Daly City and will be subject to compliance with San Mateo County Wide Water Pollution Program. As a requirement of Building Permit issuance, the project will be required to demonstrate compliance with program requirements. An initial review of the project for such compliance was issued by the City's third-party consultant, which found that the overall subdivision design and initial stormwater treatment measure proposed (stormwater treatment basins throughout the site) were feasible and could, upon minor modification, receive ultimate design approval.

There are no known subsurface water supplies in the project area. The City of Daly City Department of Water and Wastewater Resources is charged with all the City water quality compliances and has provided appropriate conditions of approval for the proposed project. The project will not draw on or deplete groundwater supplies.

Most project construction including grading and excavation will take place in the dry season to minimize immediate erosion/siltation effects, but some construction activities may extend into the winter months, though surface water runoff flows are anticipated to be minimal. Nevertheless, the project will be subject to the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit, intended to control pollution in storm water associated with construction activities. The project would not degrade water quality due to the implementation of BMPs to control pollution in runoff. These measures would reduce water runoff to a less than significant level.

The site is not located in a portion of Daly City that is within a 100-year flood hazard area. The project would not impede or redirect flood flows. Proposed ground elevations on the subject site are in excess of 200 feet above sea level. There are no impacts from flooding as a result of the proposed project. The project site located upland from the Pacific Ocean and San Francisco Bay, and is not likely subject to the potential effects of a seiche, tsunami (seismic wave) or volcanic hazard. No significant impact upon water resources would be anticipated.

Mitigation: None required.

X. LAND USE AND PLANNING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Physically divide an established community?	☐	☐	☐	☒
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	☐	☐	☒	☐
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	☐	☐	☐	☒

Discussion of Evaluation: The subject parcel is a 0.14-acre infill lot surrounded by a fully developed neighborhood. There is no potential that the project, as it is situated, to physically divide an established community.

The General Plan identifies the land use designation for the subject site as Residential – Low Density, which allows between 2 to 14.5 dwelling units per acre, and Public Facilities. Given that the proposed development is 6 units on 0.14 acres of land, the resulting project density would be 42 dwelling units per acre. This density is therefore not consistent with the current General

Plan land use designations and the applicant has therefore applied to amend the General Plan designation applicable to the property to Residential – Medium Density, which permits a maximum of 35 dwelling units per acre. At the proposed density, it would be necessary for the City to grant a density bonus, in compliance with California Government Code Sections 65915 – 65918.

There is no habitat conservation plan or natural community or natural community conservation plan adopted for this site or the near vicinity.

Mitigation: None Required.

XI. MINERAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	☐	☐	☐	☒
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	☐	☐	☐	☒

Discussion of Evaluation: No known mineral resources are located on the site, nor has the site been used for mineral resource extraction.

Mitigation: None Required.

XII. NOISE: Would the project result in:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	☐	☐	☒	☐
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	☐	☐	☐	☒
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☐	☒
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☒	☐
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒
) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒

Discussion of Evaluation: According to the Daly City General Plan Noise Element existing and projected noise contour maps, the project site is located in an area with Community Noise Equivalent Level (CNEL) of less than 60. According to the noise model developed for the City's General Plan in 2013, future noise levels are not expected to increase for this area. Within this noise contour, townhome units, such as those proposed, are considered "Normally Acceptable" and therefore no additional noise mitigation is required.

Construction noise will occur during project construction, as with all new construction projects, resulting in increased exterior noise levels within the project vicinity. Noise levels associated with construction activities such as excavation, ground clearing and finishing work range from 78 to 89 dBA at 50 feet from the noise source (Bolt, Beranek & Newman, "Noise from Construction Equipment and Operation, Building Equipment and Home Appliances", 1971). This impact, however, would be temporary only, limited in area, and would be diminished via implementation of Best Management Practices (BMP's). BMPs are required at the time of building permit issuance for all new development and would reduce any impacts of additional noise level

exposure to insignificance. Such BMPs include, as standard conditions of approval for all new construction include requirements for construction vehicles and equipment to be properly muffled. Construction hours will be limited to 8:00 a.m. to 5:00 p.m. Mondays through Fridays and construction on weekends and holidays will be prohibited to avoid inconveniencing neighbors.

The project site is not located within an airport land use plan or, within two miles of a public airport or public use airport

The proposed project is not within the vicinity of a private airstrip.

Mitigation: None required.

XIII. POPULATION AND HOUSING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	☐	☐	☐	☒
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a vacant lot, surrounded by existing residential development in a fully urbanized area. Therefore, the project has no potential for displacement of existing residents or the potential to induce population growth beyond the project boundary. The project infrastructure is also limited to the property proposed for development and provides no substantial capacity increases to water, sewer, or wastewater facilities that would allow the accommodation of additional population growth in the immediate vicinity. The project does not include any improvements to sub-regional or regional roadway networks that would induce population growth.

Mitigation: None required

XIV. PUBLIC SERVICES:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:	☐	☐	☐	☒
Fire protection?	☐	☐	☐	☒
Police protection?	☐	☐	☐	☒
Schools?	☐	☐	☐	☒
Parks?	☐	☐	☐	☒
Other public facilities?	☐	☐	☐	☒

Discussion of Evaluation:

As part of the building permit review process, all departments and agencies responsible for providing services are consulted to determine their ability to provide services to proposed development projects. Such services within the project area may include, but not be limited to fire and police protection, schools, maintenance of public facilities including roads, and other governmental services as anticipated by the City's General Plan. Based on distribution of preliminary plans, all applicable agencies have indicated they would be able to provide the needed public services at acceptable service levels to this project. Park impacts are the subject of the subsequent impact section analysis.

Mitigation: None required.

XV. RECREATION:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	☐	☐	☒	☐
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	☐	☐	☐	☒

Discussion of Evaluation: The proposed project consists of a subdivision that would allow 6 new townhome units. Prior to project completion, the project applicant will be required to pay park in-lieu fees, Per the Parkland Dedications Ordinance, park in-lieu fees would be required for park or recreational purposes.

Mitigation: None required.

XVI. TRANSPORTATION/TRAFFIC: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	☐	☐	☐	☒
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	☐	☐	☐	☒

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	☒
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	☐	☐	☐	☒
e) Result in inadequate emergency access?	☐	☐	☐	☒
f) Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	☐	☐	☐	☒

Discussion of Evaluation:

The proposed 6 unit townhome project would generate less than 100 daily trips and 10 less than peak hour trips. Therefore, a traffic study is not required.

Mitigation: None required.

XVII. UTILITIES AND SERVICE SYSTEMS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	☐	☐	☐	☒
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☐	☐	☒
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	☐	☐	☐	☒
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	☐	☐	☐	☒
g) Comply with federal, state, and local statutes and regulations related to solid waste?	☐	☐	☐	☒

Discussion of Evaluation: As part of the building permit review process, all departments and agencies responsible for providing utilities are consulted to determine their ability to provide water, sewer, and stormwater facilities to proposed development projects. Based on distribution of preliminary plans, all applicable agencies, i.e., the City of Daly City and Bayshore Sanitary District, have indicated they would be able to provide the necessary utilities required to this project. Furthermore, the project is consistent with the Daly City Water Master Plan, Waste Water Master Plan, other long-range master plans and Capital Improvement Program in terms of future growth anticipated in the project area. The developer will be assessed any necessary fees to cover these services at the time the City issues building permits for the project.

The project will be required to comply with federal, state, and local statutes and regulations related to solid waste, per the City of Daly City's standards. Electric, gas, water, storm, and sewer lines exist within close proximity of the project site, however, there may be upgrades to existing facilities required, per Department of Water and Wastewater Department, Engineering Division and the North County Fire Authority. All facilities will be required to be constructed in compliance with pertinent Codes and standard specifications.

The project will be connected to existing improved drainage facilities and, prior to any issuance of permits, the developer will be required to submit a storm drain analysis for existing and proposed drainage improvements; existing improvements shall be upgraded in compliance with City standards and as required by the impacts of the proposed improvements. The developer may be required to submit a Sewer Flow Study to ensure the existing system is capable of handling the additional flow of this development. The developer shall bear all costs for any water and/or sewer infrastructure improvements that may be necessary and will be designed to meet the current edition of the City of Daly City Standard Specifications and Drawings, or those of the Bayshore Sanitary District.

Mitigation: None required.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	☐	☐	☐	☒

b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	☐	☐	☐	☒
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	☐	☐	☐	☒

Discussion of Evaluation: The proposed 6 unit townhome project would not have significant environmental impacts to air quality, greenhouse gas emissions, and traffic.

Mitigation: None required.

LIST OF REFERENCES AND CONTACTS

1. City of Daly City. General Plan, March 2013.
2. City of Daly City. Zoning Regulations, Title 17.
3. Bolt, Beranak & Newman. Noise from Construction Equipment & Operation, Building Equipment & Home Appliances, 1971.
4. CH2Mhill. Daly City Collection System Master Plan, 1993.
5. Brown and Caldwell. Daly City Water Master Plan, 1991.
6. Association of Bay Area Governments. On Shaky Ground, Earthquakes and Hazards Program, 2010.
7. Association of Bay Area Governments. Alquist-Priolo Earthquake Fault Zones Map, reproduced with permission, California Geological Survey from CD-ROM 2001-04 (2001), Official Map of Alquist-Priolo Earthquake Fault Zones.
8. Association of Bay Area Governments. Earthquake Shaking Potential. Derived from Earthquake Shaking Potential for the San Francisco Bay Region. CSSC, CGS, CalEMA, and USGS, 2003.
9. California Department of Conservation, Office of Land Conservation. California Agricultural Land Evaluation and Site Assessment Model Instruction Manual.
10. California Department of Conservation, Office of Land Conservation. Compiled by the Farmland Mapping and Monitoring Program (FMMP) pursuant to Section 65570 of the California Government Code. San Mateo County Important Farmland Map 2006, 2008.
11. California Department of Conservation, Division of Land Resource Protection, Williamson Act Program. San Mateo County Williamson Act 2006, 2006.
12. California Department of Conservation. State of California Special Studies Zones San Francisco South, Revised Official Map, January 1, 1982.
13. Jones, A.L., M. Perlmutter, W.B. Monahan, and D. Yun. 2008. Mapping California's Important Bird Areas. Prepared by Audubon California with support from California Polytechnic Institute. Audubon California, Sacramento, CA.
14. United States Department of Fish and Wildlife Service. National Wetlands Inventory, Wetlands Data.KMZ (Keyhole Markup Language file accessed via Google Earth), May 20, 2010.
15. Bay Area Air Quality Management District. California Environmental Quality Act Air Quality Guidelines, June 2010.
16. Bay Area Air Quality Management District. BAAQMD CEQA Guidelines Risk and Hazard Screening Analysis Process Flow Chart. May, 2010.
17. Bay Area Air Quality Management District. Stationary Source Screening Analysis Tool, San Mateo May 2011, Google Earth KMZ file, accessed February, 2011.
18. Bay Area Air Quality Management District. Roadway Screening Analysis Tables, Roadway Screening Tables. April, 2011.
19. Bay Area Air Quality Management District. GHG Plan Level Quantification Guidance. April 15, 2011.
20. Bay Area Air Quality Management District. Screening Tables for Air Toxics Evaluation During Construction, Version 1.0, May, 2010.
21. Section 503 of the Uniform Housing Code.
22. City/County Association of Governments of San Mateo County. Final San Mateo County Congestion Management Program 2009, September, 2009.
23. Padre and Associates, Inc. Phase I Environmental Site Assessment and Title V Environmental Hazards Evaluation for the Robertson Intermediate School Reconstruction Project, 1 Martin Street, Daly City, San Mateo County, California, September 2014.

24. Institute of Transportation Engineers. TRIP GENERATION, 8TH Edition, Volume 2 of 3, 2008.
25. California Department of Public Health, California Environmental Health Tracking Program (CEHTP). Traffic Volume Linkage Tool, accessed February 15, 2011, www.ehib.org
26. United States Environmental Protection Agency. Buildings and their Impact on the Environment: A Statistical Summary. April 22, 2009.
27. Transportation Impact Analysis Report – Martin Street Residential, Hexagon Transportation Consultants, August 17, 2015.

EXHIBITS

- Site Location Map
- Reduced Plan(s) (8-1/2" x 11")

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF DALY CITY AMENDING THE DALY CITY
ZONING MAP – REZONING EXISTING .14 ACRE SITE LOCATED AT 3001 GENEVA
AVENUE FROM UNZONED (U) TO MULTIPLE FAMILY RESIDENTIAL (R-3)

(.14 acre parcel located at 3001 Geneva Avenue, (APN 005-072-310)
in Daly City, California, as more particularly described in attached Exhibit “A”)

BE IT ORDAINED by the City Council of the City of Daly City as follows:

SECTION 1: Findings. The City Council of the City of Daly City finds that:

A. Following a public hearing duly and regularly conducted, the Planning Commission of the City of Daly City submitted to this City Council its recommendation with respect to the zoning amendment hereinafter described, accompanied by the report of the findings and a summary of its hearing, whereupon this City Council duly and regularly set this matter for hearing.

B. Due and regular notice of such hearing has been given as required by law and such hearing was held by this City Council on May 28, 2019, all interested persons were heard and any additional evidence presented was received.

C. This City Council finds and declares that the health, safety, morals and general welfare of the City of Daly City requires that the real property hereinafter described be reclassified as provided herein.

D. This rezoning is consistent with the Daly City General Plan, which designates the subject real property as Multiple Family Residential.

SECTION 2: Zoning Reclassification. The zoning as designated upon the “Official Zoning Map” of the City of Daly City, as adopted by Daly City Ordinance 635, and thereafter amended from time to time, is hereby changed as to the parcel or parcels identified on the attached Exhibit “A”, and that in accordance with Title 17 of the Daly City Municipal Code, the zoning for the real property hereinafter described is hereby amended so as to change the zone classification of the property from Unzoned (U) to Multiple Family Residential (R-3), as such zones are designated and defined by Ordinance 635, Daly City Municipal Code Title 17.

SECTION 3: Publication: This Ordinance shall be published according to law.

SECTION 4: Environmental Determination. The City Council finds, pursuant to Title 14 of the California Code of Regulations, Section 15378, that this Ordinance is exempt from the requirements of the California Environmental Quality Act (CEQA) in that it is not a project as provided by the Act, in that it does not have a potential for resulting in a detrimental physical change in the environment, directly or ultimately, as provided in Title 14, Section 15378(a), and that it is also exempt under the definition of "project" in Section 15378(b)(3) in that it concern general policy and procedure making.

SECTION 5: Severability. If any section, subsection or sentence of this Ordinance is found by a court of competent jurisdiction to be invalid or unlawful, the City Council finds and declares that the remainder of this Ordinance would be and is enforceable and would have been adopted notwithstanding the finding of invalidity as to any section, subsection or sentence.

Introduced this 28th day of May, 2019.

Passed and adopted as an Ordinance of the City of Daly City at a regular meeting of the City Council of the City of Daly City held on the _____ day of _____ 2019, by the following vote:

AYES, Councilmembers _____

NOES, Councilmembers _____

Absent, Councilmembers: _____

CITY CLERK OF THE CITY OF DALY CITY

APPROVED:

MAYOR OF THE CITY OF DALY CITY

EXHIBIT “A”

PORTION OF LOTS 17, 19 AND 20, IN BLOCK 6, AS DESIGNATED ON THE MAP ENTITLED “PLAT OF THE DIAMOND TRACT BAYSHORE DISTRICT VISITATION VALLEY”, WHICH MAP WAS FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON APRIL 4, 1910, IN BOOK 7 OF THE MAPS AT PAGE 15, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT SOUTHWEST CORNER OF LOT 21 AS SHOWN ON THE ABOVE MENTIONED MAP, THENCE SOUTHWESTERLY ALONG EASTERLY LINE OF SCHWERIN STREET, SOUTH $19^{\circ}26'$ WEST, 47 FEET TO THE NORTH RIGHT-OF-WAY LINE OF GENEVA AVENUE; THENCE SOUTHEASTERLY ALONG SAID NORTH LINE OF GENEVA AVENUE, SOUTH $70^{\circ}34'$ EAST, 130.73 FEET, TO THE EASTERLY PROPERTY LINE OF LOT 17 SHOWN ON THE SAID MAP; THENCE NORTH $19^{\circ}26'$ EAST, 47 FEET, TO THE NORTHEAST CORNER OF SAID LOT 17; THENCE NORTH $70^{\circ}34'$ WEST, 130.73 FEET, TO THE POINT OF BEGINNING.



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: General Plan Amendment GPA-3-19-13911 and Design Review DR-6-18-13530 – Construction of Four Single-Family Homes at 717 Templeton Avenue

Recommended Action

Approve the General Plan Amendment and Design Review, subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On May 7, 2019, the Planning Commission voted 4-0 to recommend the City Council approve General Plan Amendment GPA-3-19-13911 and Design Review DR-6-18-13530. Planning Commission comments are provided in bold italics.

Background

The applicant, Darrell Investments, requests approval to amend the General Plan designation from Open Space Preservation (OSP) to Residential – Low Density (R-LD) for four existing parcels on the south side of Templeton Avenue (see Attachment A – Site Location). The amendment is necessary to allow the construction of one home on each lot. Since the parcels are already zoned R-1 Single Family Residential District, no rezoning of these parcels is required. Also, because the four lots already exist, no subdivision map is required. The Planning Commission should be aware that although the existing four lots are not in the ultimate configuration to allow construction of the homes as proposed, the applicant has submitted a request for a lot-line adjustment, which the Subdivision Map Act allows to be approved administratively.

In September 1994, the City of Daly City initiated and approved a series of amendments to the Zoning Map and General Plan Land Use Map to conform the Zoning Map to the then recently-adopted 1988 General Plan. Because of this effort, the City rezoned the subject property from R-3/PD-13 (Condominiums) to R-1 Single Family Residential District, the zoning which remains in place to this date. At the time of this rezoning, the City acknowledged the General Plan designation as Open Space – Preservation, but found that, “the new Zoning Map designation of R-1 brings the zoning into consistency with the General Plan land use designation of Medium-Low Density Residential.” The General Plan Land Use Map adopted in 2013 continued to identify the subject property as Open Space – Preservation, although in fact the City Council had determined the property to be designated Residential – Medium Low Density in 1994 and rezoned the property to R-1 Single Family Residential District to allow for residential development at that time.

Discussion

The applicant proposes to construct four single-family homes on four existing lots which are presently zoned R-1 – Single Family Residential District. Each of the proposed homes would have 2,499 square feet of habitable space containing four bedrooms, 3.5 bathrooms, and a two-car side-

by-side garage with two additional spaces in the driveway (see Attachment B – Project Plans). Each home would provide a bedroom, full bathroom, and garage area on the ground level. The second floors would provide a kitchen, dining room, living room, and a two-fixture powder room. A master bedroom with bathroom, two additional bedrooms, and a bathroom would be located on the third floor.

As described previously, the proposed homes would be situated on four existing parcels. The present lot configuration for these parcels provides irregular access to Templeton Avenue for one of these existing parcels and access only to Alturas Way (a paper street) for another. To rectify the access issues for these two parcels, the applicant has applied to receive approval for a lot line adjustment between two parcels whereby the parcels would be reconfigured for both to provide frontage on Templeton Avenue. Approval of the lot line adjustment does not require any subdivision map approval if the adjustment is between four or fewer existing adjoining parcels, where the land taken from one parcel is added to an adjoining parcel, and where a greater number of parcels than originally existed is not created as a result of the adjustment.

For staff to approve the adjustment, the City must determine whether or not the parcels resulting from the adjustment will conform to the General Plan and R-1 – Single Family Residential District. Since the resulting parcels would each be at least 2,500 square feet in size and the applicant has demonstrated that constructing homes on these parcels is feasible given the setback, coverage, and parking regulations for the existing R-1 – Single Family District zoning, staff is obligated to the approved the lot line adjustment so long as the General Plan amendment sought by the applicant is approved. No parcel map is therefore required to complete the proposed parcel configuration.

In consideration of the request to amend the General Plan, the City Council should note that the parcels are already zoned for residential development, the applicant has demonstrated that residential development is feasible on the parcels, and the site appears to have been previously disturbed. Furthermore, the General Plan Housing Element encourages in-fill housing at appropriate sites. The City Council has previously granted a request to re-designate parcels designated Open Space Preservation to Residential – Low Density (General Plan Amendment GPA05-3).

- *Commissioner Proaño confirmed that each proposed home would have a two-car garage and that the driveway of each home would provide parking for two additional cars (parking for four cars total). She also confirmed that between each driveway curb cut there was enough room for a car to park. Staff responded that there would be enough room for at least one car to park. Commissioner Crump noted that there was no Condition of Approval that required garages to be used for parking. Staff responded that such a requirement was in the Zoning Ordinance.*
- *Doris Masferrer, resident of 754 Templeton Avenue, expressed concerns about equipment pounding associated with construction causing structural damage on adjacent property and the potential for an existing pot hole to expand to a sink hole as a result of construction. She also expressed parking as an issue in the neighborhood. Staff responded that the subject construction would not involve pile work. Commissioner Crump added that the general contractor would be subject to general liability for such damage. Staff added that it did not observe an existing sink hole upon site inspection.*

- *Angela Frucci, resident of 750 Templeton Avenue, expressed concern about residents on Templeton Avenue who do not use their garages and that the proposed project would further impact parking. She expressed concern about the width of the street and asked what plans would be made for construction vehicles accessing the subject site. She asked how the new homes would access Templeton Avenue, in terms of backing up, and that there was an issue with emergency vehicles accessing the street.*
- *Commissioner Proaño asked if the street would be resurfaced. Staff stated that it depended on the number of laterals that would be necessary for the new homes and that a new layer may be required if these laterals were numerous. She also asked how the neighborhood would be impacted by dump trucks. Staff responded that the Public Works Department would approve a parking management plan and a haul route permit for such vehicles. Commissioner Crump added that there may be “No Parking” signs posted during construction. The project applicant added that all four lots on the site would be rough graded at the same time, but that a staging area would be created on-site on which trucks could park, thus creating less of an impact on the neighborhood.*

Design Review

The design review process provides the staff, Planning Commission, and City Council the opportunity to analyze the architectural style and quality of material for aesthetics and harmony with the surrounding residential uses, which are primarily single-family detached residential uses. Staff has reviewed the proposed design determined that given the proposed high-quality materials, the proposed homes would not disrupt the neighborhood character and would be harmonious with the existing single-family neighborhood.

The proposed homes are three-story buildings on four adjacent hillside lots in an existing neighborhood of mostly one- and two-story single-family dwellings. Should the lot-line adjustment be approved, the lot sizes would range in size from 3,185 to 4,516 square feet. The City’s Small Residential Design Guidelines require that the building design and its placement on the site respect the neighborhood context. In this regard, the applicant has proposed a traditional lot configuration for the parcels each providing driveway vehicular access to Templeton Avenue. Given the grades associated with the property, the Planning Division has placed a Condition of Approval on the project that the constructed driveway grades be minimized to facilitate garage access and easy egress of vehicles parked on the driveways.

The proposed homes are in compliance with the Small Residential Design Guidelines in that they provide a recess the third floor of the building’s front elevation, provide a recessed garage door and pedestrian entrance, and replicate the front façade architectural materials and details onto the visible side walls of the building. The homes provide a combination of stucco and horizontal wood siding between floors which serves to visually distinguish the pedestrian and main living levels while deemphasizing the third floor.

Fiscal Impact

The proposed project consists of a General Plan amendment that would allow four new single-family homes. Prior to project completion, the project applicant will be required to pay building permit, plan check, and AB 1600 fees to the City. Upon sale of the residential properties, the future owners will pay property tax to the County, a portion of which is distributed to the City. The addition of the residential project would add an incremental demand for City services.

Environmental Assessment

Staff has completed an Initial Study for the project and determined that the project would not have a significant impact on the environment (see Attachment C – Initial Study). Adoption of a Negative Declaration is therefore appropriate level of review under the California Environmental Quality Act (CEQA).

Findings

On May 7, 2019, the Planning Commission found that the proposed General Plan Amendment GPA-3-19-13911 and Design Review-DR-6-18-13530 are in accordance with Chapter 17 of the Daly City Municipal Code. Approval of the proposed project will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the vicinity. The proposed project would not be injurious or detrimental to property and improvements in the neighborhood or result in substantial environmental damage or disturbance. These findings are based in part on the following facts, which staff recommends that the Planning Commission adopt:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council conducted a public hearing on May 28, 2019; notice of said hearing was by newspaper publication on May 16, 2019, posting and first class mailing to property owners within 300 feet of the site;
2. Staff has reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has completed a Negative Declaration indicating no significant environmental impacts would occur because of the project;
3. An amendment to the General Plan designation from Open Space Preservation (OSP) to Residential – Low Density (R-LD) for the four existing parcels is appropriate given that the parcels are already zoned R-1 Single Family Residential District, the applicant has demonstrated that residential development of the parcels is feasible, and the site appears to have been previously disturbed. Furthermore, the General Plan Housing Element encourages in-fill housing at appropriate sites;
4. Given the bulk, mass, and intensity of surrounding residential uses, which are primarily single-family detached residential uses, the proposed homes would not disrupt the neighborhood character given the amount of parking provided and architectural features that have been incorporated into the building;

5. The proposed project is consistent with Zoning Ordinance Chapter 17.34, Off-Street Parking and Loading, in that each of the homes provide a two-car side by side garage with an additional two parking spaces in the driveway. Given that each house has a proposed living area of 2,499 square feet, four parking stalls are required and provided for each home;
6. General architectural considerations have been incorporated to ensure the compatibility of this development with its design concept and the character of other adjacent buildings. These considerations include, but are not limited to, the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, and colors;
7. The applicant's proposal is consistent with the City's Small Residential Design Guidelines, which require that the applicant recess the third floor of the building's front elevation, provide a recessed garage door and pedestrian entrance, and replicate the front façade architectural materials and details onto the visible side walls of the building. The proposed homes will be constructed to provide alternating siding materials and articulated walls to ensure that the homes relate to the architectural character of older residential buildings in the neighborhood; and
8. General landscape considerations of Chapter 17.41, Landscaping, have been provided to insure visual relief, to complement buildings and structures and to provide an attractive environment for the enjoyment of the public.

Conditions of Approval

The Planning Commission recommends the City Council approve General Plan Amendment GPA-3-19-13911 and Design Review-DR-6-18-13530, subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The project shall be valid only in conjunction with detailed plans submitted and approved by the City Council and Design Review Committee. Any modifications required due to the Conditions of Approval and minor changes to the plan, must be approved by the Planning Division. Major site or architectural modifications shall be treated as an amendment and shall be subject to a new Design Review application.
2. The Design Review shall be valid for a period of one year from the date of City Council approval. The approval shall terminate if a building permit has not been obtained and construction commenced within one-year of City Council approval of the project.

Building Design

3. The applicant shall work with staff to reduce the driveway slopes in manner which maximizes use of the garage and easy vehicle access in the driveway of each home.
4. The applicant shall install decorative pavers in the driveway of each home that complement the home's architectural style. The pavers shall be installed with a decorative band and shall be installed from the garage to the back of sidewalk.

Landscaping

5. All yard areas associated with the development shall be landscaped, including the area located in the public right-of-way behind the City sidewalk. The applicant shall submit landscape plans, including irrigation plans, for review and approval by the Planning Division. The irrigation system shall be professionally installed and include an automatic timing device.
6. All landscaped areas shall be maintained in a vigorous and healthy condition. Dead and dying plants shall be removed and replaced as necessary.
7. The front yard shall be maintained as landscaping and shall not be paved.

B. BUILDING DIVISION

8. Lots One, Two, and Four shall have the same path of travel with Lot Three from the rear yard leading to the public way or follow the Condition of Approval below.
9. For Lots One, Two, and Four, bedroom windows shall open to a required 15 feet setback from an uphill slope. Provide a non combustible side stairway to provide access to the public right of way. Or, move the retaining wall 20 feet from the rear face of the building. (CRC R310 and DCMC 15.10.140).

C. ENGINEERING DIVISION

10. After installation of utilities including both utility services and utility mains, the applicant will be required to restore existing street pavement from the nearest concrete joint to concrete joint to the satisfaction of the City Engineer. The applicant shall also replace sidewalk, curb, and gutter damaged by construction. Such repair shall be per City standards.
11. All project improvements shall be ADA compliant. The applicant shall repair, replace and make the sidewalk along all the property frontages ADA compliant to current City Standards to the satisfaction of the City Engineer, including those areas where utility poles are proposed to remain within the sidewalk area.
12. The project shall install new sidewalk across the project frontage and extend sidewalk to conform with existing sidewalk at Frankfort Street and Templeton Avenue. New curb, gutter and sidewalk shall be designed to City standards.

13. All street trees and landscaping proposed shall be maintained by the property owner in perpetuity, with irrigation tied to and maintained by the property owner.
14. Provide at least one large project sign that includes basic project information and a phone number where members of the public may report problems and obtain information or assistance as needed.
15. Driveways shall be designed with vertical curves at the bottom and at the top of driveway. Vertical curve shall begin outside of the public ROW except as otherwise approved by the City Engineer.
16. Grading exceeding 50 cubic yards shall require approval of plans and a grading permit. A licensed Civil Engineer shall prepare the grading plans and erosion control plan in conformance with a soil report prepared by a licensed soil engineer or qualified civil engineer in compliance with the NPDES requirements prior to any development on the property.
17. A Grading and Construction Operation plan shall be submitted by the subdivider for review and approval by the City Engineer prior to issuance of any permits of subdivision improvements. The Grading/Construction Operation plan shall address truck traffic, issues regarding dust, noise, and vehicular and pedestrian safety, storage of construction materials, placement of sanitary facilities, parking for construction vehicles, and parking for construction personnel.
18. All electrical and telecommunications services shall be provided through underground connections. There shall be no overhead drops. All existing overhead services and supporting poles along the project frontage shall be removed, at the applicant's expense.
19. The project's electrical transformer shall not be installed within the public right-of-way.
20. Drainage to the public storm drain system shall be through pipes under the sidewalk, as drainage over the sidewalk is not permitted. The rate of flow to the City's Storm Drain System shall not exceed predevelopment rate. The development shall provide infiltration or detention for increment of drainage flow for a 10-year/2 hour frequency storm event.
21. Hydraulic calculations along with a letter from the engineer of record indicating that the proposed storm drain system does not increase runoff above the pre-development condition shall be submitted for review and approval by the City Engineer prior to approval of Subdivision Improvement Plans.

D. FIRE DEPARTMENT

22. A sprinkler system is required for all new facilities per NFPA 13D. Project plans shall be submitted to the Fire Department for review and approval prior to the issuance of any building permit.
23. Smoke Detectors and CO monitors required per CBC.

Recommendation

The Planning Commission recommends that the City Council do the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve General Plan Amendment GPA-3-19-13911 and Design Review-DR-6-18-13530, subject to the Conditions of Approval identified herein.

Staff is available to provide any additional information desired by the Council members.

Respectfully submitted,


Brian Paland
Assistant Planner


Tatum Mothershead
Director of Economic and Community
Development

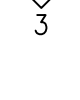
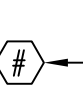
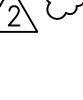
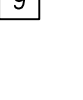
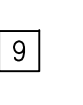
Attachments

Attachment A – Site Location
Attachment B – Project Plans
Attachment C – Initial Study/Negative Declaration
Attachment D – Letter from Adjacent Resident



NEW CONSTRUCTION OF FOUR
3-STORY SINGLE FAMILY HOUSES
IN TWO PHASES
TEMPLETON AVE., DALY CITY, CA 94014

Abbreviations					
& L	AND	F.F	FLOOR FINISH	PL	PLATE
Q	AT	FDN.	FOUNDATION	P.LAM	PLASTER LAMINATE
@	CENTERLINE	FIN.	FINISH	PLAS.	PLASTER
#	DIAMETER OF ROUND	FL.	FLOOR	PLAS.	PLYWOOD
0	POUND OR NUMBER	FLASH	FLASHING	PP	PAIR
(E)	EXISTING	FLUOR.	FLUORESCENT	PT.	POINT
(R)	RELOCATED	F.O.C.	FACE OF CONCRETE	P.TN.	PARITARY
(N)	NEW	F.O.F.	FACE OF FINISH	Q.T.	QUARRY TILE
		F.O.S.	FACE OF STUDS	QSR	QUICK SERVE RESTAURANT
		FFRF.	FIREPROOF		
		F.S.	FLOOR SINK		
A.F.F.	ABOVE FINISH FLOOR	FT.	FEET	R/RAD.	RADIUS
A.D.	AREA DRAIN	FTG.	FOOTING	R/D	ROOF DRAIN
A.DJ.	ADJUSTABLE	FURR.	FURRING	REF.	REFERENCE
AGGR.	AGGREGATE	FUT.	FUTURE	REFR.	REFRIGERATOR
AL.	ALUMINUM			RGR.	REGISTER
APPROX.	APPROXIMATE	G.A.	GAUGE	RENF.	REINFORCED
ARCH.	ARCHITECTURAL	GALV.	GALVANIZED	REQ'D	REQUIRED
ASB.	ASBESTOS	GL.	GLASS	RESIL.	RESILIENT
ASPH.	ASPHALT	GR.	GRADE	RM.	ROOM
		GR.	GALVANIZED	R.O.	ROUGH OPENING
		OSM	SHED METAL	RWD.	REDWOOD
				R.W.L.	RAIN WATER LEADER
		GYP.	GYPSPUM		
B.	BOARD	GYP. BD.	GYPSPUM BOARD		
BITUM.	BITUMINOUS	H.B.	HOSE BIBB		
BLDG.	BUILDING	H.C.	HOLLOW CORE	S.C	SOLID CORE
BKG.	BLOCKING	H.C.P.	HANDICAP	S.CHD.	SCHEDULE
BM.	BEAM	HDWD.	HARDWOOD	S.ECT.	SEAL DISPENSER
BOT.	BOTTOM	HDWE.	HARDWARE	SECT.	SECTION
		H.M.	HOLLOW METAL	SH.	SHOWER
CAB.	CABINET	HORIZ.	HORIZONTAL	SHR.	SHOWER
CEM.	CEMENT	HR.	HOUR	SHT.	SHEET
CER.	CERAMIC	HGT.	HEIGHT	SIM.	SIMILAR
C.I.	CAST IRON			SL.	SLOPE
CLG.	CEILING	I.D.	INSIDE DIAMETER	SPEC.	SPECIFICATION
CLQK.	CALLING	INSUL.	INSULATION	SQ.	SQUARE
CLO.	CLOSET	INT.	INTERIOR	S.S.T.	STANDARD
C.L.R.	CLEAR			STL.	STEEL
C.O.	CASED OPENING			STOR.	STORAGE
COL.	COLUMN			STRUL.	STRUCTURAL
CONC.	CONCRETE	JT.	JOINT	SYM.	SYMMETRICAL
CONN.	CONNECTION				
CONSTR.	CONSTRUCTION	KIT.	KITCHEN		
CONT.	CONTINUOUS				
CTSK.	COUNTERSUNK	LAMINATE	LAM.		
CNTR.	COUNTER	LAV.	LAVATORY		
CNTR.	CENTER	LT.	LIGHT		
				T.B.S.T.	TO BE SPECIFIED
				T.B.D.	TREAD
DBL.	DOUBLE	MAX.	MAXIMUM	T.R.	TOWEL BAR
DEPT.	DEPARTMENT	M.C.	MEDICINE CABINET	T.C.	TOP OF CURB
DET.	DETAIL	MECH.	MECHANICAL	TEL.	TELEPHONE
DIA.	DIAMETER	MEMB.	MEMBRANE	TER.	TERRAZZO
DM.	DIMENSION	MET.	METAL	T. & G.	TONGUE & GROOVE
DISP.	DISPENSER	MFR.	MANUFACTURER	THK.	THICK
DN.	DOWN	MIN.	MINIMUM	T.P.	TOP OF PAVEMENT
DR.	DOOR	MIS.	MISCELLANEOUS	T.P.D.	TILE PAPER
DOR.	DOOR OPENING	M.O.	MASONRY OPENING	T.S.	TOILET
D.W.	DRAWER	MTD.	MOUNTED	T.V.	T.V.
D.S.	DOWNSPOUT	MUL.	MULLION	T.W.	TOP OF WALL
DWG.	DRAWING			TYP.	TYPICAL
				UNF.	UNFINISHED
		N.	NEW	U.O.N.	UNLESS OTHERWISE NOTED
E.	EXISTING	N.I.C.	NOT IN CONTRACT		
E.A.	EXPANSION JOINT	N.O./#	NUMBER	VERT	VERTICAL
EL.	ELEVATION	NOM.	NOMINAL		
ELEC.	ELECTRICAL	N.T.S.	NOT TO SCALE		
E.P.	ELECTRICAL PANELBOARD	O.A.	OVERALL	W.	WEST
E.Q.	EQUAL	OBSC.	OBSCURE	W/	WITH
EQPT.	EQUIPMENT	O.C.	ON CENTER	W.C.	WATER CLOSET
EXT.	EXISTING	O.D.	OUTSIDE DIAMETER	W.O.	WOOD
EXP.	EXPANSION	OFF.	OFFICE	W/O	WITHOUT
EXT.	EXTERIOR	OPP.	OPENING	WP.	WATEROOF
			OPPOSITE	WSCT.	WAINSCOT
				WT.	WEIGHT

Project Directory	
<u>OWNER:</u>	ARCHITECT & CIVIL ENGINEER: W&W LAND DESIGN CONSULTANTS INC. WINSTON LIU P.E., TOM LAU, AIA 2335 W. FOOTHILL BLVD., SUITE I UPLAND, CA 91786 TEL.: (909) 608-7118 FAX.: (909) 946-1137
Legal Description	
LOT 13	
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA IS DESCRIBED AS FOLLOW:	
LOTS 13 BLOCK 36, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE CROCKER ESTATE TRACT SUBDIVISION NO. 2." FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON MARCH 5, 1912 IN BOOK 8 OF MAPS AT PAGE(S) 3.	
LOT 14	
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA IS DESCRIBED AS FOLLOW:	
LOTS 14 BLOCK 36, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE CROCKER ESTATE TRACT SUBDIVISION NO. 2." FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON MARCH 5, 1912 IN BOOK 8 OF MAPS AT PAGE(S) 3.	
Symbols	
	TYPICAL REFERENCE DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	SECTION (BUILDING)
	SECTION (WALL / DETAIL)
	ELEVATION
	INTERIOR ELEVATIONS IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
	WINDOW SYMBOL
	DOOR SYMBOL
	REVISION, CLOUD
	MATCH LINE, SHADED PORTION IS THE SIDE CONSIDERED
	DATUM POINT
	REFERENCE NOTE

Sheet Index (PHASE I)	
A1.01	OVERALL MASTER SITE PLAN
A1.01(I)	TITLE, SITE PLAN, PROJECT DATA, AREA BREAKDOWN SHEET INDEX, REFERENCE NOTES
A2.01	FLOOR PLAN
A3.01(I)	NORTH & EAST ELEVATIONS (LOT 1)
A3.02(I)	SOUTH & WEST ELEVATIONS (LOT 1)
A3.03(I)	NORTH & EAST ELEVATIONS (LOT 2)
A3.04(I)	SOUTH & WEST ELEVATIONS (LOT 2)
A4.01(I)	SECTIONS (LOT 1)
A4.02(I)	SECTIONS (LOT 2)
C-1	CONCEPTUAL GRADING TITLE SHEET
C-2	SITE SECTIONS
C-3	CONCEPTUAL GRADING
C-4	EROSION & SEDIMENT CONTROL PLAN
L-1	PRELIMINARY LANDSCAPE PLAN

Sheet Index (PHASE II)	
A1.01	OVERALL MASTER SITE PLAN
A1.01(II)	TITLE, SITE PLAN, PROJECT DATA, AREA BREAKDOWN SHEET INDEX, REFERENCE NOTES
A2.01	FLOOR PLANS & ROOF PLAN (LOT 3)
A2.02(I)	FLOOR PLANS & ROOF PLAN (LOT 4)
A3.01(I)	NORTH & EAST ELEVATIONS (LOT 3)
A3.02(I)	SOUTH & WEST ELEVATIONS (LOT 3)
A3.03(I)	NORTH & EAST ELEVATIONS (LOT 4)
A3.04(I)	SOUTH & WEST ELEVATIONS (LOT 4)
A4.01(I)	SECTIONS (LOT 3)
A4.02(I)	SECTIONS (LOT 4)
C-1	CONCEPTUAL GRADING TITLE SHEET
C-2	SITE SECTIONS
C-3	CONCEPTUAL GRADING
C-4	EROSION & SEDIMENT CONTROL PLAN
L-1	PRELIMINARY LANDSCAPE PLAN

Project Data (PHASE I)	
ADDRESS:	TEMPLETON AVE., DALY CITY, CA 94014
APN#:	004243140 (LOT 1), 004243130 (LOT 2)
ZONING:	R-1
PROPOSED OCCUPANCY:	R-3
BUILDING CODE:	2016 CBC, CEC, CMC, CPC, CFC, CALIFORNIA ENERGY CODE, CGBCS
EXISTING SITE AREA:	LOT 1 = 4,104± S.F. LOT 2 = 4,516± S.F.
TYPE OF CONSTRUCTION:	VA
SPRINKLER:	FULLY SPRINKLERED (NFPA 13D)
FIRE ALARM:	YES, (NFPA 72)

PROPOSED BUILDING AREA: (LOT 1) - 3 STORY
= 2,499 S.F. + 500 S.F. (GARAGE)
(LOT 2) - 3 STORY
= 2,499 S.F. + 500 S.F. (GARAGE)

Project Data (PHASE II)	
ADDRESS:	TEMPLETON AVE., DALY CITY, CA 94014
APN#:	004243020 (LOT 3), 004243120 (LOT 4)
ZONING:	R-1
PROPOSED OCCUPANCY:	R-3
BUILDING CODE:	2016 CBC, CEC, CMC, CPC, CFC, CALIFORNIA ENERGY CODE, CGBSC
EXISTING SITE AREA:	LOT 3 = 3,185± S.F. LOT 4 = 3,784± S.F.
TYPE OF CONSTRUCTION:	VA
SPRINKLER:	FULLY SPRINKLERED (NFPA 13D)
FIRE ALARM:	YES, (NFPA 72)

PROPOSED BUILDING AREA: (LOT 3) - 3 STORY
= 2,499 S.F. + 456 S.F. (GARAGE)
(LOT 4) - 3 STORY
= 2,499 S.F. + 500 S.F. (GARAGE)

Vicinity Map

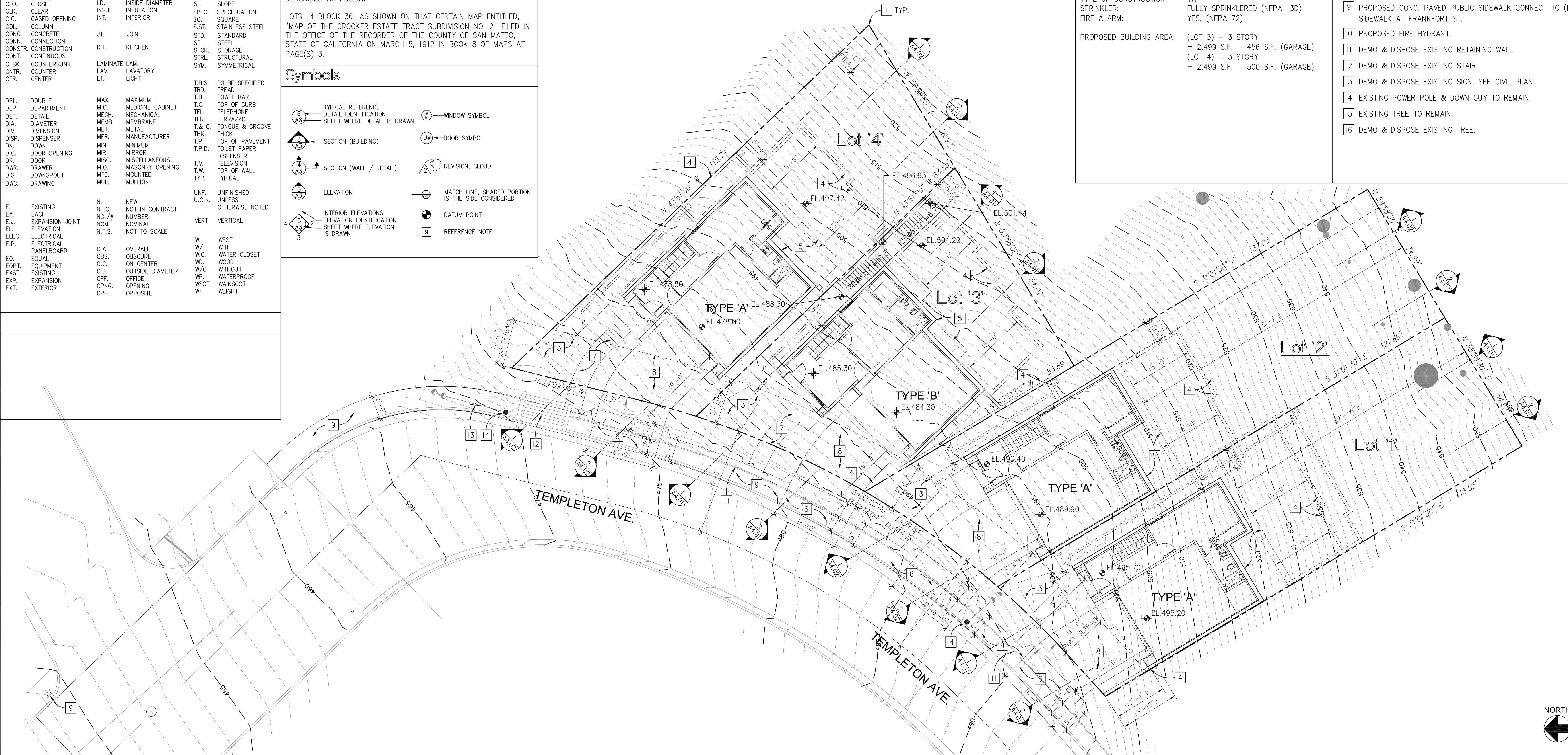
SCALE: N.T.S.

The map shows the intersection of Mission St. and Templeton Ave. The Project Site is located at the intersection of Mission St. and Templeton Ave. Other streets shown include San Jose Ave., Crocker Ave., John Daly Blvd., and Highway 260. A north arrow is located in the bottom left corner.

Project Description NEW HILL SIDE DEVELOPMENT OF FOUR 3-STORY SINGLE FAMILY HOUSES IN TWO PHASES.

Reference Notes

1	(E) PROPERTY LINE.
2	(E) FIRE HYDRANT.
3	STORM DRAIN SYSTEM, SEE CONCEPTUAL GRADING PLAN.
4	PROPOSED RETAINING WALL.
5	PROPOSED RETAINING WALL AT FIRST & SECOND FLOOR.
6	PROPOSED CURB-CUT.
7	PROPOSED CONC. STAIR TO SIDEWALK.
8	PROPOSED CONC. PAVED DRIVEWAY.
9	PROPOSED CONC. PAVED PUBLIC SIDEWALK CONNECT TO (E) SIDEWALK AT FRANKFORT ST.
10	PROPOSED FIRE HYDRANT.
11	DEMO & DISPOSE EXISTING RETAINING WALL.
12	DEMO & DISPOSE EXISTING STAIR.
13	DEMO & DISPOSE EXISTING SIGN, SEE CIVIL PLAN.
14	EXISTING POWER POLE & DOWN GUY TO REMAIN.
15	EXISTING TREE TO REMAIN.
16	DEMO & DISPOSE EXISTING TREE.



SCALE: 1" = 10'-0"



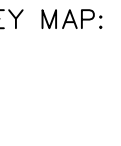
W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT:	NEW SINGLE FAMILY HOUSES DEVELOPMENT
ADDRESS:	TEMPLETON AVE. DALY CITY, CA 94014
CLIENT:	

SHEET TITLE: PROJECT DIRECTORY, DATA, SCOPE OF WORK, OVERALL MASTER SITE PLAN, LEGAL DESCRIPTION, NOTES, SHEET INDEX, ABBREVIATIONS

KEY MAP:



SEAL/STAMP

JOB NO.	_____	1731AR
DRAWN BY:	_____	TL
SUPERVISED BY:	_____	TL
CHECKED BY:	_____	TL
PLAN CHECK	_____	
PERMIT SET	____/____/____	
BID SET	____/____/____	

REVISIONS

△	ENGINEERING & PLANNING MEETING	DEC 11, 2017
	DESIGN REVIEW	
	SUBMITTAL (LOT 1&2)	JAN 25, 2018
	DESIGN REVIEW	
	SUBMITTAL (LOT 3&4)	APR 23, 2018
	DESIGN REVIEW SUBMITTAL	
	(LOT 1, 2, 3 & 4)	DEC 20, 2018

	_____	_____
	_____	_____
	_____	_____
	_____	_____
	_____	_____

SHEET NO:

A1.01

OF SHEETS

H E E T

NEW CONSTRUCTION OF TWO 3-STORY SINGLE FAMILY HOUSES (PHASE I) TEMPLETON AVE., DALY CITY, CA 94014

Project Directory

OWNER:	ARCHITECT & CIVIL ENGINEER:	LANDSCAPE ARCHITECT:
	W&W LAND DESIGN CONSULTANTS INC.	PHIL MAY LANDSCAPE ARCHITECT
	WINSTON LIU P.E.,	PHILIP S. MAY
	TOM LAU, AIA	1937 W 9TH ST.,
	2335 W. FOOTHILL BLVD., SUITE 1	UPLAND, CA 91786
	UPLAND, CA 91786	TEL.: (909) 373-1959
	TEL.: (909) 608-7118	FAX.: (909) 373-1958
	FAX.: (909) 946-1137	

Abbreviations

& L @ # (E) (R) (N)	AND ANGLE AT CENTERLINE DIAMETER OF ROUND POUND OR NUMBER EXISTING RELOCATED NEW	F.F. FDN. FIN. FL. FLUSH'G FLUOR. F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS F.P.R. FIREPROOF F.S. FLOOR SINK F.T. FOOT OR FEET F.TG. FOOTING FURR. FURRING FUT. FUTURE	PL. PLATE P.LAM. PLASTER PLAS. PLYWOOD PR. PAIR PT. POINT PTN. PARTITION Q.T. QUARRY TILE QSR. QUICK SERVE RESTAURANT	R/RAD. RADIUS R.D. ROOF DRAIN REF. REFERENCE REFR. REFRIGERATOR RENF. REINFORCED REQ'D REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER
A.F.F. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ABOVE FINISH FLOOR AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROX. APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	G.A. GALV. GL. GRM. GYP. GYP. BD. H.B. H.C. HOP. HDWD. HDWE. H.M. HORIZ. HR. HGT. I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR JT. JOINT KIT. KITCHEN LAMINATE LAM. LAVATORY LT. LIGHT	S.C. SOLID CORE SCHED. SCHEDULE S.D. SOAP DISPENSER SECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR SL. SLOPE SPEC. SPECIFICATION SQ. SQUARE S.S.T. STAINLESS STEEL STD. STANDARD STL. STEEL STOR. STORAGE STRL. STRUCTURAL SYM. SYMMETRICAL	T.B.S. T.B. T.C. TEL. T&G. THK. T.P.D. T.V. T.W. TYP. UNF. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED VERT. VERTICAL W. W/ W. WITH W.C. WATER CLOSET WD. WOOD W/O WITHOUT WATERPROOF WSC. WANSICOT WT. WEIGHT
BD. BITUM. BLDG. BLKG. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCKING BEAM BOTTOM	GYP. BD. GYPSUM BOARD H.B. HOSE BIBB H.C. HOLLOW CORE HOP. HANDICAP HDWD. HARDWOOD HDWE. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HGT. HEIGHT I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR JT. JOINT KIT. KITCHEN LAMINATE LAM. LAVATORY LT. LIGHT	S.C. SOLID CORE SCHED. SCHEDULE S.D. SOAP DISPENSER SECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR SL. SLOPE SPEC. SPECIFICATION SQ. SQUARE S.S.T. STAINLESS STEEL STD. STANDARD STL. STEEL STOR. STORAGE STRL. STRUCTURAL SYM. SYMMETRICAL	T.B.S. T.B. T.C. TEL. T&G. THK. T.P.D. T.V. T.W. TYP. UNF. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED VERT. VERTICAL W. W/ W. WITH W.C. WATER CLOSET WD. WOOD W/O WITHOUT WATERPROOF WSC. WANSICOT WT. WEIGHT
CAB. CEM. CER. C.I. CLG. CLKG. CLO. CLR. C.O. COL. CONC. CONN. CONSTR. CONT. CTSK. CNTR. CTR.	CABINET CEMENT CERAMIC CAST IRON CEILING CAULKING CLOSET CLEAR C.O. CASED OPENING COLUMN CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CTSK. COUNTERSUNK CNTR. COUNTER CENTER	MAX. MAXIMUM M.C. MEDICINE CABINET M.C.H. MECHANICAL MEMB. MEMBER MET. METAL MFR. MANUFACTURER MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION	T.B.S. T.B. T.C. TEL. T&G. THK. T.P.D. T.V. T.W. TYP. UNF. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED VERT. VERTICAL W. W/ W. WITH W.C. WATER CLOSET WD. WOOD W/O WITHOUT WATERPROOF WSC. WANSICOT WT. WEIGHT	
E. E.A. E.J. ELEC. E.P. EQ. EQPT. EXST. EXP. EXT.	EXISTING EACH EXPANSION JOINT ELEVATION ELECTRICAL ELECTRICAL PANELBOARD EQUAL EQUIPMENT EXISTING EXPANSION EXTERIOR	N. NEW N.I.C. NOT IN CONTRACT NO./# NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE O.A. OVERALL OBS. OBSOURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE OPENING OPP. OPPOSITE	W. WEST W/ WITH W.C. WATER CLOSET WD. WOOD W/O WITHOUT WATERPROOF WSC. WANSICOT WT. WEIGHT	

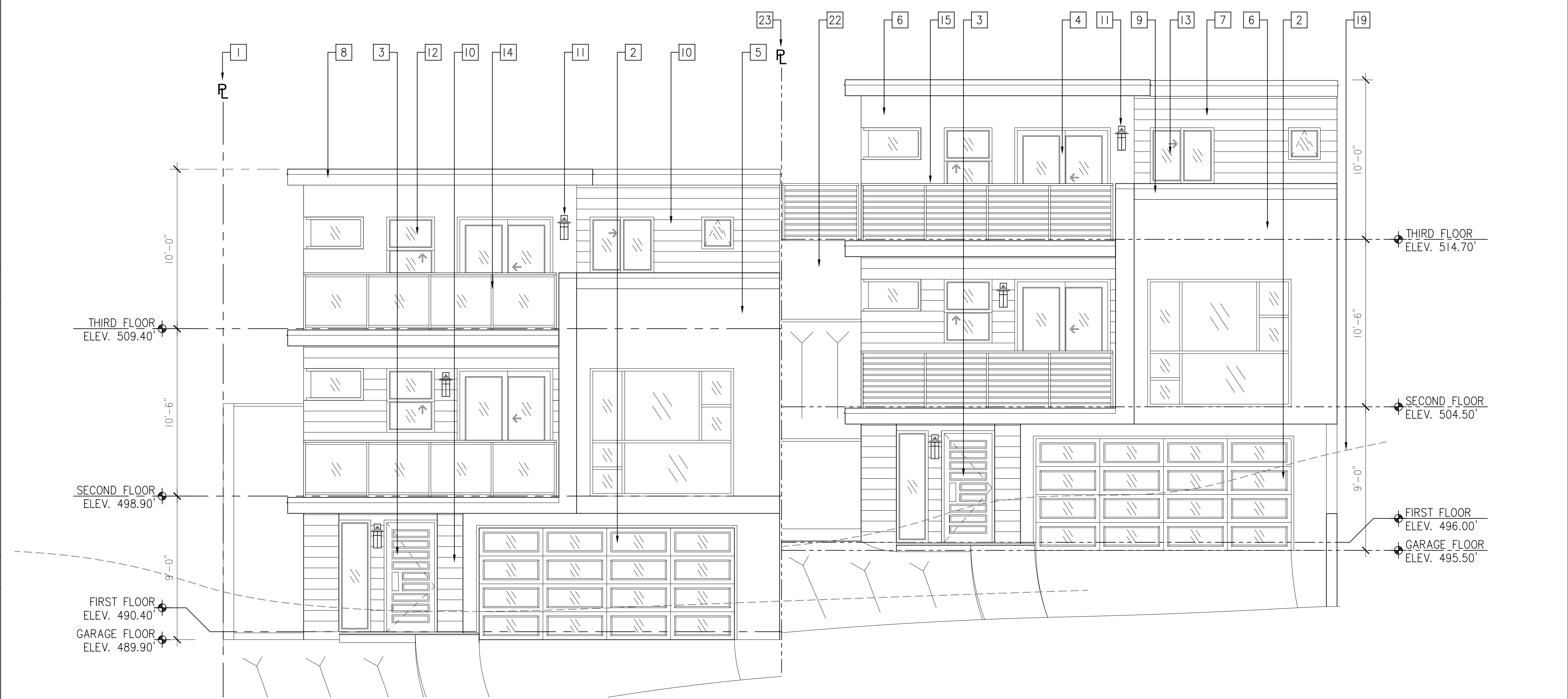
Symbols

6 AS	TYPICAL REFERENCE DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN	#	WINDOW SYMBOL
3 AS	SECTION (BUILDING)	D#	DOOR SYMBOL
3 AS	SECTION (WALL / DETAIL)		REVISION, CLOUD
3 AS	ELEVATION		MATCH LINE, SHADED PORTION IS THE SIDE CONSIDERED
4 AS 2	INTERIOR ELEVATIONS ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN		DATUM POINT
		9	REFERENCE NOTE



Overall Site Plan

SCALE: 1" = 10'-0"



Front Elevations (North)

SCALE: 1/4" = 1'-0"

Project Data

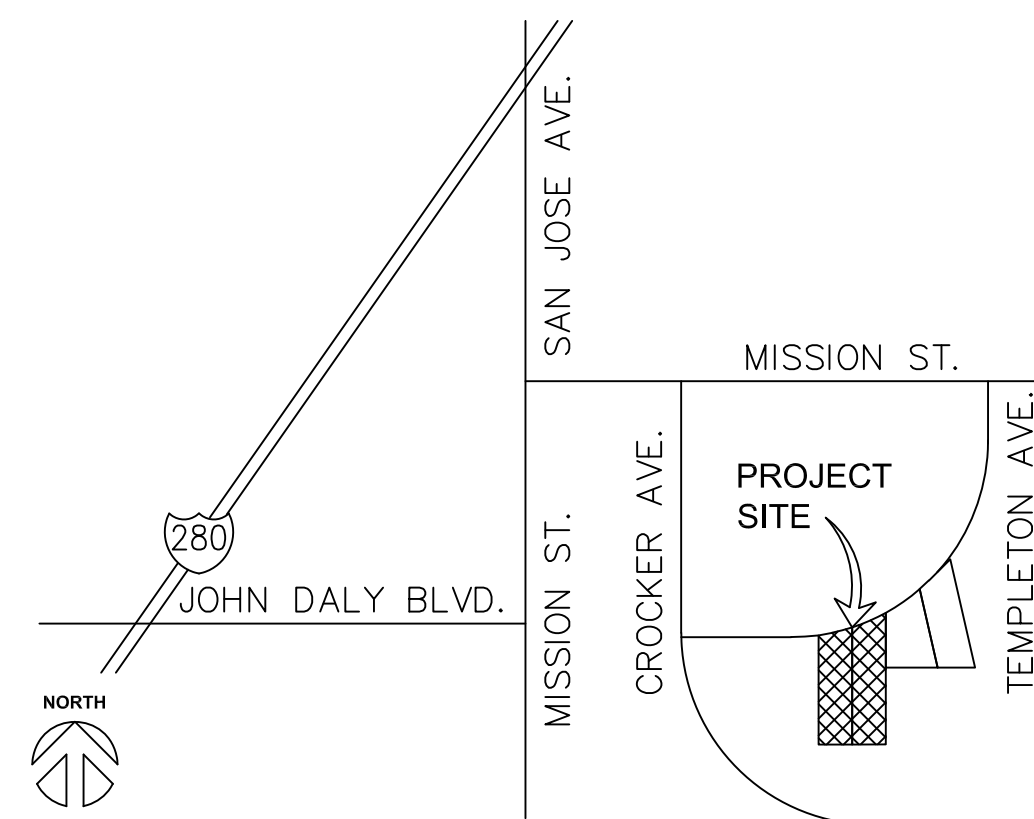
ADDRESS:	TEMPLETON AVE., DALY CITY, CA 94014
APN#:	004243020 (LOT 3), 004243120 (LOT 4)
ZONING:	R-1
EXISTING OCCUPANCY:	R-3
BUILDING CODE:	2016 CBC, CEC, CMG, CPC, CFC, CALIFORNIA ENERGY CODE, CGBSC
EXISTING SITE AREA:	LOT 3 = 3,185± S.F. LOT 4 = 3,784± S.F.
TYPE OF CONSTRUCTION:	VA
SPRINKLER:	FULLY SPRINKLERED (NFPA 13D)
FIRE ALARM:	YES, (NFPA 72)
PROPOSED BUILDING AREA:	(LOT 1) - 3 STORY = 2,499 S.F. + 500 S.F. (GARAGE) (LOT 2) - 3 STORY = 2,499 S.F. + 500 S.F. (GARAGE)

Reference Notes (SITE PLAN)

- (E) PROPERTY LINE.
- (E) FIRE HYDRANT.
- STORM DRAIN SYSTEM, SEE CONCEPTUAL GRADING PLAN.
- PROPOSED RETAINING WALL.
- PROPOSED RETAINING WALL AT SECOND & THIRD FLOOR.
- PROPOSED CURB-CUT.
- PROPOSED CONC. STAIR TO SIDEWALK.
- PROPOSED CONC. PAVED DRIVEWAY.
- PROPOSED CONC. PAVED PUBLIC SIDEWALK CONNECT TO (E) SIDEWALK AT FRANKFORT ST.
- PROPOSED FIRE HYDRANT.
- DEMO & DISPOSE EXISTING RETAINING WALL.

Vicinity Map

SCALE: N.T.S.



Project Description

NEW HILL SIDE DEVELOPMENT OF TWO 3-STORY SINGLE FAMILY HOUSES W/ LOT SUBDIVISION.

Sheet Index

A1.01	OVERALL MASTER SITE PLAN
A1.01(I)	TITLE, SITE PLAN, PROJECT DATA, AREA BREAKDOWN SHEET INDEX, REFERENCE NOTES
A2.01	FLOOR PLAN
A3.01(I)	NORTH & EAST ELEVATIONS (LOT 1)
A3.02(I)	SOUTH & WEST ELEVATIONS (LOT 1)
A3.03(I)	NORTH & EAST ELEVATIONS (LOT 2)
A3.04(I)	SOUTH & WEST ELEVATIONS (LOT 2)
A4.01(I)	SECTIONS (LOT 1)
A4.02(I)	SECTIONS (LOT 2)
C-1	CONCEPTUAL GRADING TITLE SHEET
C-2	SITE SECTIONS
C-3	CONCEPTUAL GRADING
C-4	EROSION & SEDIMENT CONTROL PLAN
L-1	PRELIMINARY LANDSCAPE PLAN

Legal Description

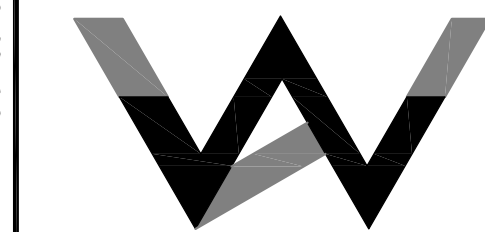
LOT 13

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA IS DESCRIBED AS FOLLOW:
LOTS 13 BLOCK 36, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE CROCKER ESTATE TRACT SUBDIVISION NO. 2" FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON MARCH 5, 1912 IN BOOK 8 OF MAPS AT PAGE(S) 3.

LOT 14

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF DALY CITY, COUNTY OF SAN MATEO, STATE OF CALIFORNIA IS DESCRIBED AS FOLLOW:
LOTS 14 BLOCK 36, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE CROCKER ESTATE TRACT SUBDIVISION NO. 2" FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON MARCH 5, 1912 IN BOOK 8 OF MAPS AT PAGE(S) 3.

(ELEVATIONS)



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

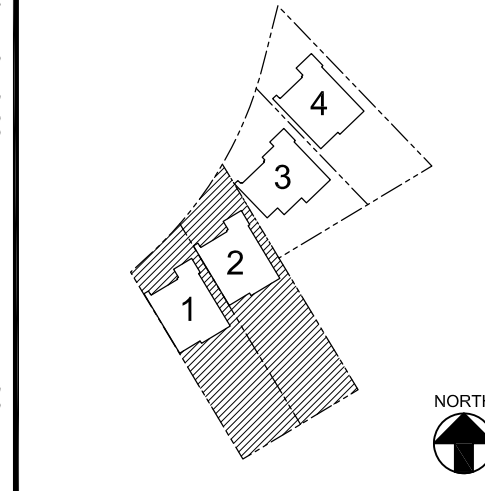
PROJECT: NEW SINGLE FAMILY HOUSES DEVELOPMENT

ADDRESS: TEMPLETON AVE DALY CITY, CA 94014

CLIENT:

PROJECT DIRECTORY, DATA, SCOPE OF WORK, SITE PLAN, LEGAL DESCRIPTION, NOTES, SHEET INDEX, ABBREVIATIONS (PHASE I)

KEY MAP:



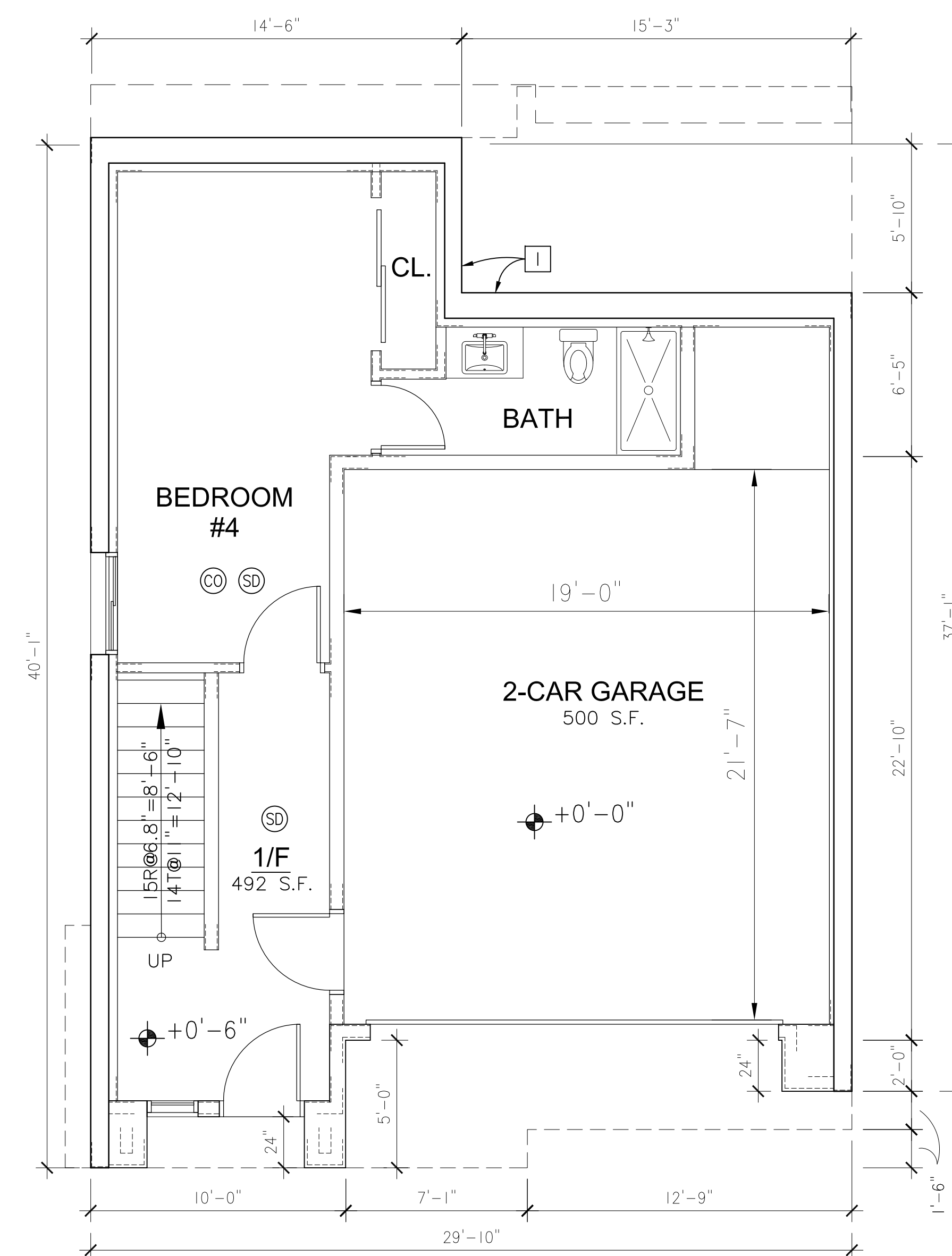
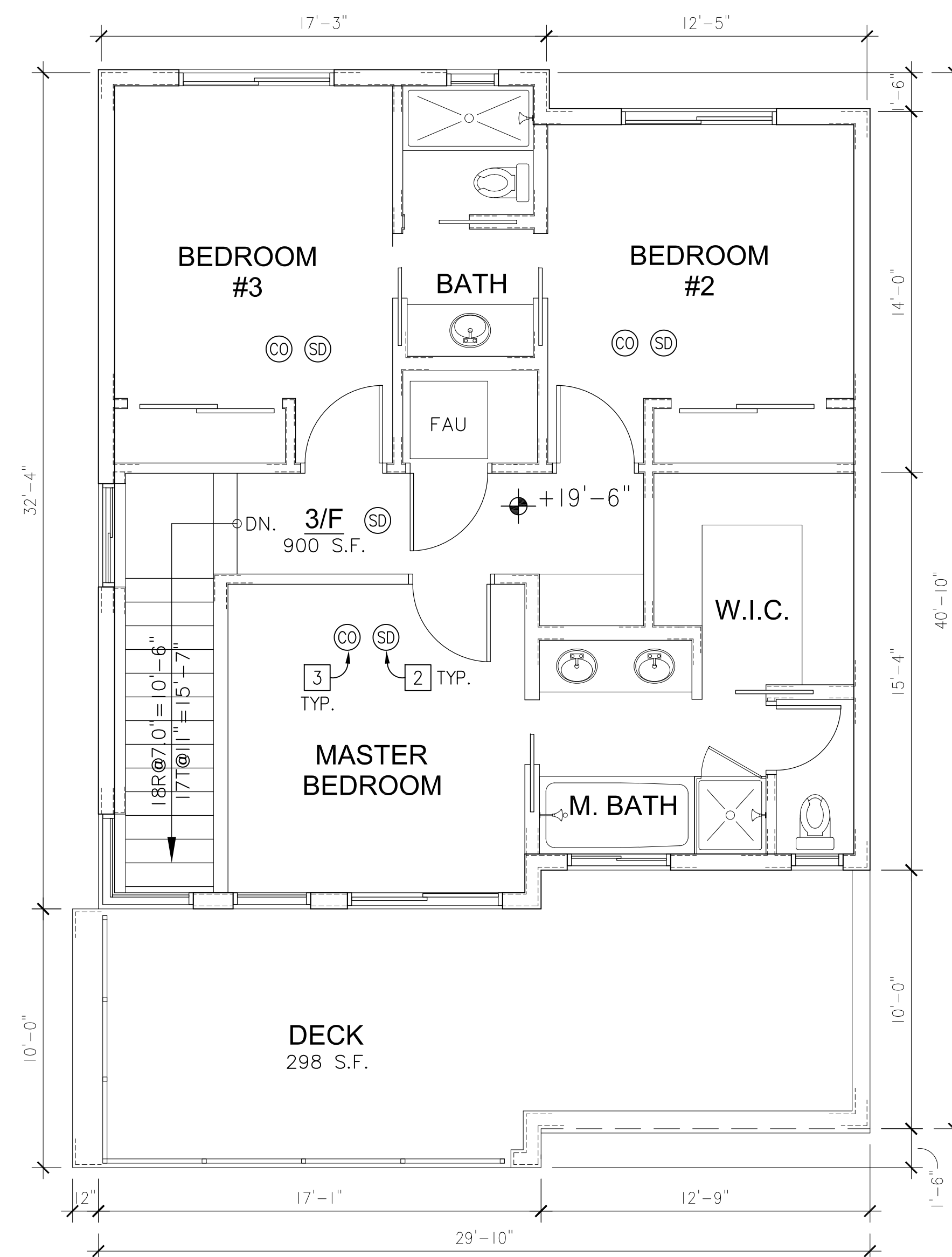
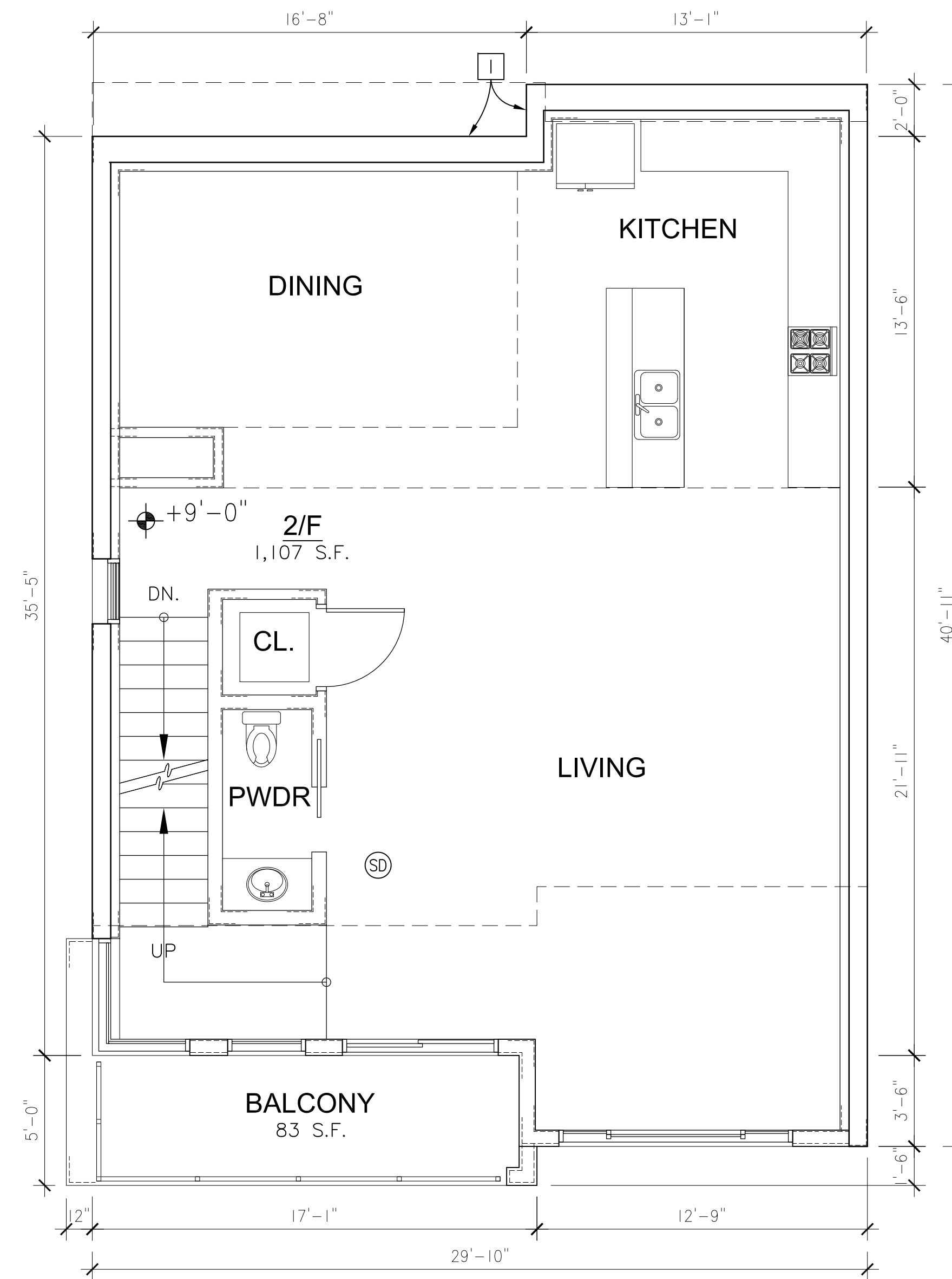
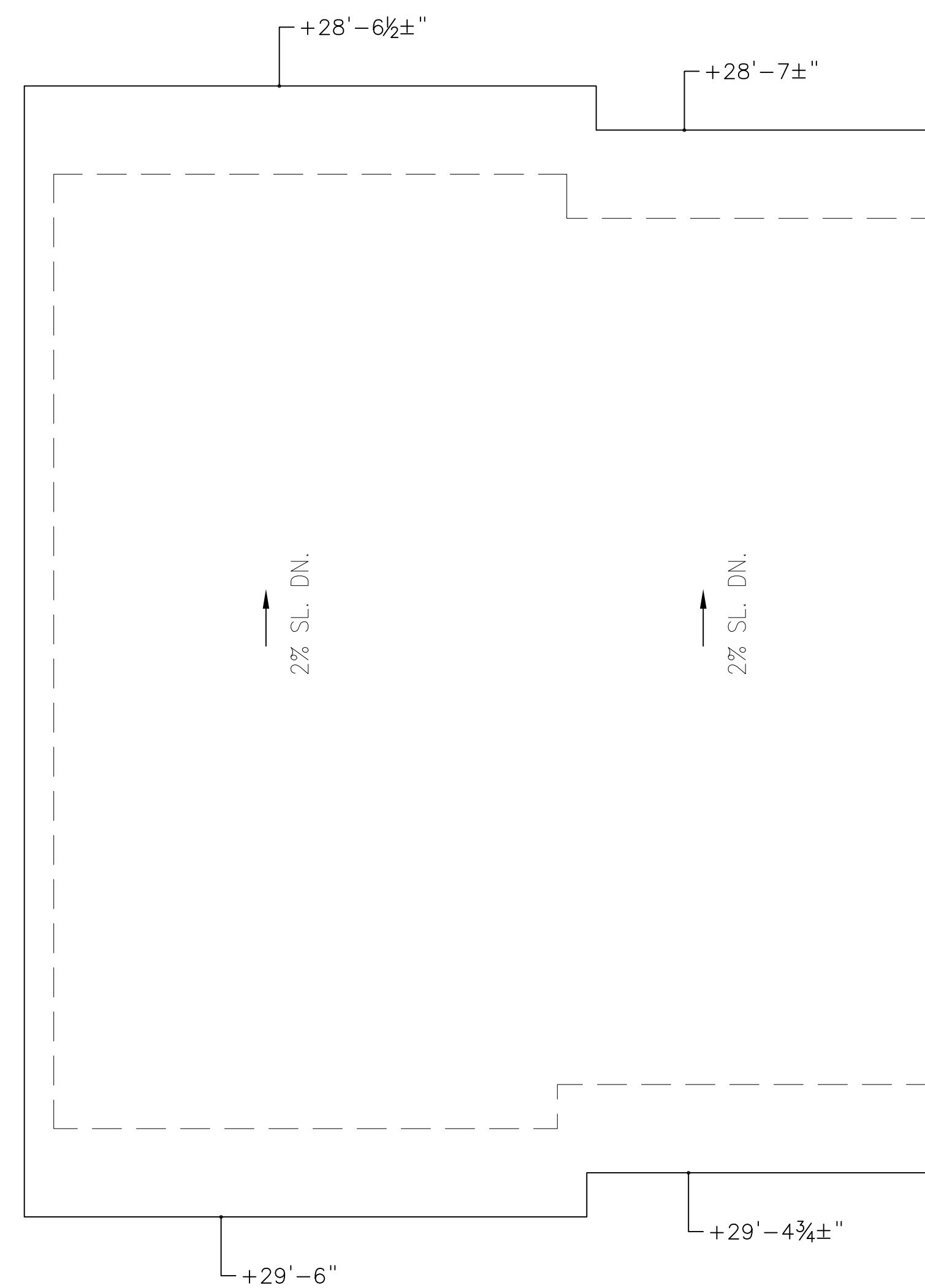
SEAL/STAMP

JOB NO.	1731AR
DRAWN BY:	TL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	
PERMIT SET	
BID SET	
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW	
SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

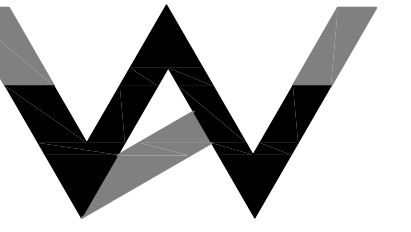
A1.01(I)

OF SHEETS
S H E E T



- ## Reference Notes

- 1 RETAINING WALL.
- 2 SMOKE DETECTOR.
- 3 CARBON MONOXIDE DETECTOR.



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

PROJECT: NEW SINGLE FAMILY HOUSES
DEVELOPMENT

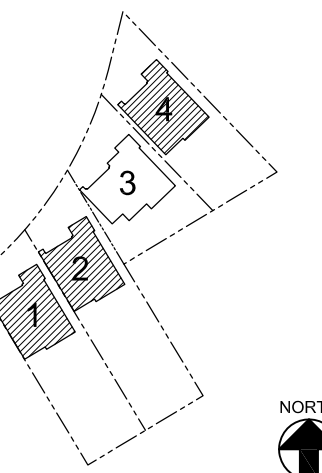
ADDRESS: TEMPLETON AVE,
DALY CITY, CA 94014

000000

FLOOR PLANS & ROOF PLAN
(LOT 1, 2 & 4)
TYPE 'A'

:3711 133HS

KEY MAP:



SEAL/STAMP

JOB NO.	1731AR
DRAWN BY:	TL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	
PERMIT SET	___/___/___

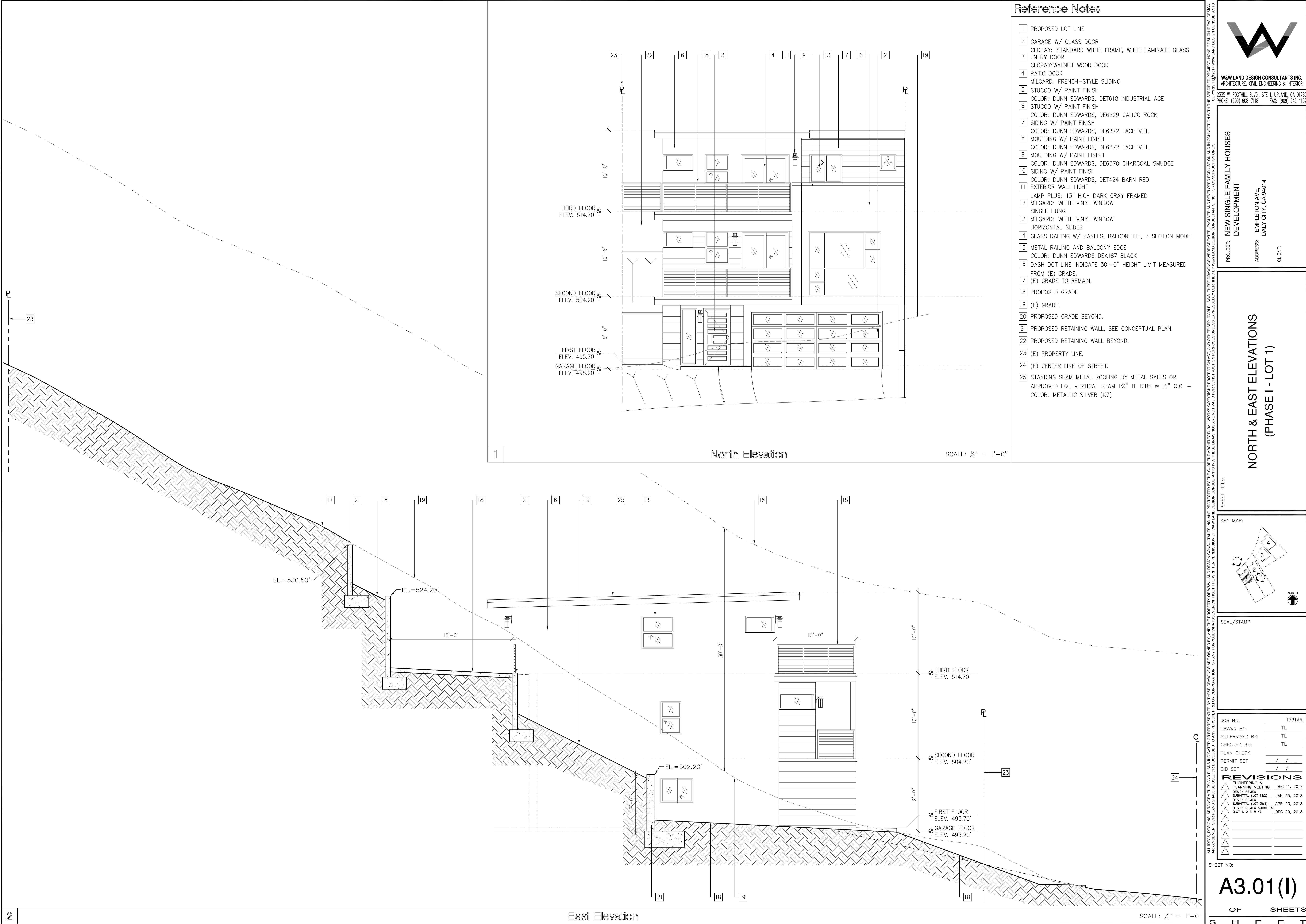
REVISIONS	
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

A2.01

OF SHEETS

S H E E T



Reference Notes

- 1 PROPOSED LOT LINE
- 2 GARAGE W/ GLASS DOOR
CLOPAY: STANDARD WHITE FRAME, WHITE LAMINATE GLASS
- 3 ENTRY DOOR
CLOPAY: WALNUT WOOD DOOR
- 4 PATIO DOOR
MILGARD: FRENCH-STYLE SLIDING
- 5 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE618 INDUSTRIAL AGE
- 6 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6229 CALICO ROCK
- 7 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
- 8 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
- 9 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6370 CHARCOAL SMUDGE
- 10 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET424 BARN RED
- 11 EXTERIOR WALL LIGHT
LAMP PLUS: 13" HIGH DARK GRAY FRAMED
- 12 MILGARD: WHITE VINYL WINDOW
SINGLE HUNG
- 13 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
- 14 GLASS RAILING W/ PANELS, BALCONETTE, 3 SECTION MODEL
- 15 METAL RAILING AND BALCONY EDGE
COLOR: DUNN EDWARDS, DEA187 BLACK
- 16 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
- 17 (E) GRADE TO REMAIN.
- 18 PROPOSED GRADE.
- 19 (E) GRADE.
- 20 PROPOSED GRADE BEYOND.
- 21 PROPOSED RETAINING WALL, SEE CONCEPTUAL PLAN.
- 22 PROPOSED RETAINING WALL BEYOND.
- 23 (E) PROPERTY LINE.
- 24 (E) CENTER LINE OF STREET.
- 25 STANDING SEAM METAL ROOFING BY METAL SALES OR APPROVED EQ., VERTICAL SEAM 1 1/4" H. RIBS @ 16" O.C. - COLOR: METALLIC SILVER (K7)

W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR
2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: **NEW SINGLE FAMILY HOUSES DEVELOPMENT**

ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014

CLIENT:

**NORTH & EAST ELEVATIONS
(PHASE I - LOT 1)**

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

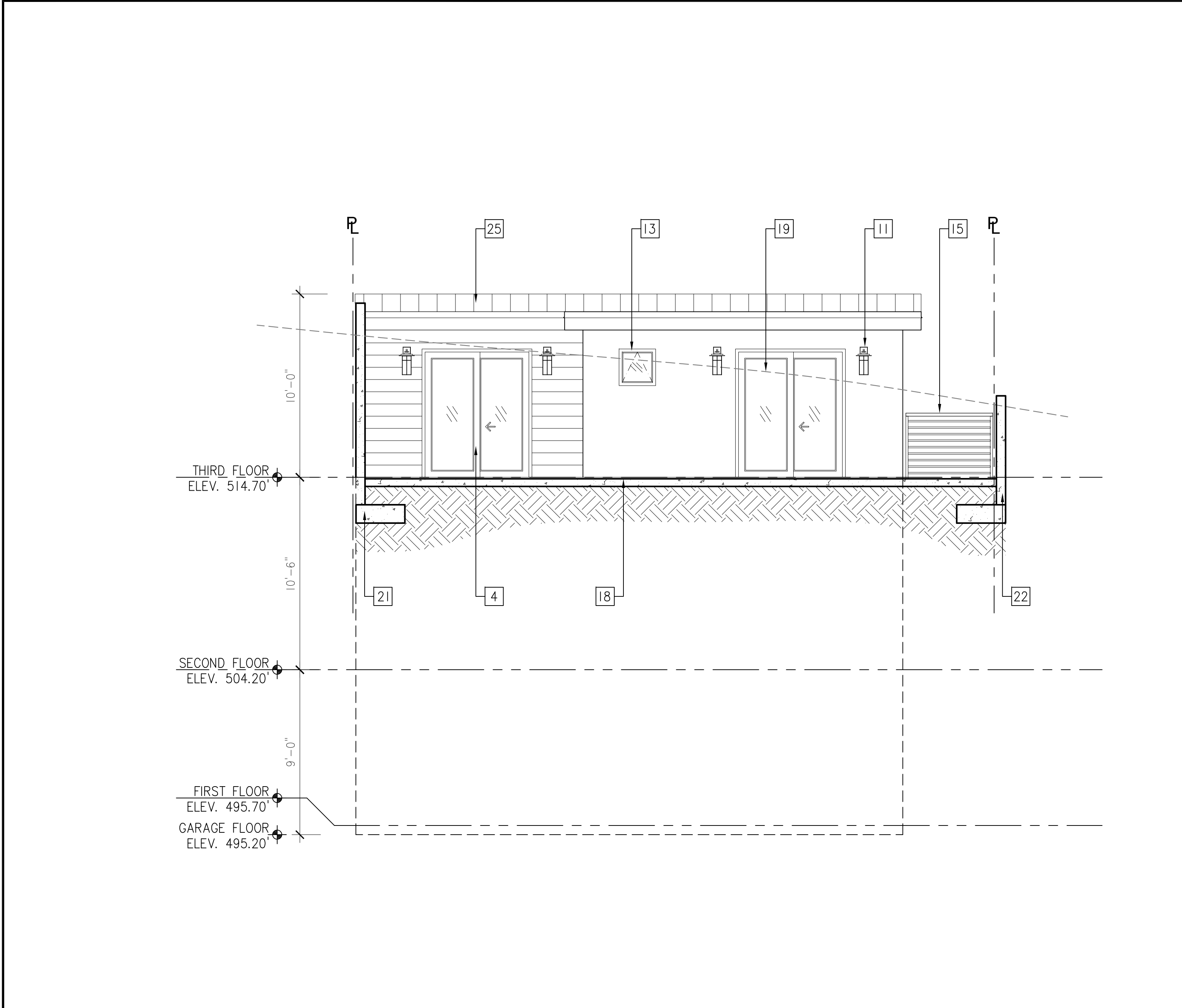
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW	
SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

A3.01(I)

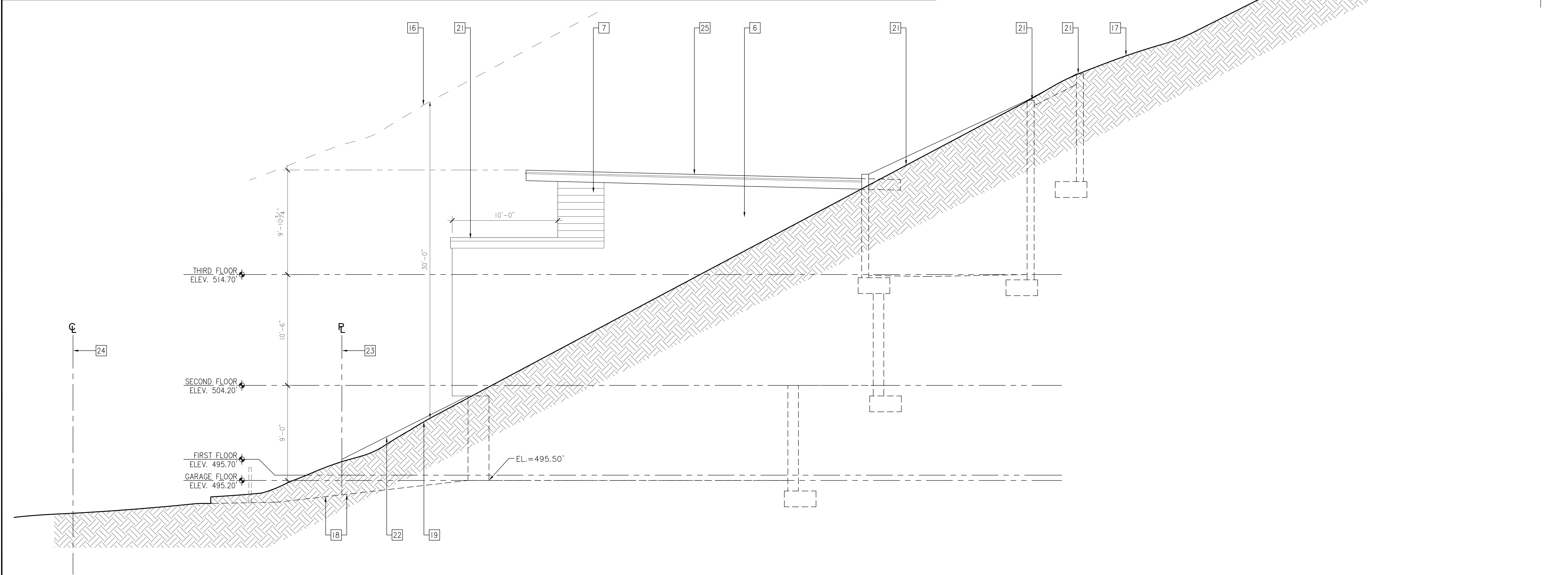
OF SHEETS

SHEET

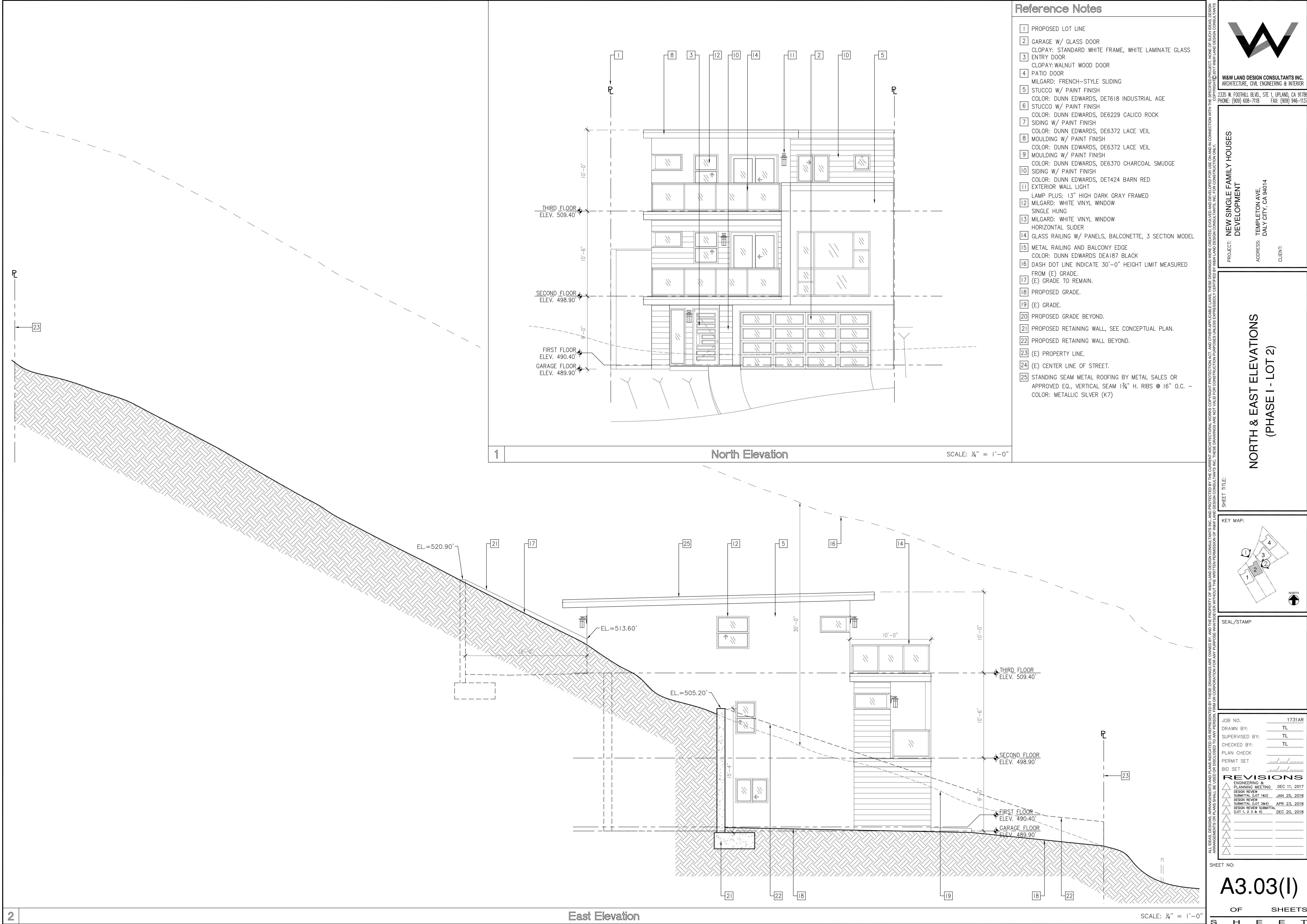


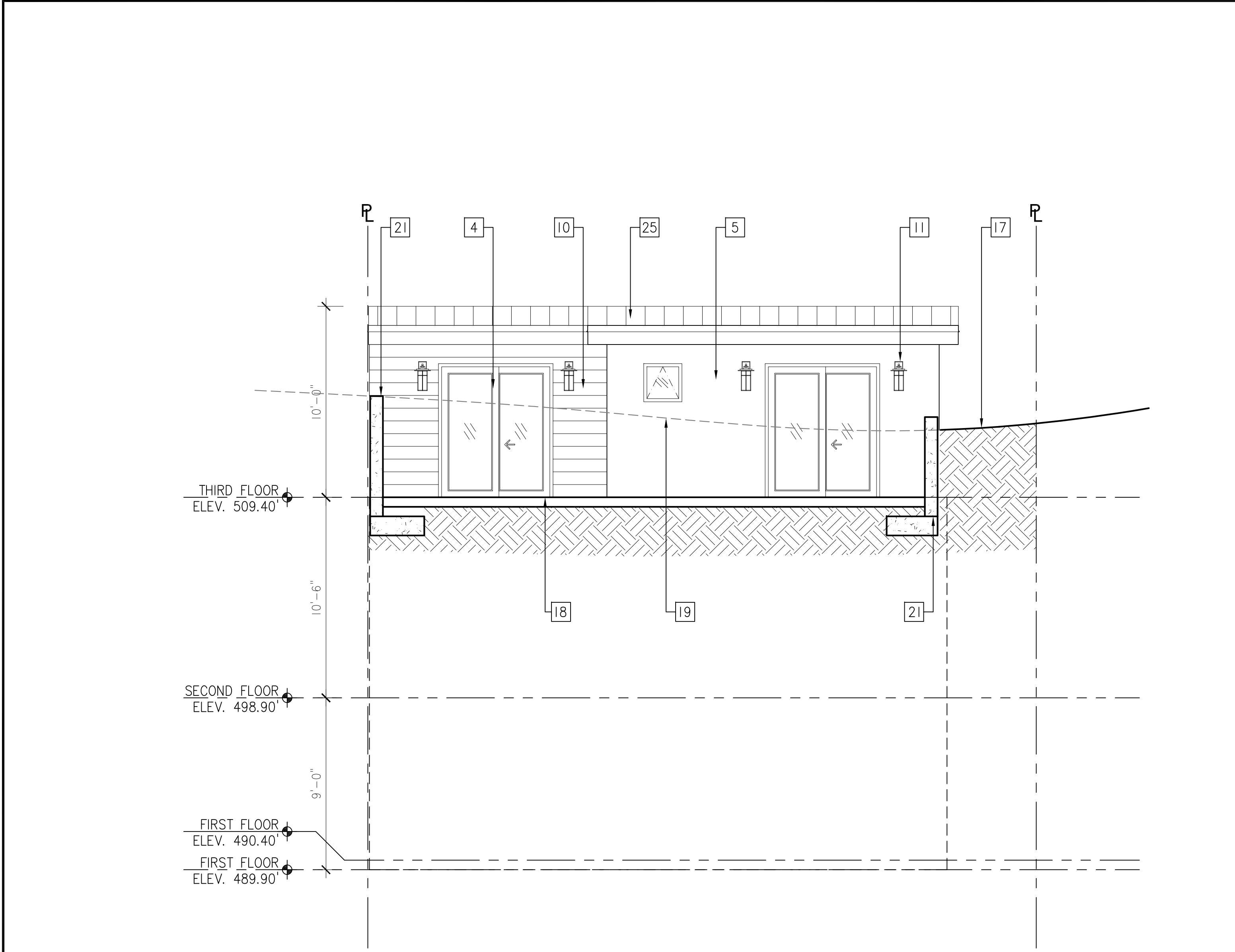
- Reference Notes**
- 1 PROPOSED LOT LINE
 - 2 GARAGE W/ GLASS DOOR
CLOPAY: STANDARD WHITE FRAME, WHITE LAMINATE GLASS
 - 3 ENTRY DOOR
CLOPAY: WALNUT WOOD DOOR
 - 4 PATIO DOOR
MILGARD: FRENCH-STYLE SLIDING
 - 5 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET618 INDUSTRIAL AGE
 - 6 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6229 CALICO ROCK
 - 7 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
 - 8 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
 - 9 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6370 CHARCOAL SMUDGE
 - 10 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET424 BARN RED
 - 11 EXTERIOR WALL LIGHT
LAMP PLUS: 13" HIGH DARK GRAY FRAMED
 - 12 MILGARD: WHITE VINYL WINDOW
SINGLE HUNG
 - 13 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
 - 14 GLASS RAILING W/ PANELS, BALCONETTE, 3 SECTION MODEL
 - 15 METAL RAILING AND BALCONY EDGE
COLOR: DUNN EDWARDS DEA187 BLACK
 - 16 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
 - 17 (E) GRADE TO REMAIN.
 - 18 PROPOSED GRADE.
 - 19 (E) GRADE.
 - 20 PROPOSED GRADE BEYOND.
 - 21 PROPOSED RETAINING WALL, SEE CONCEPTUAL PLAN.
 - 22 PROPOSED RETAINING WALL BEYOND.
 - 23 (E) PROPERTY LINE.
 - 24 (E) CENTER LINE OF STREET.
 - 25 STANDING SEAM METAL ROOFING BY METAL SALES OR APPROVED EQ., VERTICAL SEAM 1 3/4" H. RIBS @ 16" O.C. - COLOR: METALLIC SILVER (K7)

1 South Elevation SCALE: 1/4" = 1'-0"



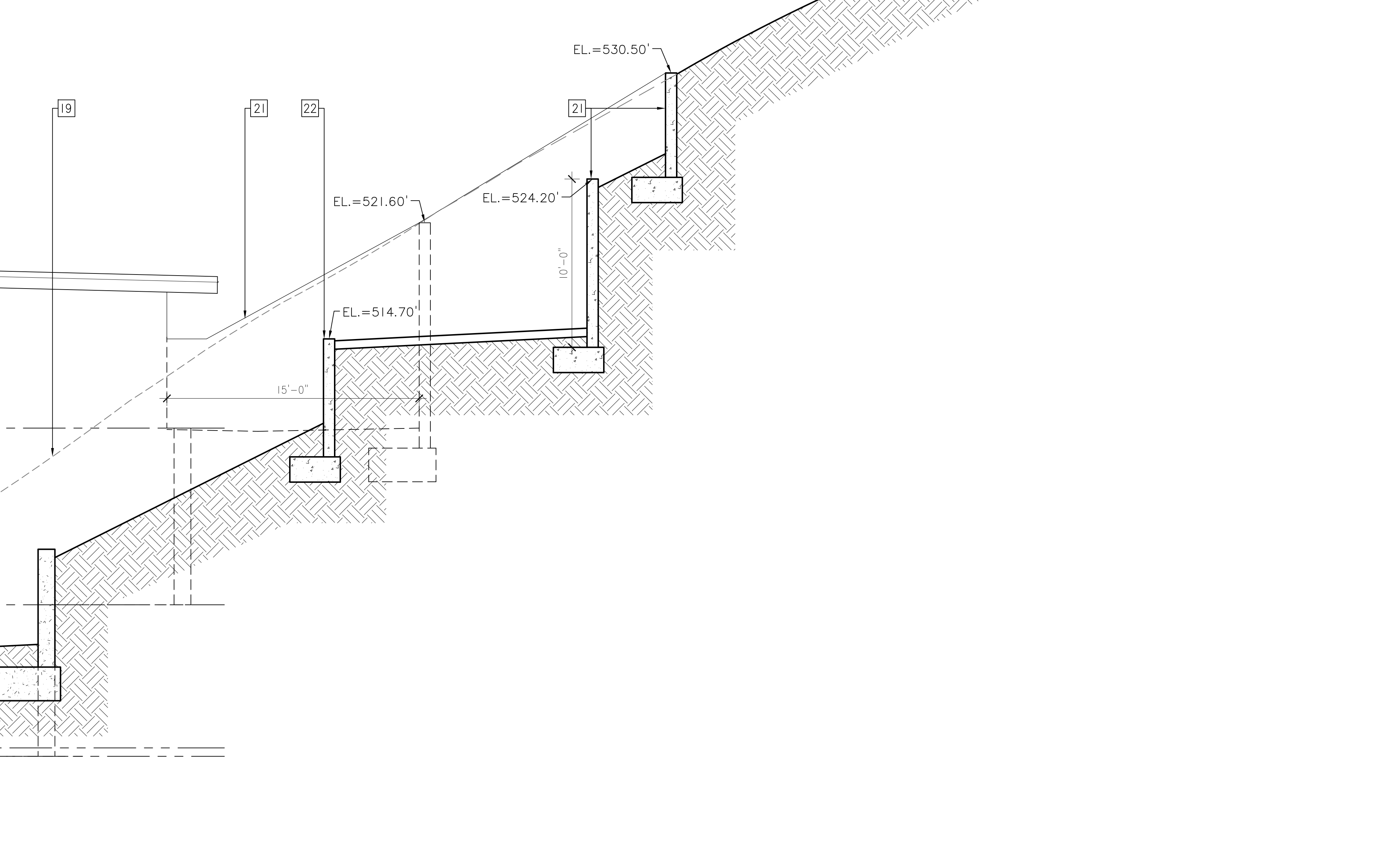
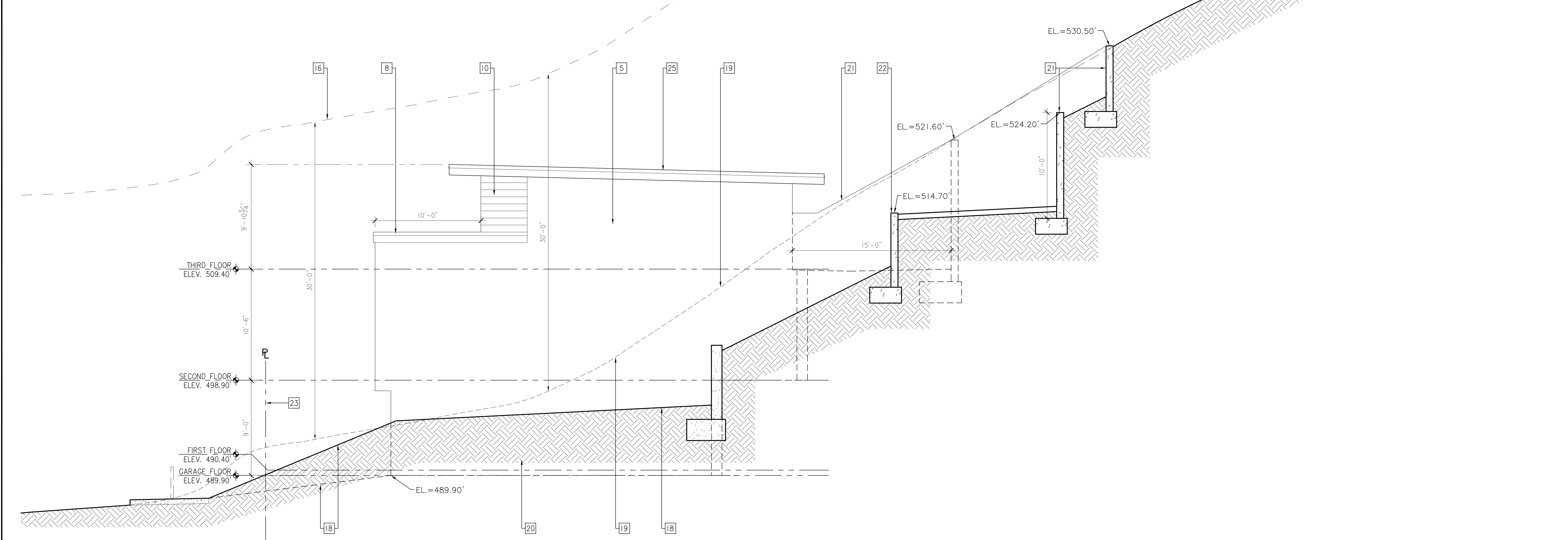
2 West Elevation SCALE: 1/4" = 1'-0"



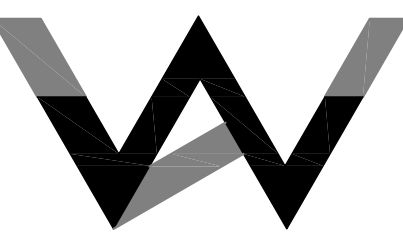


- Reference Notes**
- 1 PROPOSED LOT LINE
 - 2 GARAGE W/ GLASS DOOR
CLOPAY: STANDARD WHITE FRAME, WHITE LAMINATE GLASS
 - 3 ENTRY DOOR
CLOPAY: WALNUT WOOD DOOR
 - 4 PATIO DOOR
MILGARD: FRENCH-STYLE SLIDING
 - 5 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET618 INDUSTRIAL AGE
 - 6 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6229 CALICO ROCK
 - 7 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
 - 8 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6372 LACE VEIL
 - 9 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DE6370 CHARCOAL SMUDGE
 - 10 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET424 BARN RED
 - 11 EXTERIOR WALL LIGHT
LAMP PLUS: 13" HIGH DARK GRAY FRAMED
 - 12 MILGARD: WHITE VINYL WINDOW
SINGLE HUNG
 - 13 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
 - 14 GLASS RAILING W/ PANELS, BALCONETTE, 3 SECTION MODEL
 - 15 METAL RAILING AND BALCONY EDGE
COLOR: DUNN EDWARDS DEA187 BLACK
 - 16 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED
FROM (E) GRADE.
 - 17 (E) GRADE TO REMAIN.
 - 18 PROPOSED GRADE.
 - 19 (E) GRADE.
 - 20 PROPOSED GRADE BEYOND.
 - 21 PROPOSED RETAINING WALL, SEE CONCEPTUAL PLAN.
 - 22 PROPOSED RETAINING WALL BEYOND.
 - 23 (E) PROPERTY LINE.
 - 24 (E) CENTER LINE OF STREET.
 - 25 STANDING SEAM METAL ROOFING BY METAL SALES OR
APPROVED EQ., VERTICAL SEAM 1 3/4" H. RIBS @ 16" O.C. -
COLOR: METALLIC SILVER (K7)

1 South Elevation SCALE: 1/4" = 1'-0"



2 West Elevation SCALE: 1/4" = 1'-0"



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 698-7118 FAX: (909) 946-1137

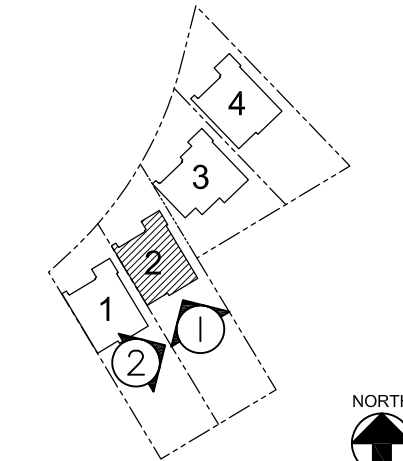
PROJECT: **NEW SINGLE FAMILY HOUSES
DEVELOPMENT**

ADDRESS: **TEMPLETON AVE
DALY CITY, CA 94014**

CLIENT:

**SOUTH & WEST ELEVATIONS
(PHASE I - LOT 2)**

KEY MAP:



NORTH

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

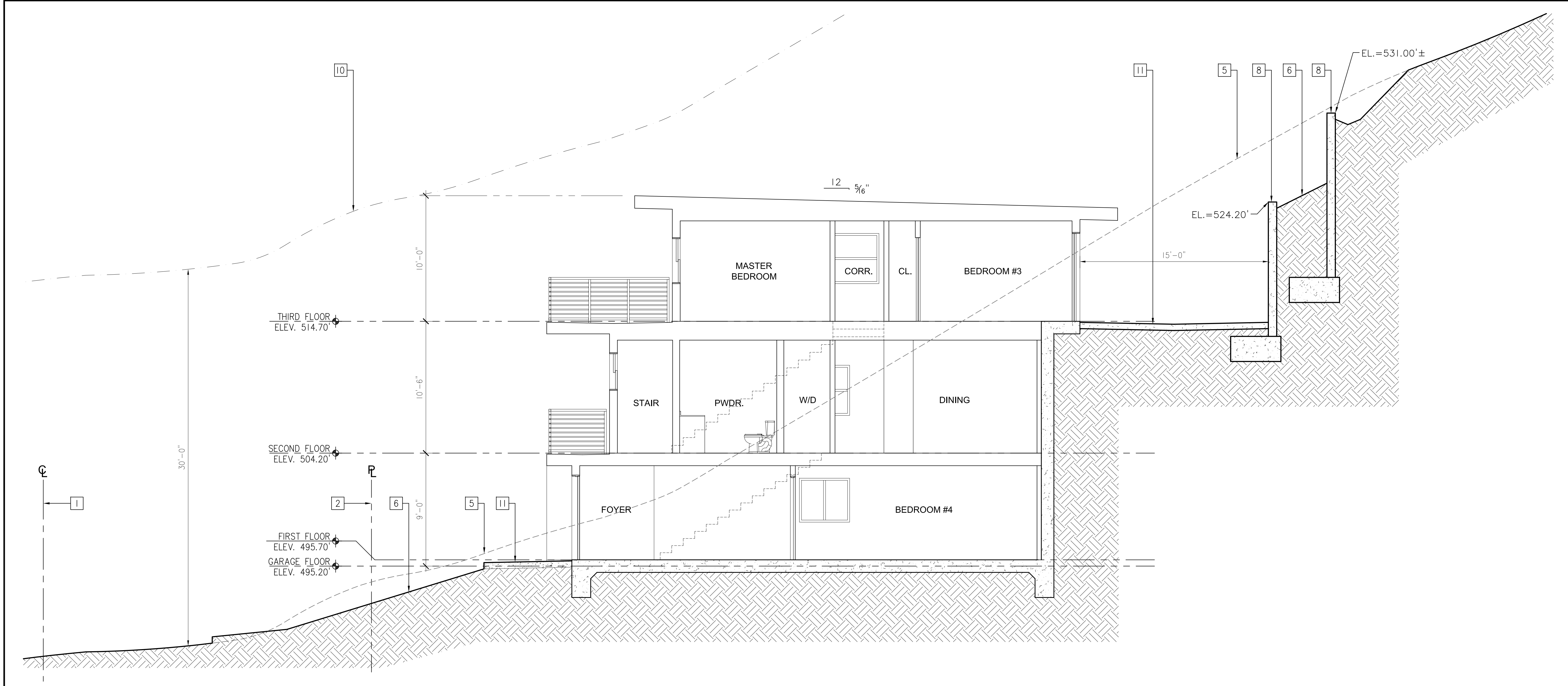
△	ENGINEERING & PLANNING MEETING	DEC 11, 2017
△	DESIGN REVIEW	
△	SUBMITTAL (LOT 1&2)	JAN 25, 2018
△	DESIGN REVIEW	
△	SUBMITTAL (LOT 3&4)	APR 23, 2018
△	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018
△		
△		
△		

SHEET NO:

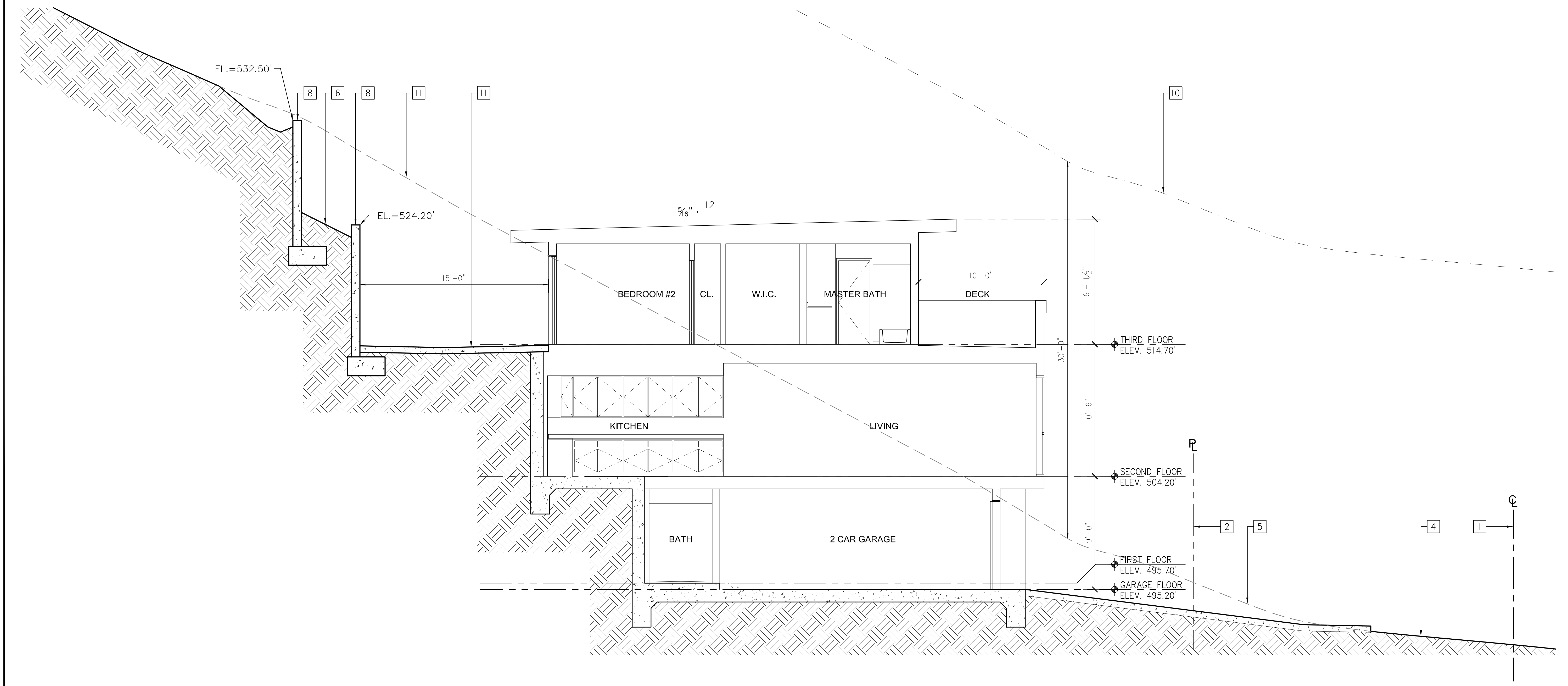
A3.04(I)

OF SHEETS

SHEET



1 Site Section 'I' SCALE: 1/4" = 1'-0"



2 Site Section 'II' SCALE: 1/4" = 1'-0"

Reference Notes

- 1 EXISTING CENTER LINE OF STREET.
- 2 EXISTING LOT LINE TO REMAIN.
- 3 PROPOSED LOT LINE.
- 4 EXISTING GRADE.
- 5 DASH LINE INDICATE (E) GRADE.
- 6 PROPOSED FINISH GRADE.
- 7 PROPOSED FINISH GARDE BEYOND.
- 8 PROPOSED RETAINING WALL.
- 9 PROPOSED RETAINING WALL BEYOND.
- 10 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
- 11 CONC. SLAB. & FOOTING.

W&W LAND DESIGN CONSULTANTS INC.

ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7110 FAX: (909) 946-1137

PROJECT: NEW SINGLE FAMILY HOUSES DEVELOPMENT
ADDRESS: TEMPLETON AVE DAILY CITY, CA 94014
CLIENT:

SITE SECTIONS (PHASE I - LOT 1)

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

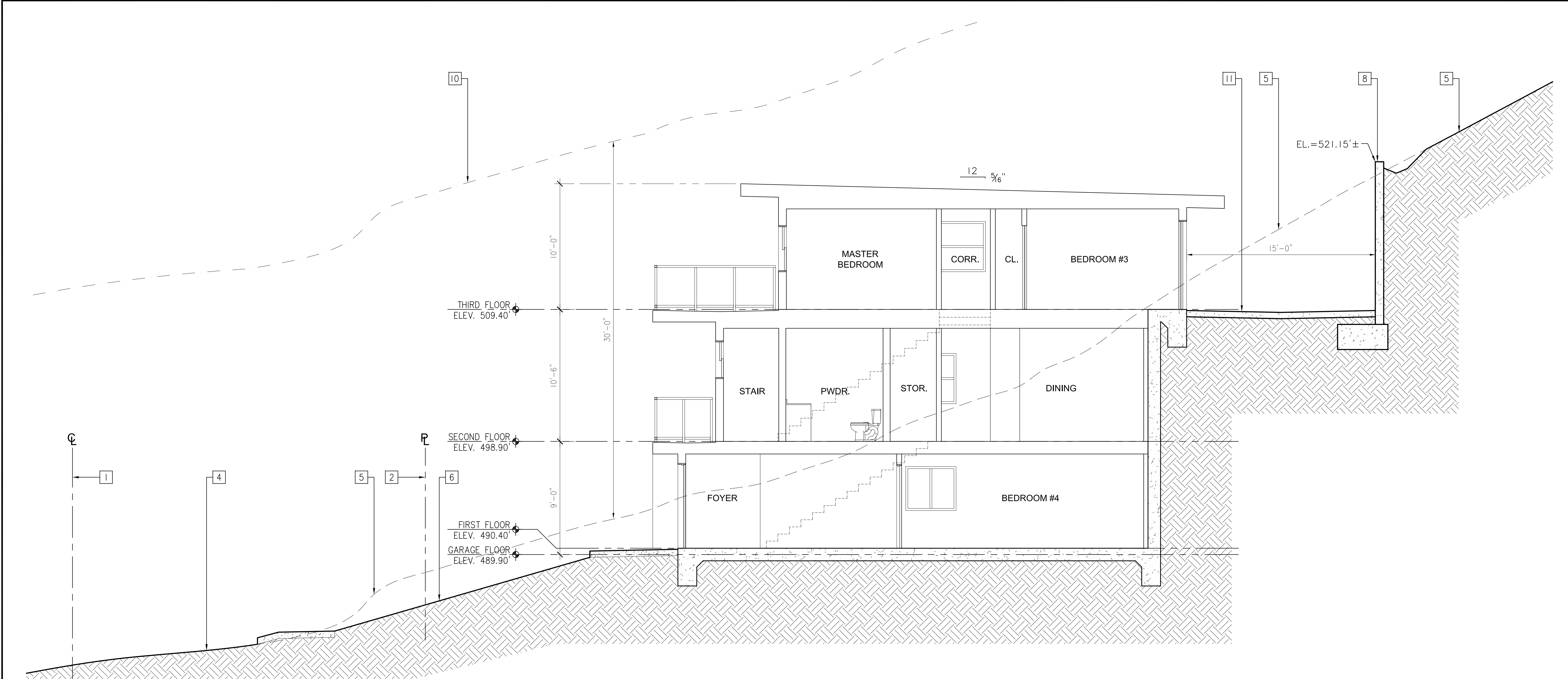
NO.	DESCRIPTION	DATE
1	ENGINEERING & PLANNING MEETING	DEC 11, 2017
2	DESIGN REVIEW	JAN 25, 2018
3	SUBMITTAL (LOT 1&2)	JAN 25, 2018
4	SUBMITTAL (LOT 3&4)	APR 23, 2018
5	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

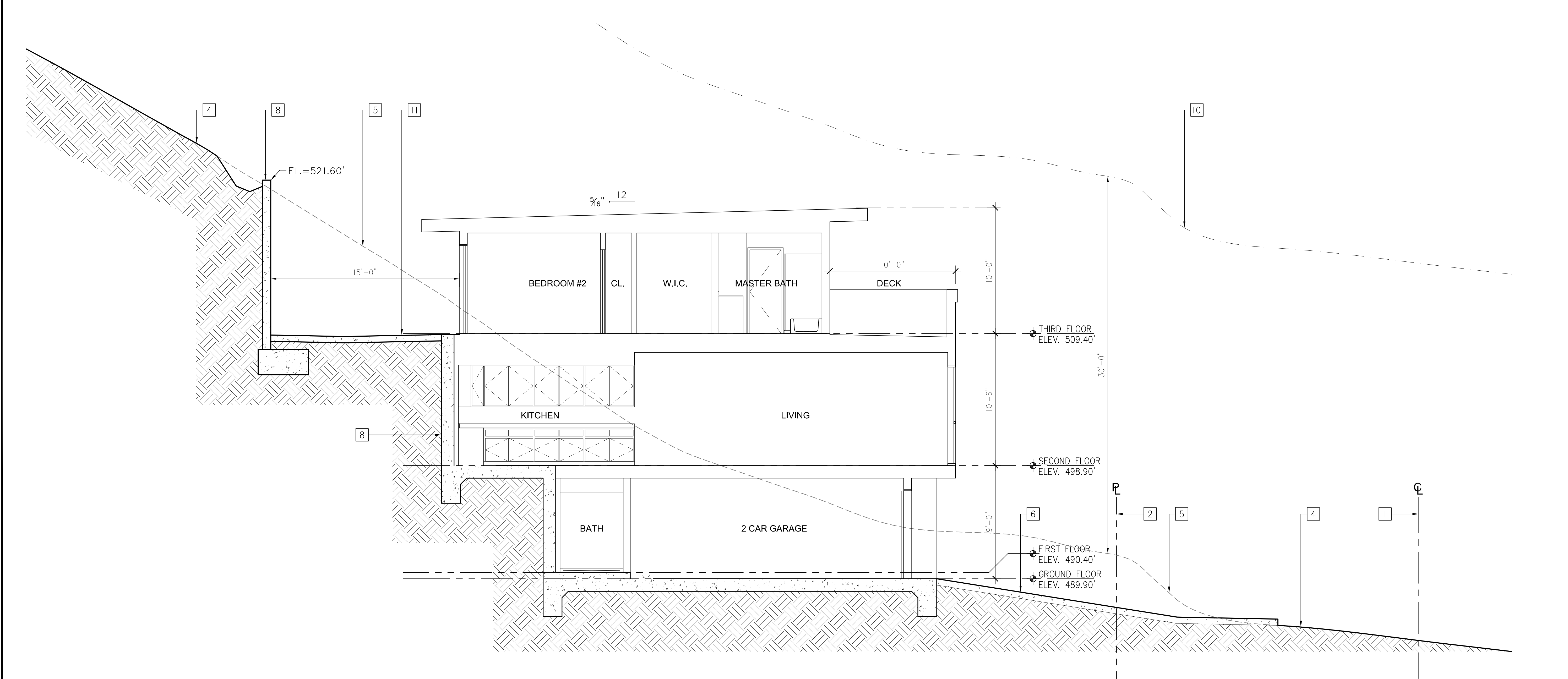
A4.01(I)

OF SHEETS

S H E E T



1 Site Section 'I' SCALE: 1/4" = 1'-0"



2 Site Section 'II' SCALE: 1/4" = 1'-0"

Reference Notes

- 1 EXISTING CENTER LINE OF STREET.
- 2 EXISTING LOT LINE TO REMAIN.
- 3 PROPOSED LOT LINE.
- 4 EXISTING GRADE.
- 5 DASH LINE INDICATE (E) GRADE.
- 6 PROPOSED FINISH GRADE.
- 7 PROPOSED FINISH GARDE BEYOND.
- 8 PROPOSED RETAINING WALL.
- 9 PROPOSED RETAINING WALL BEYOND.
- 10 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
- 11 CONC. SLAB. & FOOTING.

W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7110 FAX: (909) 946-1137

PROJECT: **NEW SINGLE FAMILY HOUSES DEVELOPMENT**
ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014
CLIENT:

**SITE SECTIONS
(PHASE I - LOT 2)**

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

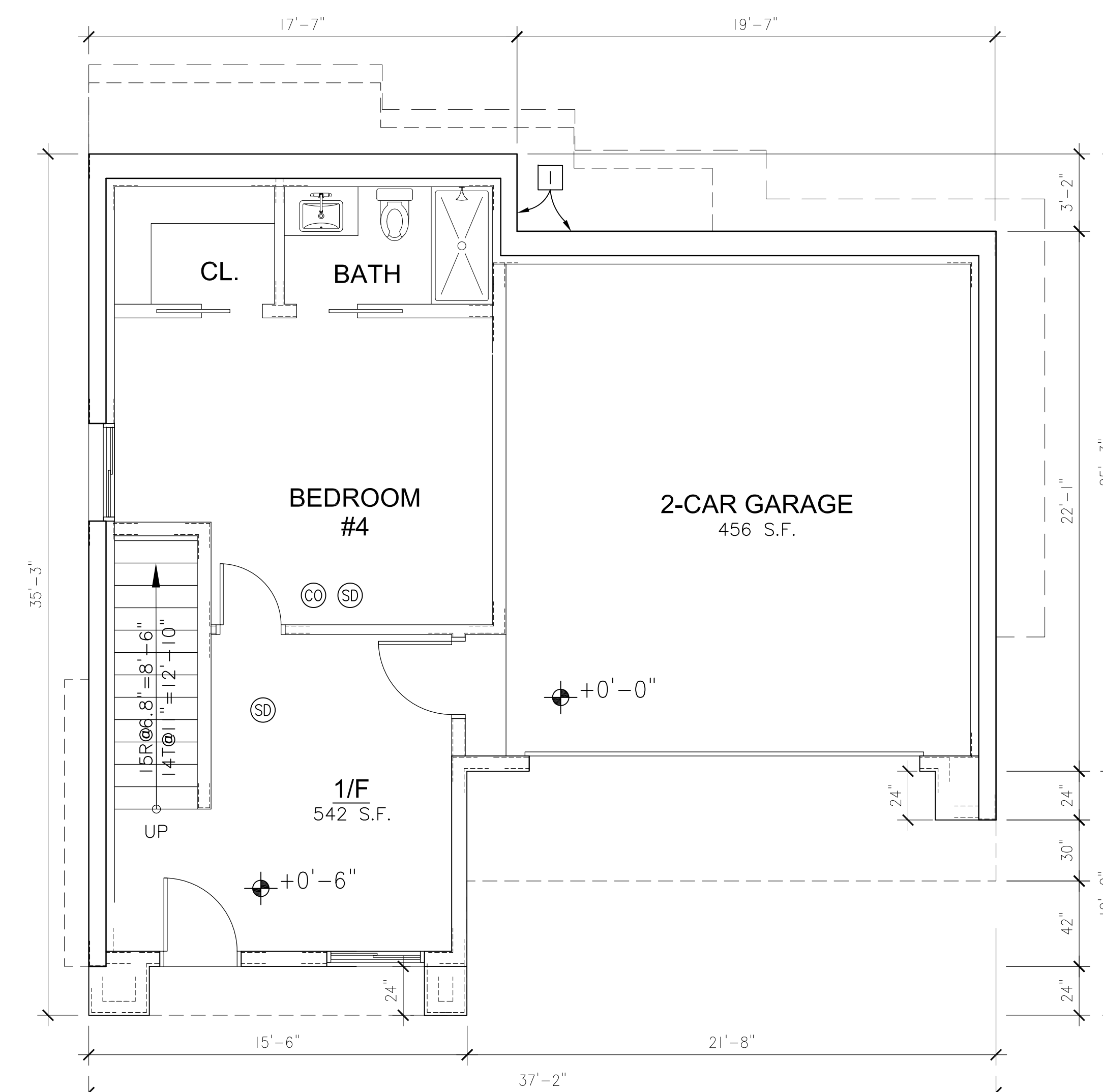
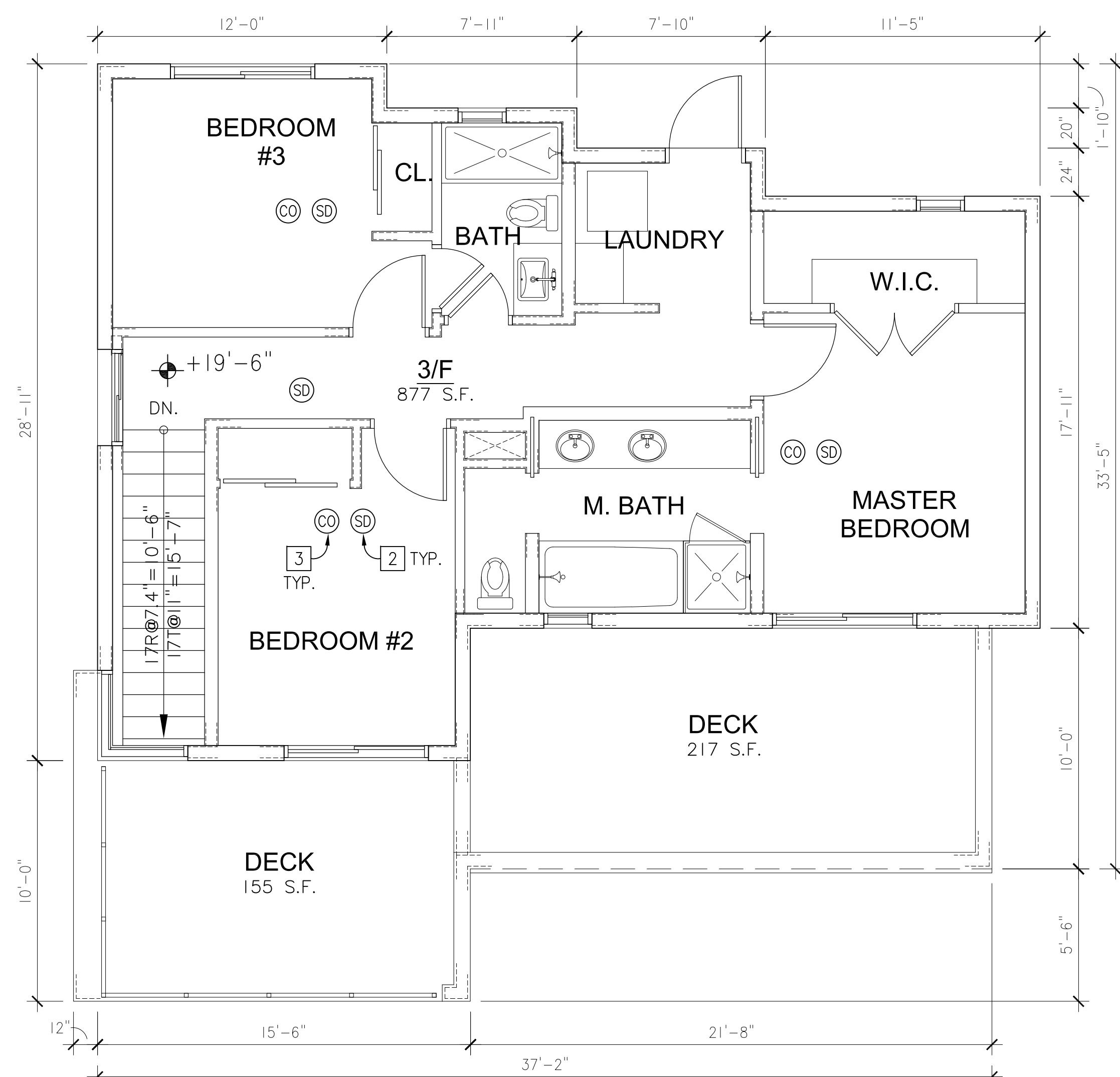
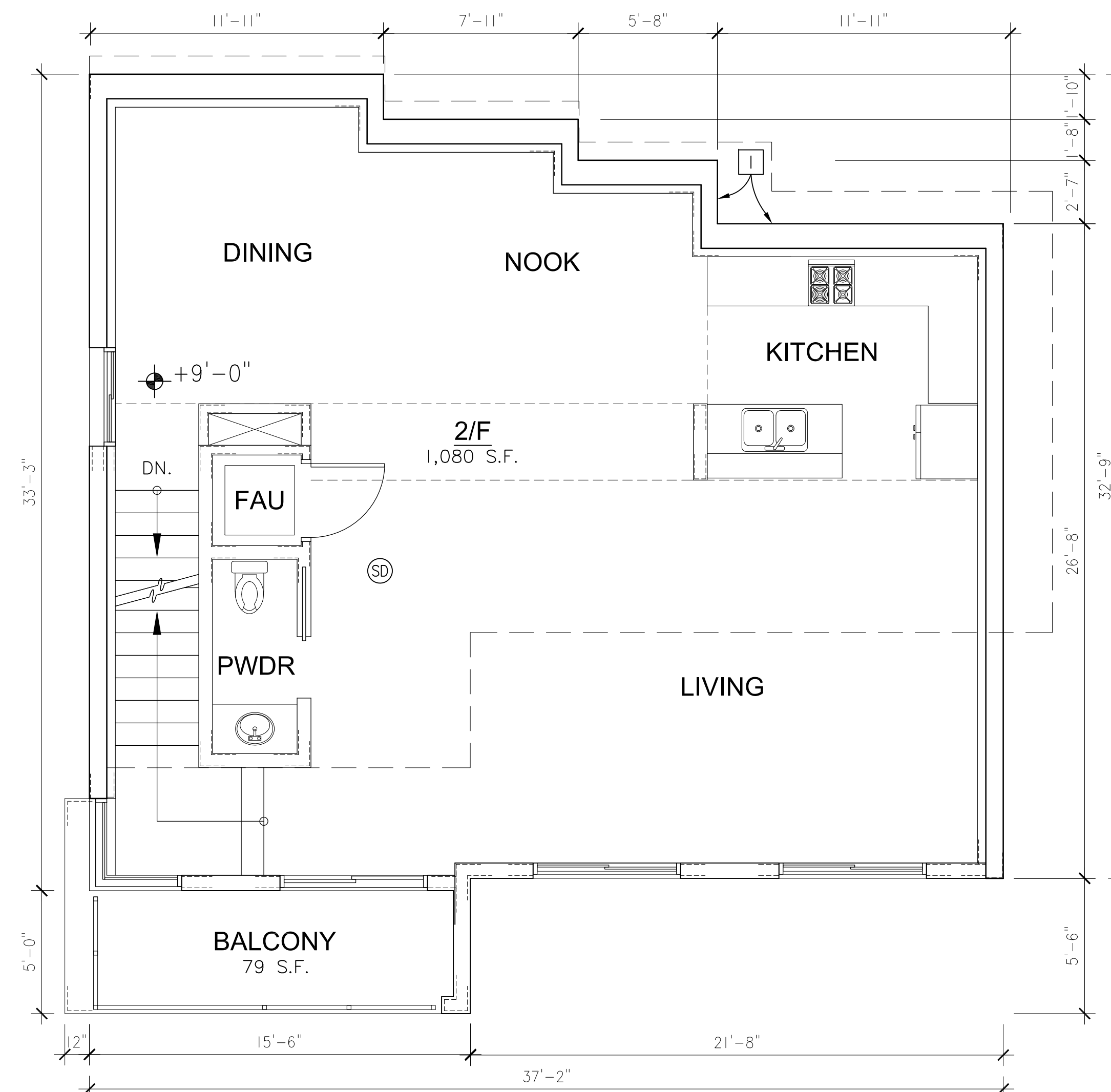
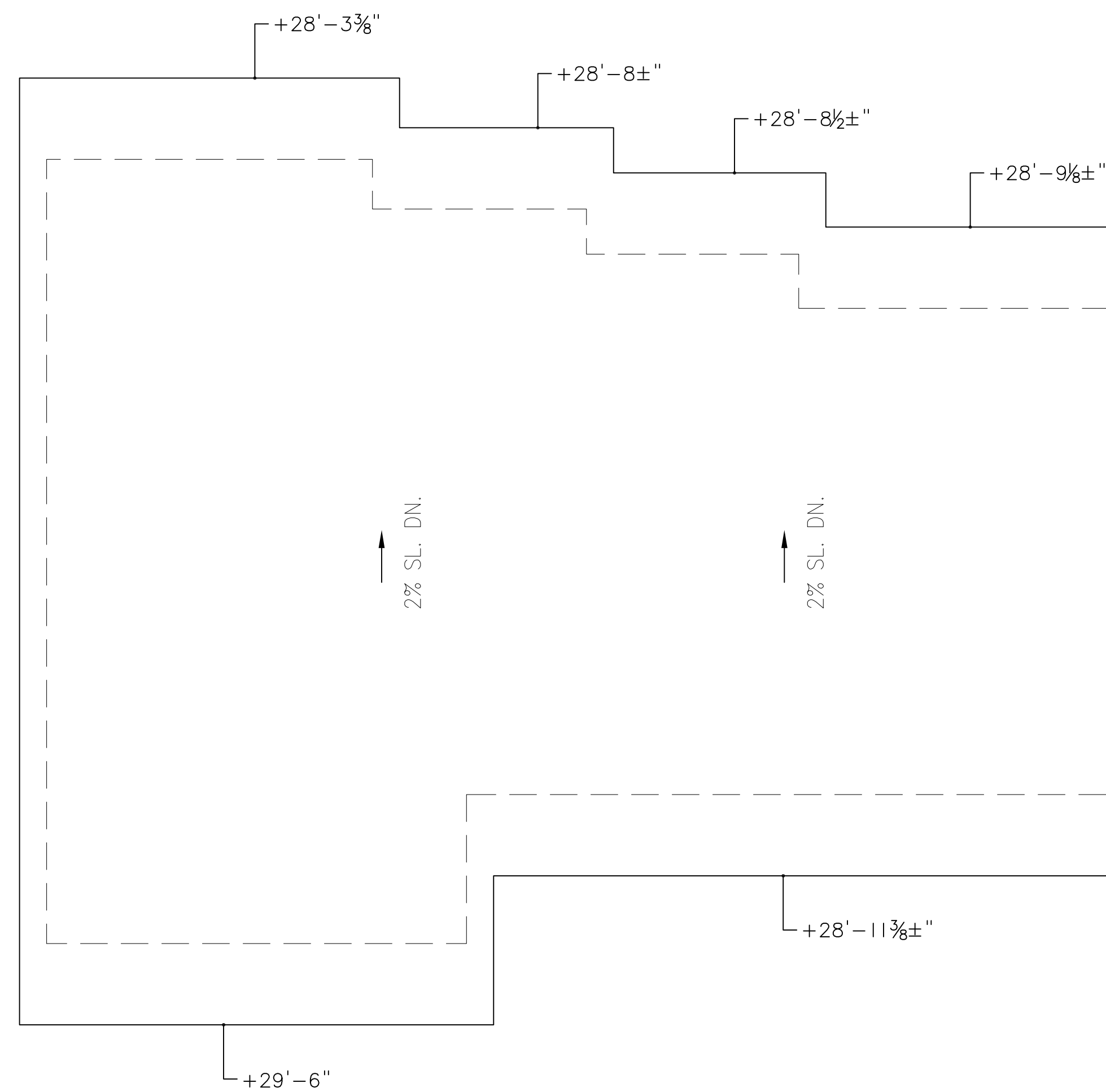
NO.	DESCRIPTION	DATE
1	ENGINEERING & PLANNING MEETING	DEC 11, 2017
2	DESIGN REVIEW	JAN 25, 2018
3	SUBMITTAL (LOT 1&2)	APR 23, 2018
4	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

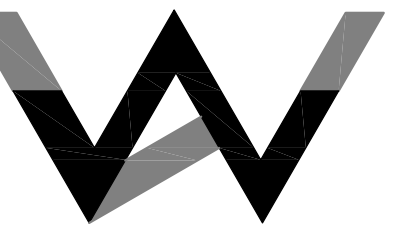
A4.02(I)

OF SHEETS

S H E E T



- ## Reference Notes
- | | |
|---|---------------------------|
| 1 | RETAINING WALL. |
| 2 | SMOKE DETECTOR. |
| 3 | CARBON MONOXIDE DETECTOR. |



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

N. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
(909) 608-7118 FAX: (909) 946-1137

DEVELOPMENT

PROJECT: NEW SINGLE-FAMILY DEVELOPMENT

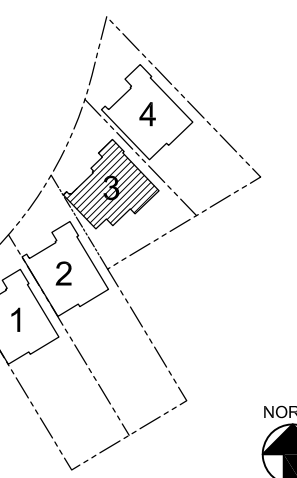
PROJECT: NEW SINGLE-FAMILY DEVELOPMENT

FLOOR PLANS & ROOF PLAN
(LOT 3)
TYPE 'B'

(LOI 3)
TYPE 'B'

TYPE D

MAP:



AL/STAMP

NO.	1731AR
DRAWN BY:	TL
SUPERVISED BY:	TL
CHECKED BY:	TL
ANALYST CHECK	
PERMIT SET	--/--/----

AWN BY: TL

UPERVISED BY: TL

HECKED BY: TL

AN CHECK

PERMIT SET / /

SET / /

REVISIONS

ENGINEERING &
PLANNING MEETING DEC 11, 2013

PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
FINAL DESIGN (10% R.O.C.)	JAN 25, 2018

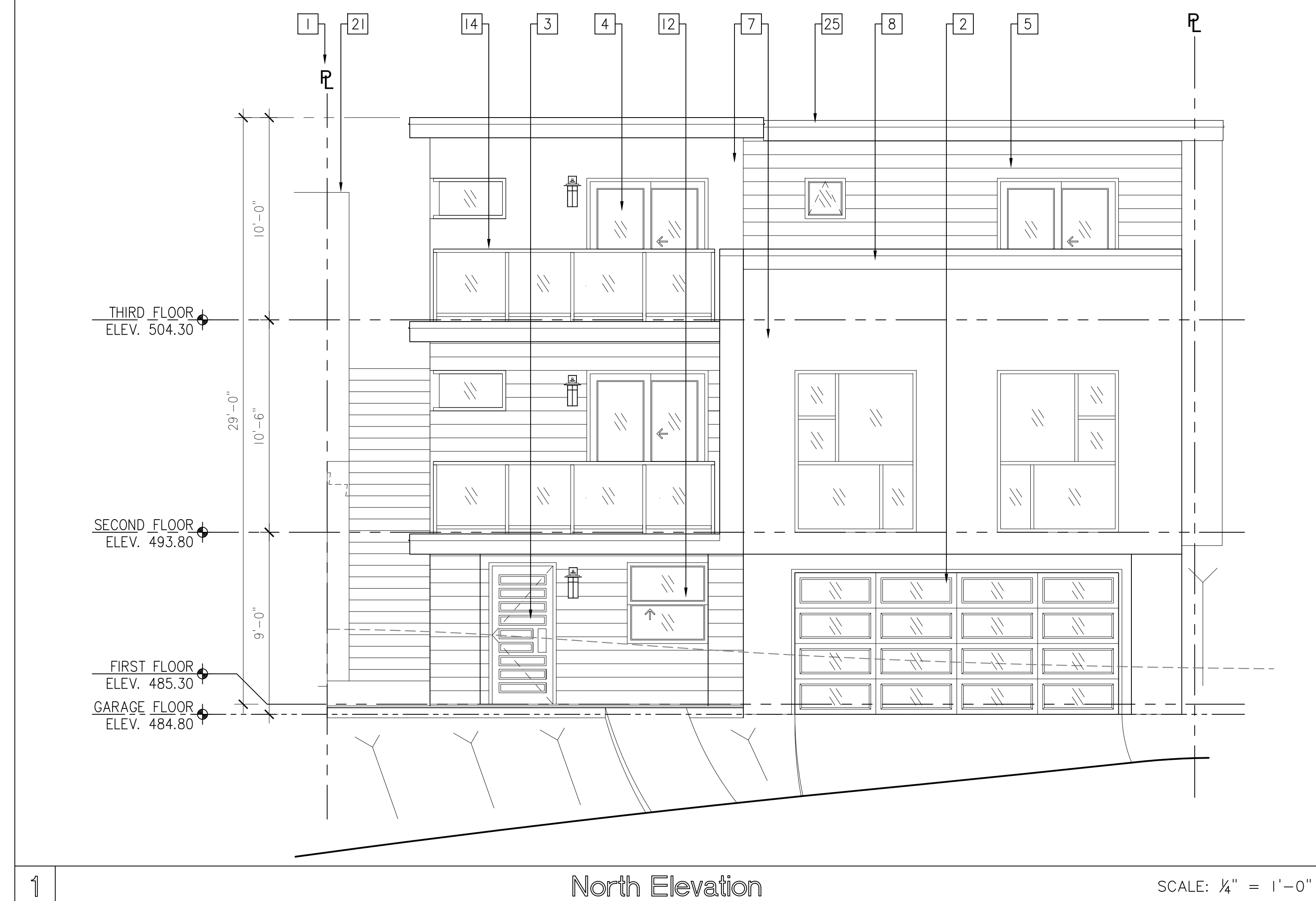
SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW	
SUBMITTAL (LOT 3&4)	JAN 25, 2018

SUBMITTAL (LOT 3&4) APR 23, 2018
DESIGN REVIEW SUBMITTAL

SHEET NO:

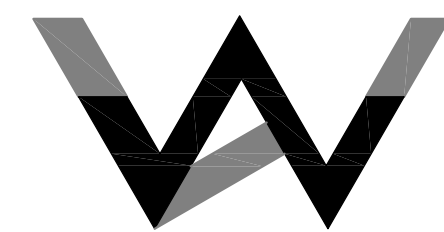
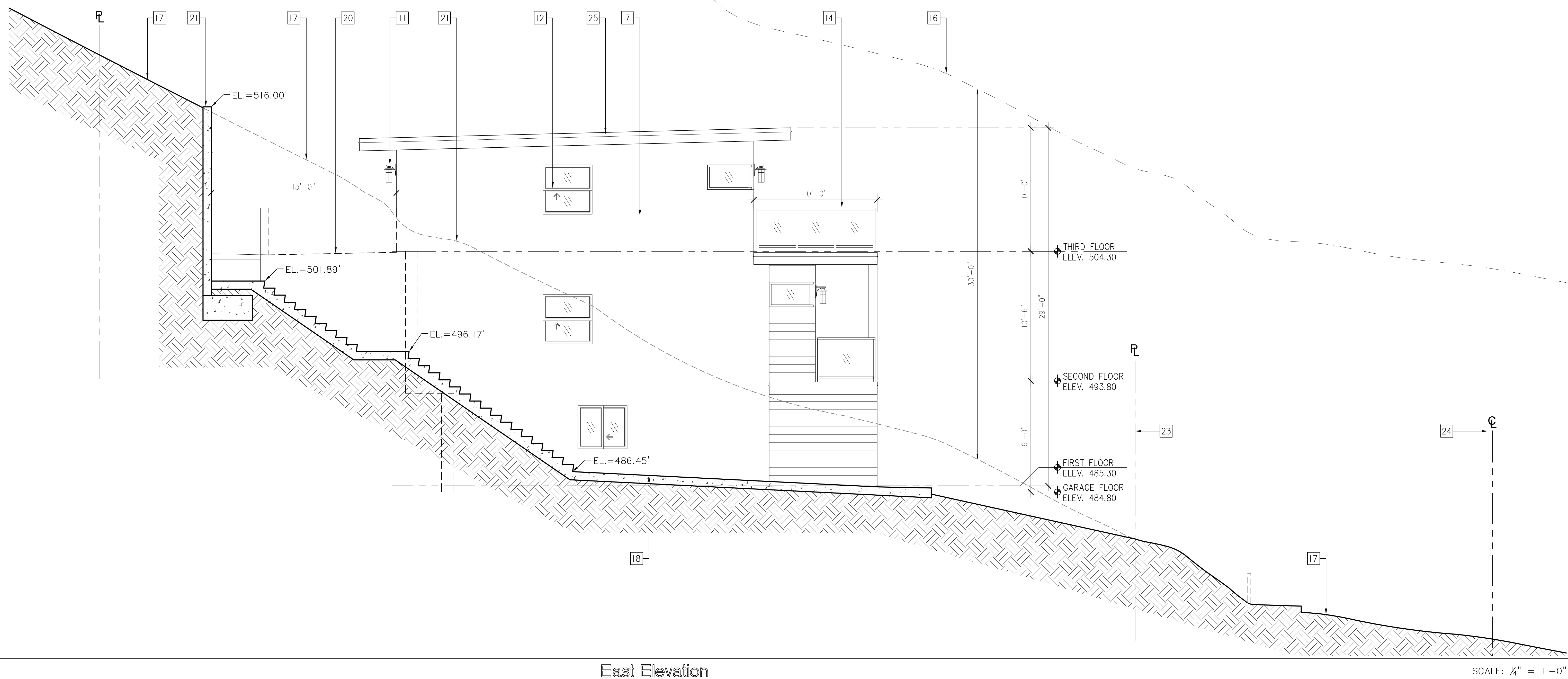
A2.02(II)

OF SHEETS



Reference Notes

- 1 PROPOSED LOT LINE
- 2 GARAGE DOOR W/ GLASS PANEL
CLOPAY: STANDARD WHITE FRAME, WHITE LAMINATE GLASS
- 3 ENTRY DOOR
CLOPAY: WALNUT WOOD DOOR
- 4 PATIO DOOR
MILGARD: FRENCH-STYLE SLIDING
- 5 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DET557 SAN GABRIEL BLUE
- 6 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE5285 ANTIQUE BRASS
- 7 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DET618 INDUSTRIAL AGE
- 8 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6372 LACE VEIL
- 9 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6370 CHARCOAL SMUDGE
- 10 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6372 LACE VEIL
- 11 EXTERIOR WALL LIGHT
LAMP PLUS: 13" HIGH DARK GRAY FRAMED
- 12 MILGARD: WHITE VINYL WINDOW
SINGLE HUNG
- 13 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
- 14 GLASS RAILING W/ PANELS, BALCONETTE, 3 SECTION MODEL
- 15 METAL RAILING AND BALCONY EDGE
COLOR: DUNN EDWARDS - DEA187 BLACK
- 16 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED
FROM (E) GRADE.
- 17 (E) GRADE TO REMAIN.
- 18 (E) GRADE.
- 19 PROPOSED GRADE.
- 20 PROPOSED GRADE BEYOND.
- 21 PROPOSED RETAINING WALL, SEE CONCEPTUAL PLAN.
- 22 PROPOSED RETAINING WALL BEYOND.
- 23 (E) PROPERTY LINE.
- 24 (E) CENTER LINE OF STREET.
- 25 STANDING SEAM METAL ROOFING BY METAL SALES OR
APPROVED EQ., VERTICAL SEAM 1 3/4" H. RIBS @ 16" O.C. -
COLOR: METALLIC SILVER (K7)



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1111

PROJECT: NEW SINGLE FAMILY HOUSES
DEVELOPMENT

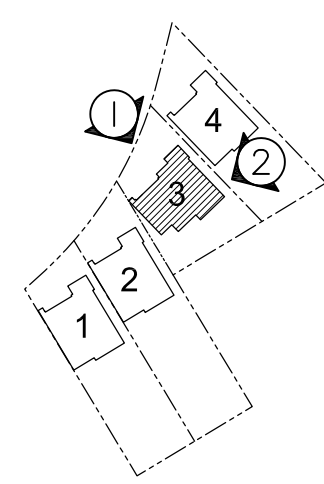
ADDRESS: TEMPLETON AVE,
DALY CITY, CA 94014

CLIENT:

NORTH & EAST ELEVATIONS
(PHASE II - LOT 3)

SHEET TITLE:

KEY MAP:



SEAL/STAMP

JOB NO.	1731AR
DRAWN BY:	TL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	
PERMIT SET	--/--/----
BID SET	/ /

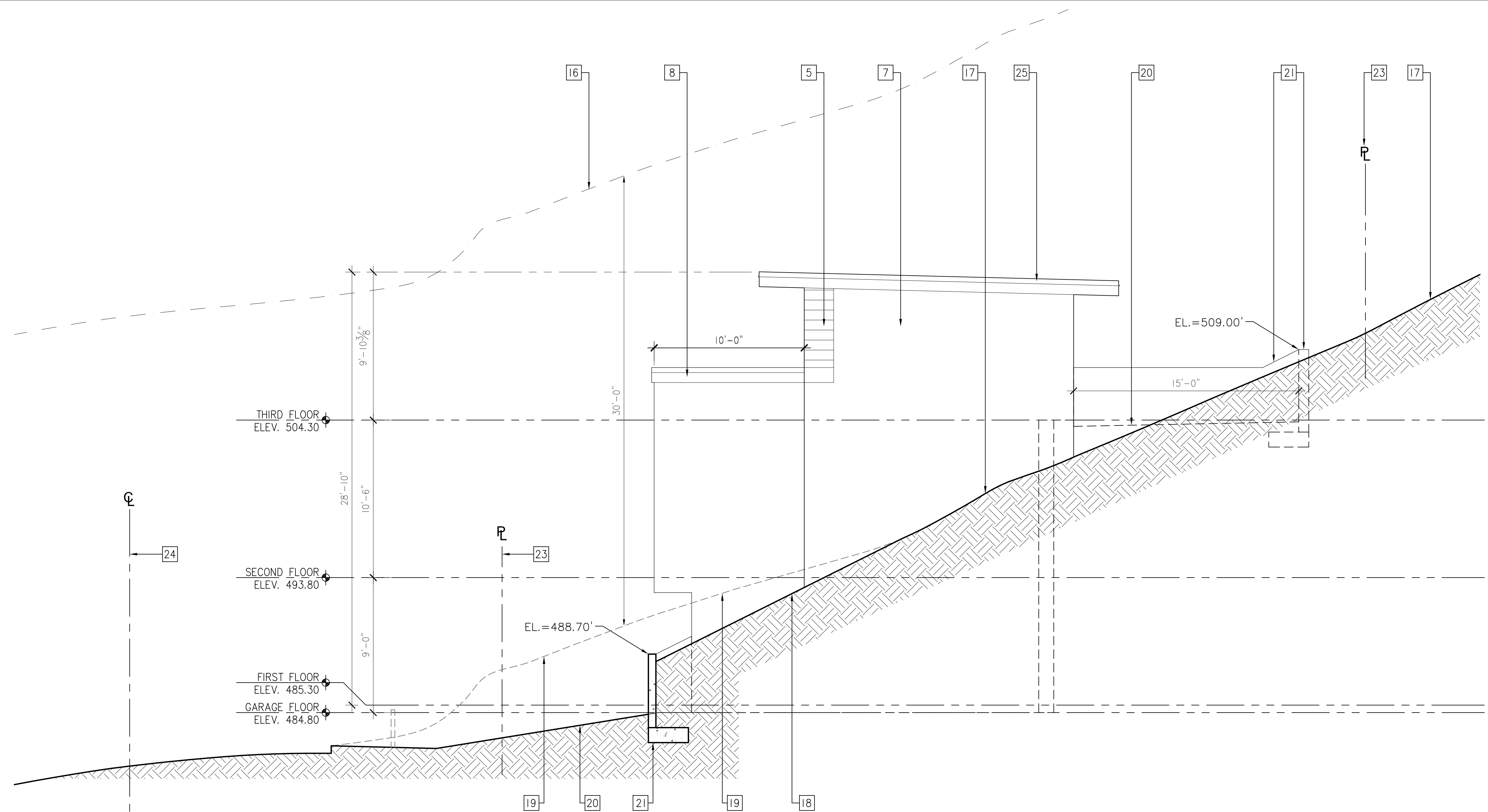
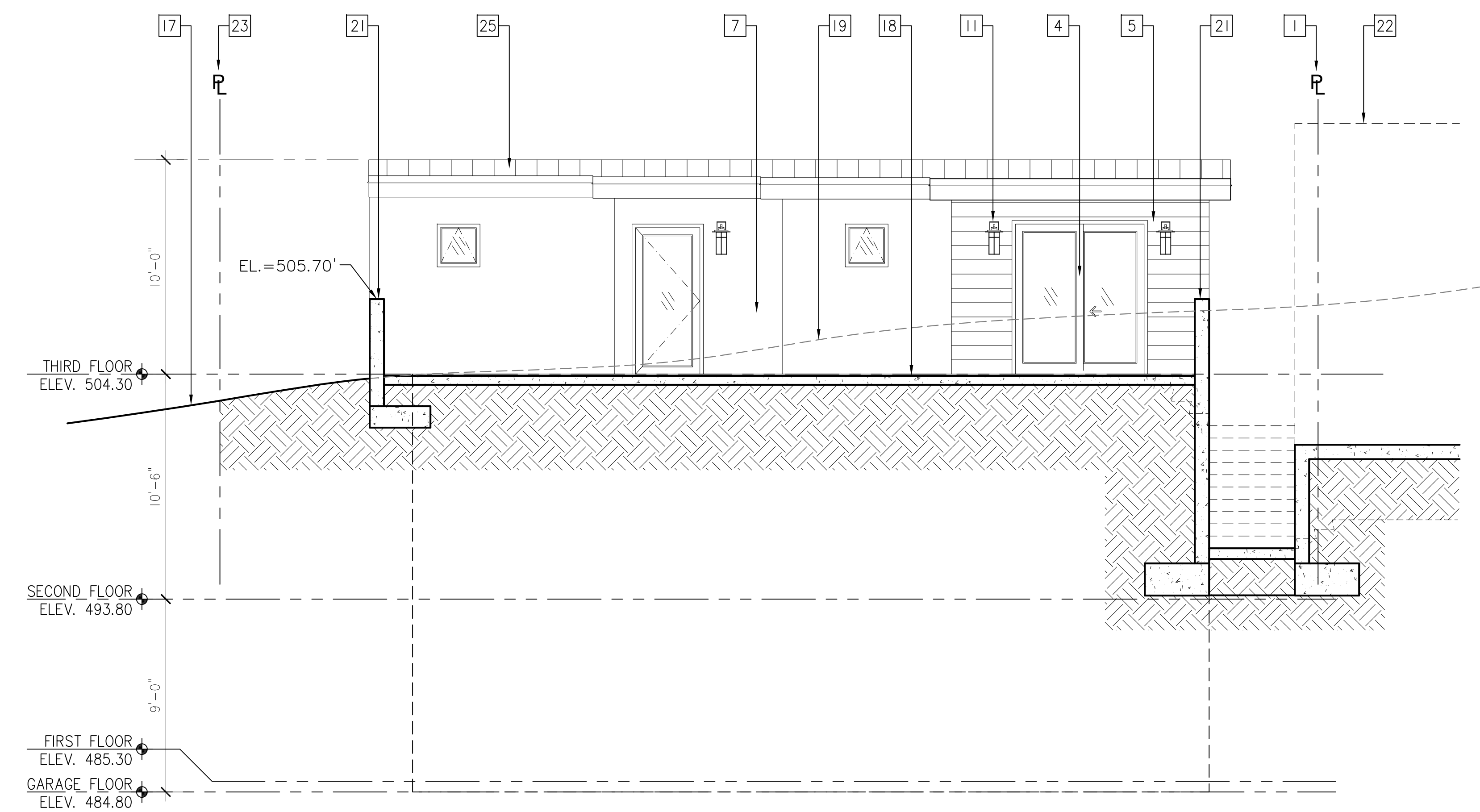
REVISIONS

△	ENGINEERING & PLANNING MEETING	DEC 11, 2017
△	DESIGN REVIEW SUBMITTAL (LOT 1&2)	JAN 25, 2018
△	DESIGN REVIEW SUBMITTAL (LOT 3&4)	APR 23, 2018
△	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

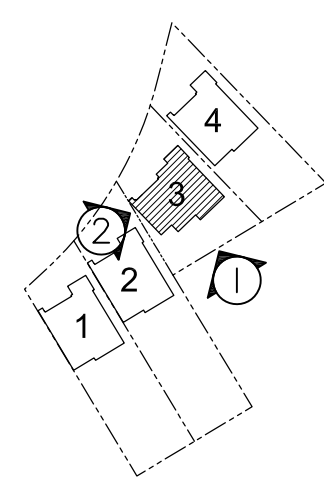
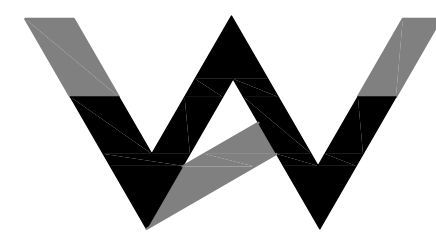
SHEET NO:

A3.01 (II)

OF SHEETS	
S	H E E T



- ## Reference Notes

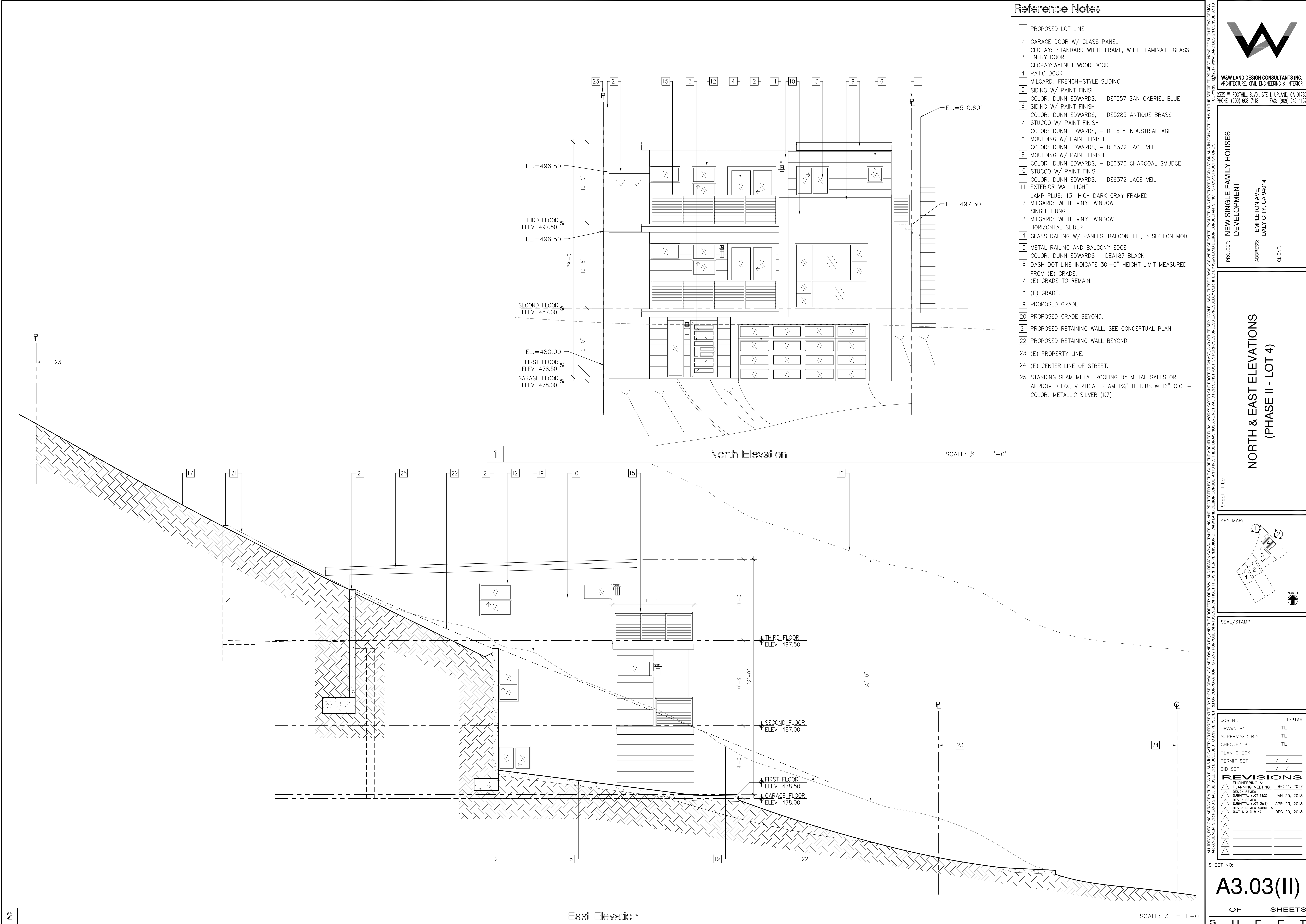


SEAL/STAMP

REVISIONS		
△	ENGINEERING & PLANNING MEETING	DEC 11, 2017
△	DESIGN REVIEW SUBMITTAL (LOT 1&2)	JAN 25, 2018
△	DESIGN REVIEW SUBMITTAL (LOT 3&4)	APR 23, 2018
△	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

OF	SHEETS
H	E E T



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR
2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 858-7118 FAX: (909) 946-1137

PROJECT: **NEW SINGLE FAMILY HOUSES DEVELOPMENT**

ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014

CLIENT:

**NORTH & EAST ELEVATIONS
(PHASE II - LOT 4)**

SHEET TITLE:

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

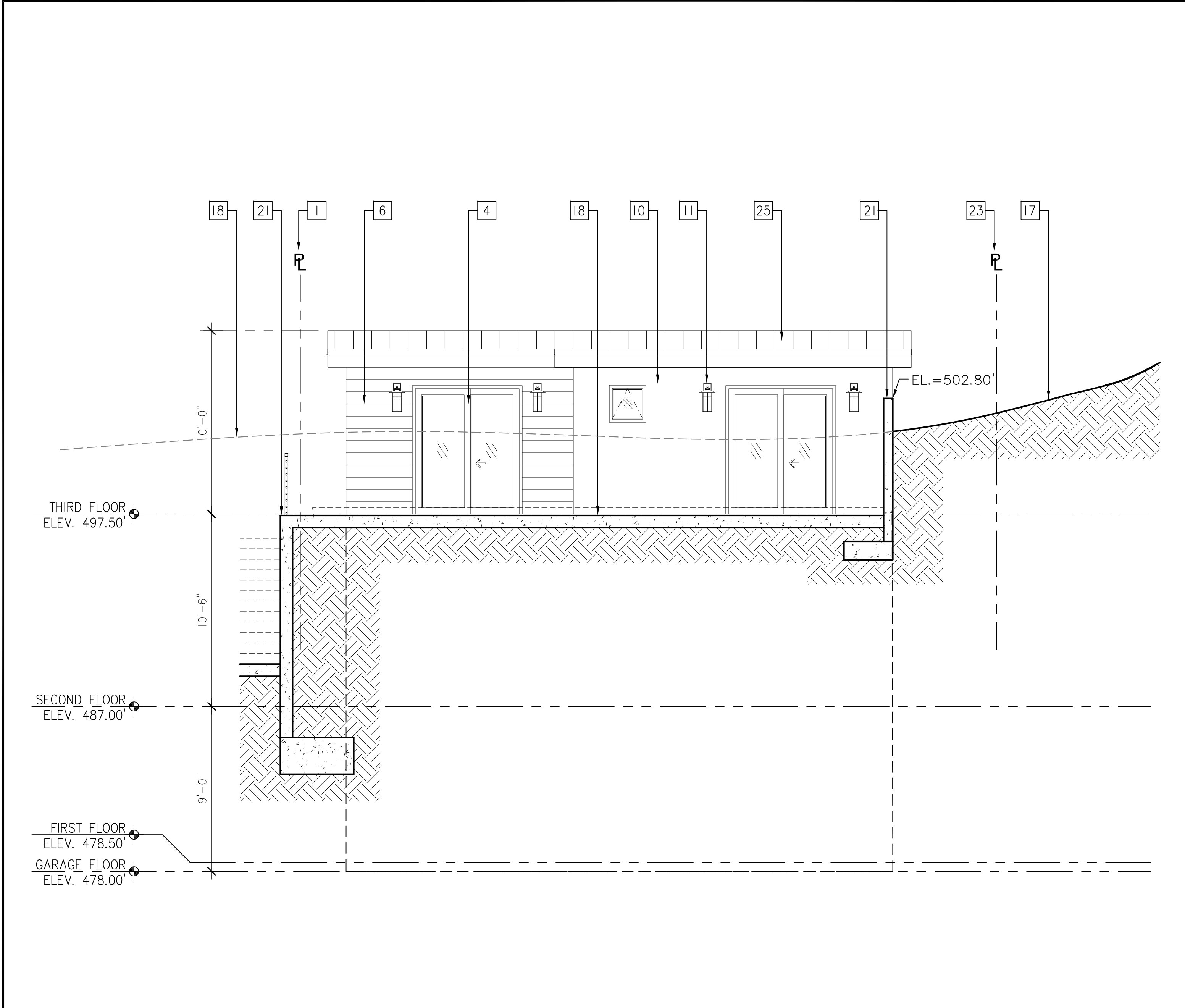
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
SUBMITTAL (LOT 1&2)	JAN 25, 2018
SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

A3.03(II)

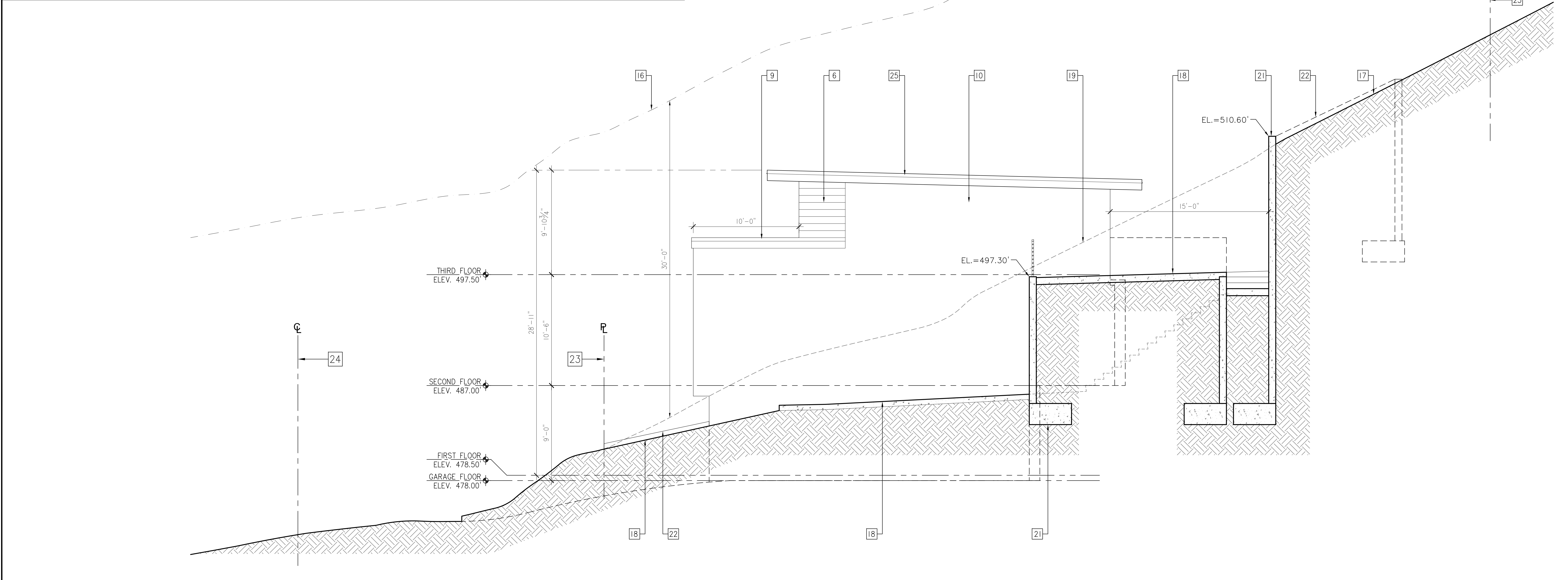
OF SHEETS

SHEET

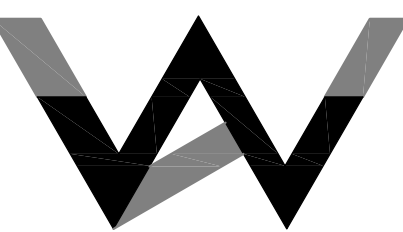


1 South Elevation SCALE: 1/4" = 1'-0"

- ### Reference Notes
- 1 PROPOSED LOT LINE
 - 2 GARAGE DOOR W/ GLASS PANEL
CLOPAY: STANDARD WHITE FRAME, WHITE LAMINATE GLASS
 - 3 ENTRY DOOR
CLOPAY: WALNUT WOOD DOOR
 - 4 PATIO DOOR
MILGARD: FRENCH-STYLE SLIDING
 - 5 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DET557 SAN GABRIEL BLUE
 - 6 SIDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE5285 ANTIQUE BRASS
 - 7 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DET618 INDUSTRIAL AGE
 - 8 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6372 LACE VEIL
 - 9 MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6370 CHARCOAL SMUDGE
 - 10 STUCCO W/ PAINT FINISH
COLOR: DUNN EDWARDS, - DE6372 LACE VEIL
 - 11 EXTERIOR WALL LIGHT
LAMP PLUS: 13" HIGH DARK GRAY FRAMED
SINGLE HUNG
 - 12 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
 - 13 MILGARD: WHITE VINYL WINDOW
HORIZONTAL SLIDER
 - 14 GLASS RAILING W/ PANELS, BALCONETTE, 3 SECTION MODEL
 - 15 METAL RAILING AND BALCONY EDGE
COLOR: DUNN EDWARDS - DEAI87 BLACK
 - 16 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED
FROM (E) GRADE.
 - 17 (E) GRADE TO REMAIN.
 - 18 (E) GRADE.
 - 19 PROPOSED GRADE.
 - 20 PROPOSED GRADE BEYOND.
 - 21 PROPOSED RETAINING WALL, SEE CONCEPTUAL PLAN.
 - 22 PROPOSED RETAINING WALL BEYOND.
 - 23 (E) PROPERTY LINE.
 - 24 (E) CENTER LINE OF STREET.
 - 25 STANDING SEAM METAL ROOFING BY METAL SALES OR
APPROVED EQ., VERTICAL SEAM 1 3/4" H. RIBS @ 16" O.C. -
COLOR: METALLIC SILVER (K7)



2 West Elevation SCALE: 1/4" = 1'-0"



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7110 FAX: (909) 946-1137

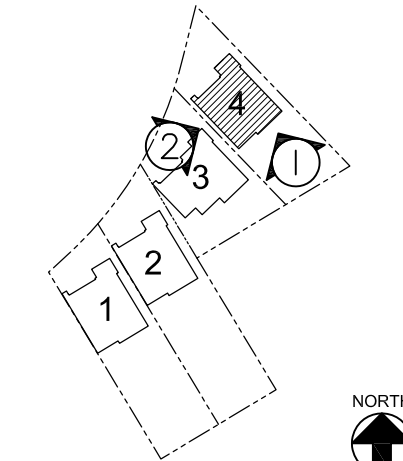
PROJECT: **NEW SINGLE FAMILY HOUSES
DEVELOPMENT**

ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014

CLIENT:

**SOUTH & WEST ELEVATIONS
(PHASE II - LOT 4)**

KEY MAP:



NORTH

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

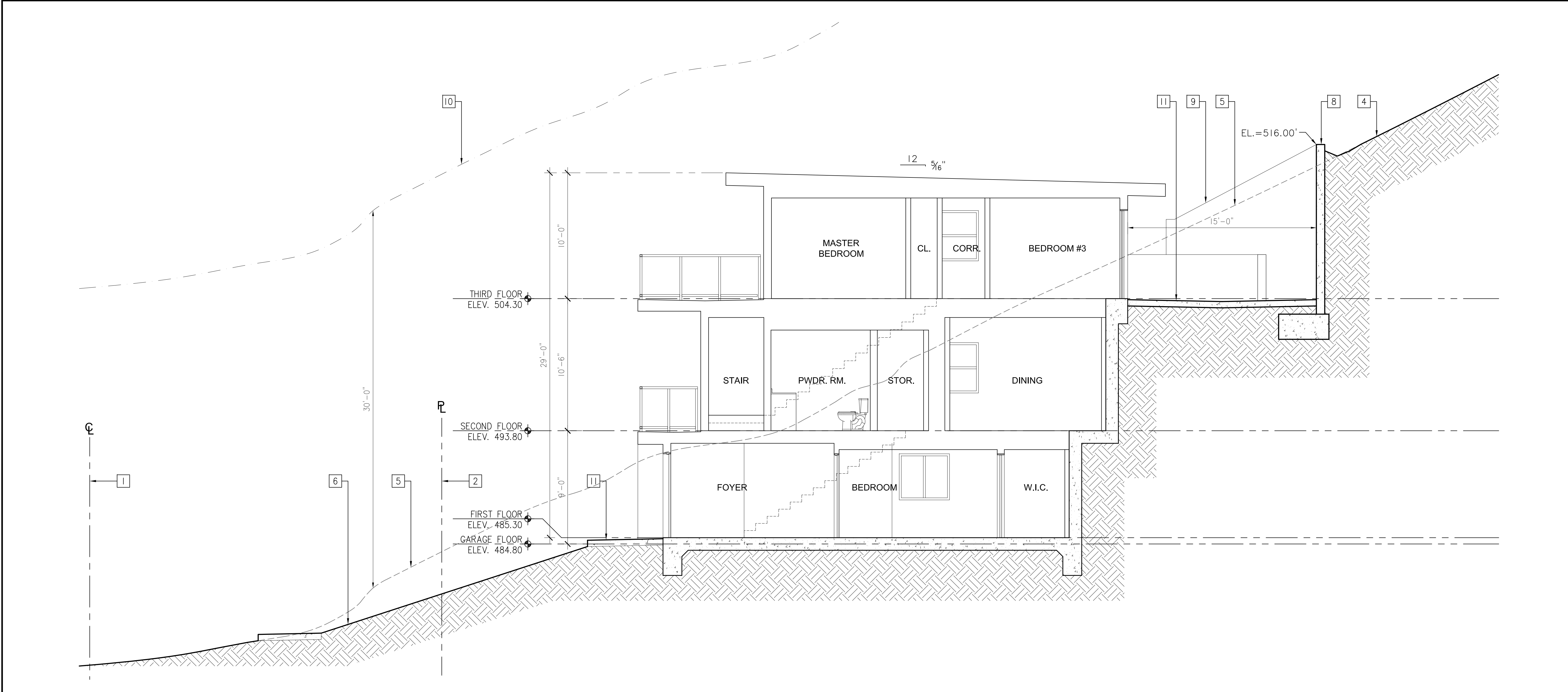
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW	
SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

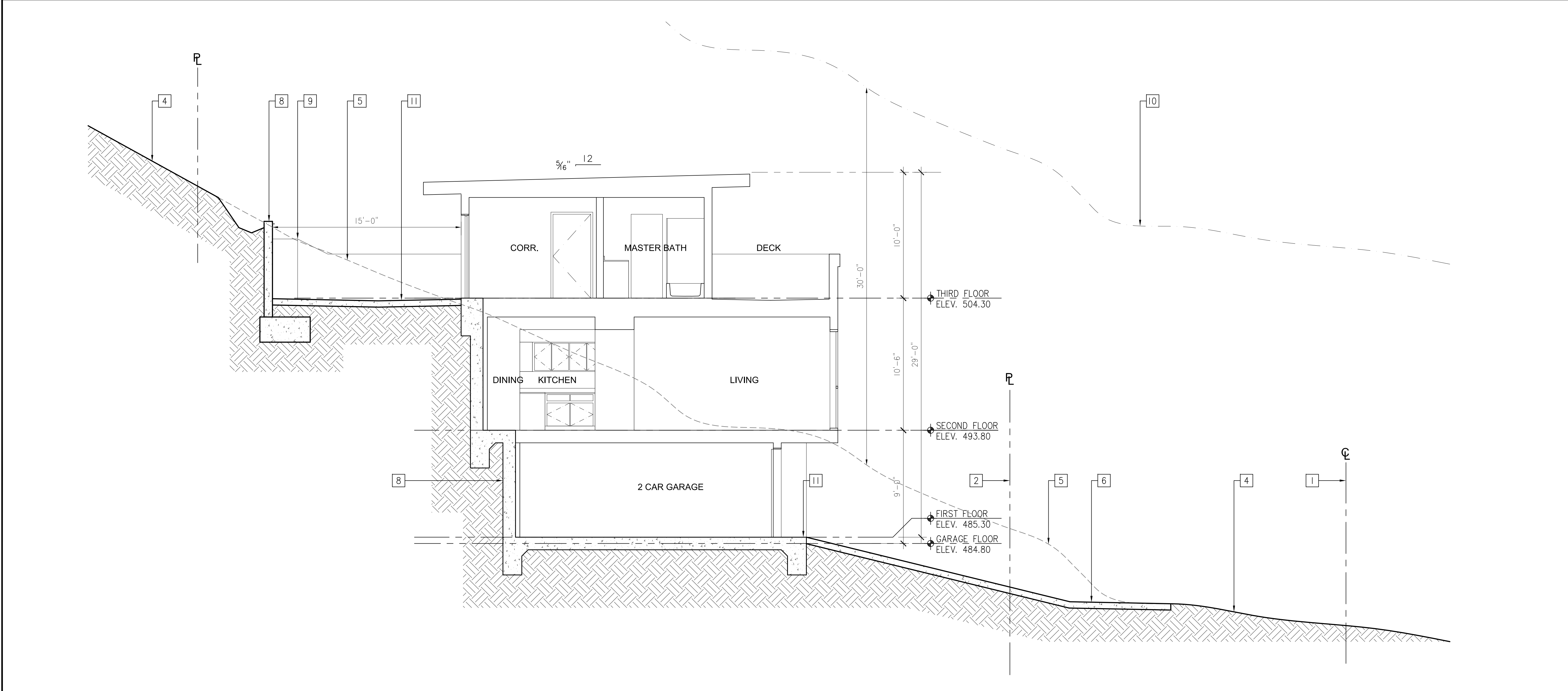
A3.04(II)

OF SHEETS

SHEET



1 Site Section 'I' SCALE: 1/4" = 1'-0"



2 Site Section 'II' SCALE: 1/4" = 1'-0"

Reference Notes

- 1 EXISTING CENTER LINE OF STREET.
- 2 EXISTING LOT LINE TO REMAIN.
- 3 PROPOSED LOT LINE.
- 4 EXISTING GRADE.
- 5 DASH LINE INDICATE (E) GRADE.
- 6 PROPOSED FINISH GRADE.
- 7 PROPOSED FINISH GARDE BEYOND.
- 8 PROPOSED RETAINING WALL.
- 9 PROPOSED RETAINING WALL BEYOND.
- 10 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
- 11 CONC. SLAB. & FOOTING.

W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7110 FAX: (909) 946-1137

PROJECT: **NEW SINGLE FAMILY HOUSES DEVELOPMENT**
ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014
CLIENT:

**SITE SECTIONS
(PHASE II - LOT 3)**

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

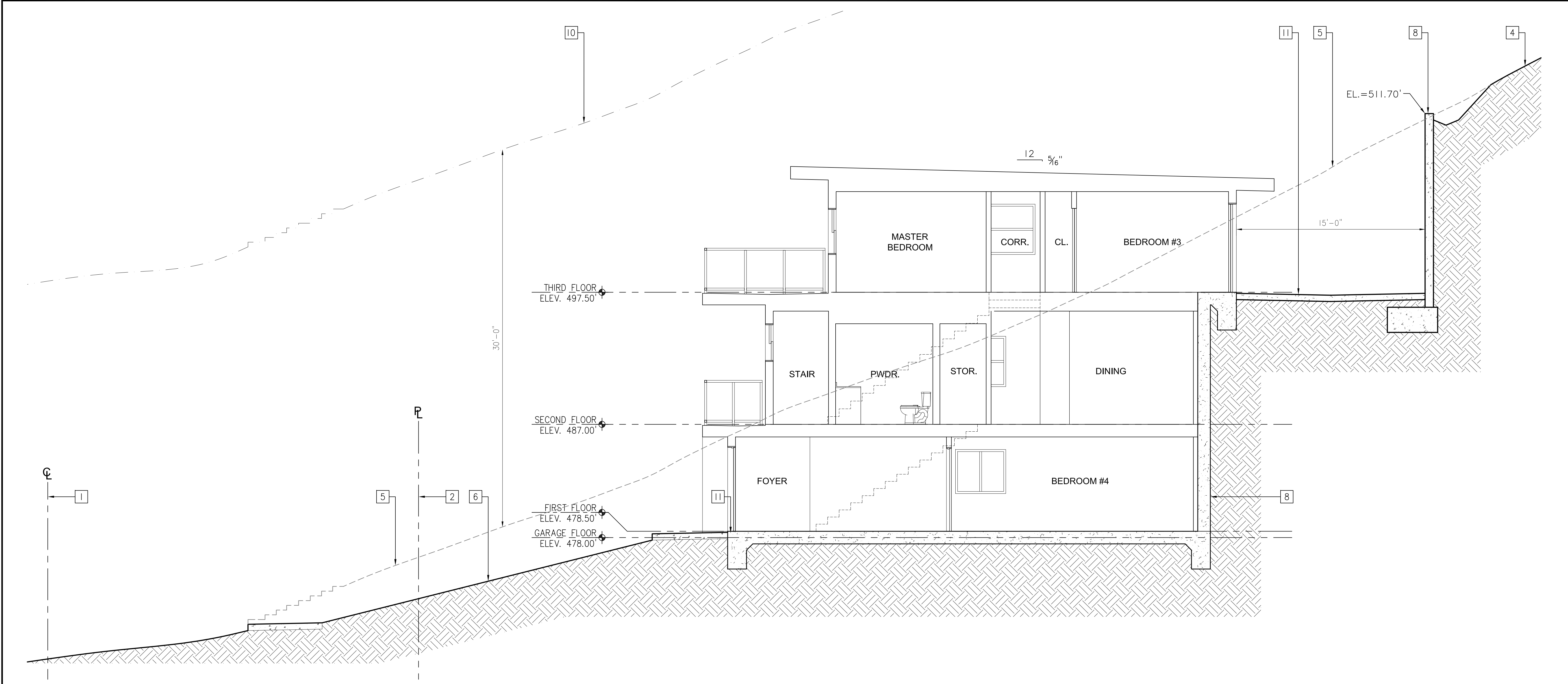
NO.	REVISION	DATE
1	ENGINEERING & PLANNING MEETING	DEC 11, 2017
2	DESIGN REVIEW	JAN 25, 2018
3	SUBMITTAL (LOT 1&2)	JAN 25, 2018
4	DESIGN REVIEW	APR 23, 2018
5	SUBMITTAL (LOT 3&4)	APR 23, 2018
6	DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

SHEET NO:

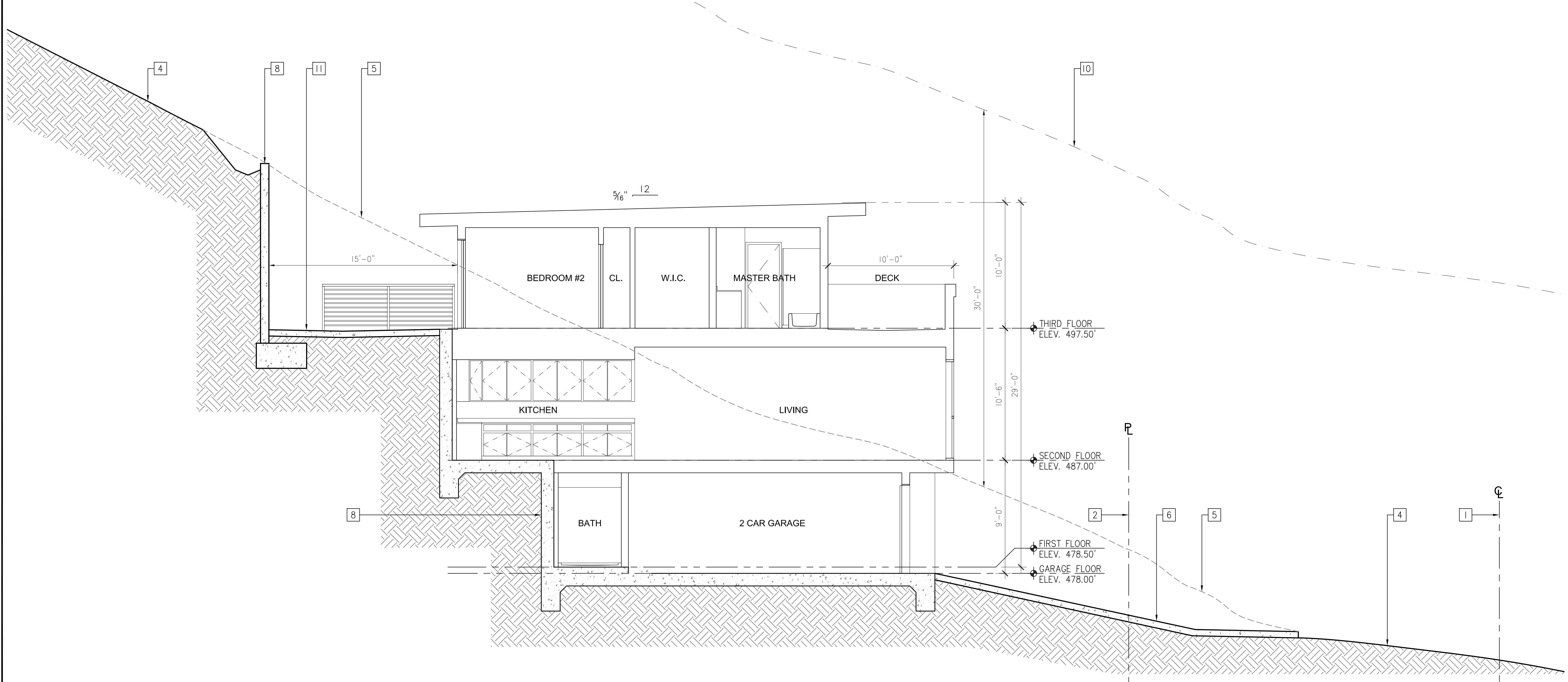
A4.01(II)

OF SHEETS

SHEET



1 Site Section 'I' SCALE: 1/4" = 1'-0"



2 Site Section 'II' SCALE: 1/4" = 1'-0"

Reference Notes

- 1 EXISTING CENTER LINE OF STREET.
- 2 EXISTING LOT LINE TO REMAIN.
- 3 PROPOSED LOT LINE.
- 4 EXISTING GRADE.
- 5 DASH LINE INDICATE (E) GRADE.
- 6 PROPOSED FINISH GRADE.
- 7 PROPOSED FINISH GARDE BEYOND.
- 8 PROPOSED RETAINING WALL.
- 9 PROPOSED RETAINING WALL BEYOND.
- 10 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT MEASURED FROM (E) GRADE.
- 11 CONC. SLAB. & FOOTING.

W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: **NEW SINGLE FAMILY HOUSES DEVELOPMENT**
ADDRESS: TEMPLETON AVE
DALY CITY, CA 94014
CLIENT:

**SITE SECTIONS
(PHASE II - LOT 4)**

KEY MAP:

SEAL/STAMP

JOB NO. 1731AR
DRAWN BY: TL
SUPERVISED BY: TL
CHECKED BY: TL
PLAN CHECK
PERMIT SET
BID SET

REVISIONS

REVISIONS	DATE
ENGINEERING & PLANNING MEETING	DEC 11, 2017
DESIGN REVIEW	
SUBMITTAL (LOT 1&2)	JAN 25, 2018
DESIGN REVIEW	
SUBMITTAL (LOT 3&4)	APR 23, 2018
DESIGN REVIEW SUBMITTAL (LOT 1, 2, 3 & 4)	DEC 20, 2018

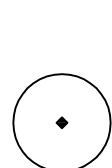
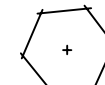
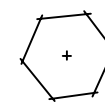
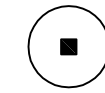
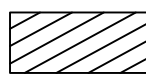
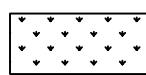
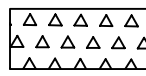
SHEET NO:

A4.02(II)

OF SHEETS

S H E E T

PLANT LEGEND

<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>REMARKS</u>
<u>TREE</u>				
	Arbutus 'Marina'	NCN	24" box	
	Olea europea	Olive Tree	24" box	
	Existing trees to remain in place.			
<u>SHRUB</u>				
	Agave attenuata	Foxtail Agave	1 gal	
	Buxus micro. japonica	Japanese Boxwood	5 gal	
	Camellia japonica	Camellia	5 gal	
	Callistemon 'Little John'	Dwarf Bottlebrush	1 gal	
	Coleonema 'Sunset Gold'	Breath of Heaven	5 gal	
	Grevillea 'Noellii'	Noellii Silk Oak	5 gal	
	Salvia chamaedryoides	Germander Sage	1 gal	
	Salvia leucantha	Mexican Sage	1 gal	
<u>PERENNIALS</u>				
	Aloe striata	Coral Aloe	1 gal	
	Anigozanthos 'Bush Endeavour'	Kangaroo Paw	5 gal	
	Juncus patens	California Rush	5 gal	
	Penstemon 'Appleblossom'	Pink Penstemon	1 gal	
<u>GROUNDCOVER</u>				
	Rosmarinus o. 'Prostratus'	Prostrate Rosemary	5 gal	
	Festuca arundinacea	Tall Fescue spp.	Sod (Lawn)	Marathon
	Native vegetation to remain in place.			
<u>VINE</u>				
	Ficus pumila	Creeping Fig	5 gal	

Point of Connection # 1

Maximum Applied Water Allowance (MAWA)
Total MAWA = (ETo x 0.55 x LA x 0.62) + (ETo x 1.0 x SLA x 0.62) = Gallons per year for LA+SLA

where:
MAWA = Maximum Applied Water Allowance (gallons per year)
ETo = Reference Evapotranspiration Appendix C (inches per year)
0.55 = Evapotranspiration Adjustment Factor (ETAF) residential
0.45 = Evapotranspiration Adjustment Factor (ETAF) non-residential
1.0 = ETAF for Special Landscaped Area
LA = Landscaped Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
SLA = Special Landscaped Area (square feet)

MAWA Calculation:						
	ETo		ETAF		LA or SLA (ft2)	Conversion
MAWA for LA=	35.5	x	0.55	x	1,960	x 0.62 = 23,726.00
Total MAWA =					1,960	= 23,726.00 Gal./ Year

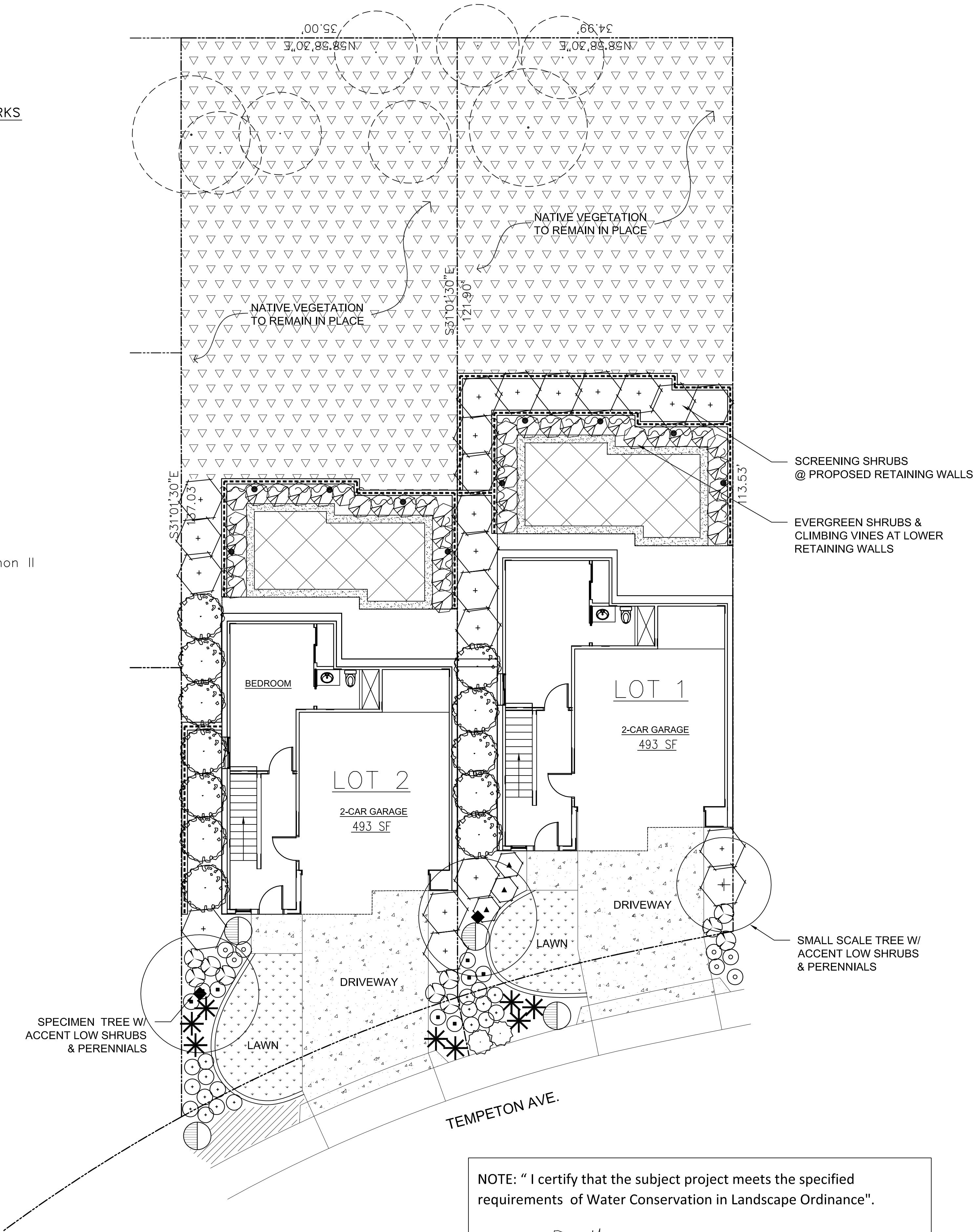
Estimated Applied Water Use
EAWU = ETo x KL x LA x 0.62 + IE = Gallons per year

where:
EAWU = Estimated Applied Water Use (gallons per year)
ETo = Reference Evapotranspiration Appendix C (inches per year)
KL = Landscape Coefficient
LA = Landscaped Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
IE = Irrigation Efficiency = IME x DU (See definition in Appendix E for example IE percentages)

KL = Ks x Kd x Kmc
Ks = species factor (range = 0.1-0.9) (see WUCOLS list for values)
Kd = density factor (range = 0.5-1.3) (see WUCOLS for density value ranges)
Kmc = microclimate factor (range = 0.5-1.4) (see WUCOLS)

EAWU Calculation							
	ETo		KL		LA	Conversion	IE
Low Water Using Shrub	35.5	x	0.3	x	1,660	x 0.62 ÷	0.81 = 13,532.00
High Water Using Lawn	35.5	x	0.7	x	300	x 0.62 ÷	0.75 = 6,162.00
Total EAWU =					1,960		= 19,694.00 Gal./ Year

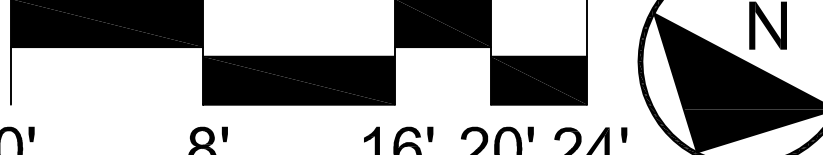
Drip System
Drip System



NOTE: "I certify that the subject project meets the specified requirements of Water Conservation in Landscape Ordinance".

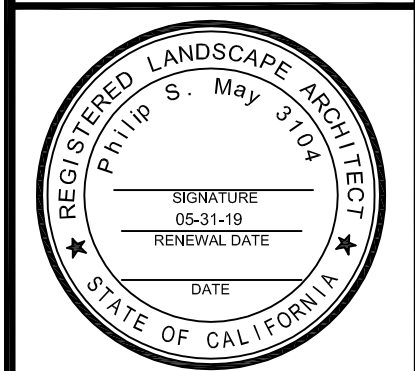
Phil May, Landscape Architect
01-18-2018

NOTE:
ALL PROPOSED LANDSCAPE AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION CONTROLLER SYSTEM



REVISIONS	BY

PHIL MAY LANDSCAPE ARCHITECT
1937 West 9th Street
Upland, CA 91786
Phone: 909 373 1959
Fax: 909 373 1958
pmay@philmaydesign.com
www.philmaydesign.com



PRELIMINARY LANDSCAPE PLAN

2- SINGLE
FAMILY RESIDENCES
717 TEMPLETON AVE.
DALY CITY, CA 94014

DRAWN
R.S.
CHECKED
P.M.
DATE
01-18-18
SCALE
1/8"=1'-0"
JOB NO.
18005
SHEET

PLANT LEGEND

<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>REMARKS</u>
TREE				
	Arbutus 'Marina'	NCN	24" box	
	Olea europea	Olive Tree	24" box	
	Existing trees to remain in place			
SHRUB				
	Agave attenuata	Foxtail Agave	1 gal	
	Buxus micro. Japonica	Japanese Boxwood	5 gal	
	Camellia japonica	Camellia	5 gal	
	Callistemon 'Little Jhon'	Dwarf Bottlebrush	1 gal	
	Coleonema 'Sunset Gold'	Breath of Heaven	5 gal	
	Grevillea 'Noellii'	Noellii Silk Oak	5 gal	
	Salvia chamaedryoides	Gernander Sage	1 gal	
	Salvia leucantha	Mexican Sage	1 gal	
PERENNIALS				
	Aloe striata	Coral Aloe	1 gal	
	Anigozanthos 'Bush Endeavour'	Kangaroo Paw	5 gal	
	Juncus patens	California Rush	5 gal	
	Penstemon 'Appleblossom'	Pink Penstemon	1 gal	
GROUNDCOVER				
	Rosemarinus o. 'Prostratus'	Prostrate Rosemary	5 gal	
	Festuca arundinacea	Tall Fescue spp.	Sod (Lawn)	Marathon II
	Native vegetation to remain in place			
VINE				
	Ficus pumila	Creeping Fig	5 gal	

Ponit of Connection #1

Maximum Applied Water Allowance (MAWA)

Total MAWA = (Eto X 0.55 X LA X 0.62)+(Eto X 1.0 X SLA X 0.62) = Gallons per year for LA+SLA

Where:

MAWA=Maximum Applied Water Allowance (gallon per year)

Eto=Reference Evapotranspiration **Appendix C** (inches per year)

0.55= Evapotranspiration Adgustment Factor (ETAF) residential

0.45= Evapotranspiration Adgustment Factor (ETAF) non-residential

1.0= ETAF for Special Landscaped Area

LA= Landscaped Area (square feet)

0.62=Conversion Factor (to gallon per square feet)

SLA= Special Landscaped Area (square feet)

MAWA Calculation:

	Eto		ETAF		LA or SLA (ft2)		Conversion		MAWA (GALLON PER YEAR)
MAWA for LA =	35.5	x	0.55	x	1,920.00	x	0.62	=	23,242.56
Total MAWA =					1,920.00			=	23,242.56

ESTIMATED Applied Water Use

EAWU= Eto x KL x LA x 0.62 ÷ IE= Gallons per year

Where:

EAWU= Estimated Applied Water Use (gallons per year)

Eto=Reference Evapotranspiration **Appendix C** (inches per year)

KL= Landscape Coefficient

LA= Landscaped Area (square feet)

0.62=Conversion Factor (to gallon per square feet)

IE= Irrigation Efficiency =IME X DU (See definition in Appendix E for example IE percentages)

IME= Irrigation Management Efficiency (90%)

DU= Distribution Uniformlty of Irrigation Head

EAWU Calculation:

Drip System	Eto		KL		LA		Conversion		IE		EAWU (GALLON PER YEAR)
Low Water Using Shrub	35.5	x	0.3	x	1,484.00	x	0.62	÷	0.81	=	12,097.35
High Water Using Lawn	35.5	x	0.7	x	436.00	x	0.62	÷	0.75	=	8,956.60
Total EAWU =					1,920.00					=	21,053.95

KL = Ks x Kd x Kmc

Ks = species factor (range = 0.1-0.9) (see WUCOLS list for values)

Kd = density factor (range = 0.5-1.3) (see WUCOLS for density values ranges)

Kmc =microclimate factor (range = 0.5-1.4) (see WUCOLS)

C/L ALTURAS WAY

SPECIMEN TREE
W/ACCENT LOW
SHRUBS &
PERENNIALS

C/L TEMPETON AVENUE

NOTE:

ALL PROPOSED LANDSCAPE AREAS WILL
BE IRRIGATED WITH AN AUTOMATIC
IRRIGATION CONTROLLER SYSTEM

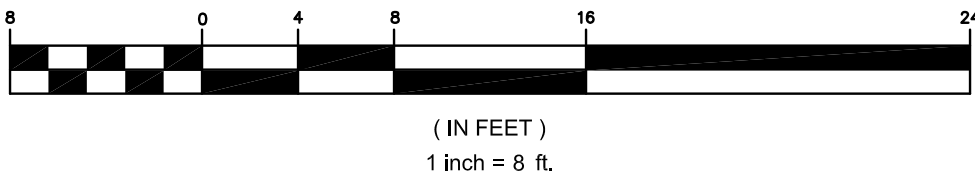
LEGEND:

	PROPERTY BOUNDARY
	CENTERLINE
	INTERIOR LOT LINE
	EASEMENT LINE

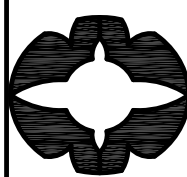
EVERGREEN
SHRUBS &
CLIMBING VINES AT
LOWER RETAINING
WALLS

SMALL SCALE
TREE W/ACCENT
LOW SHRUBS &
PERENNIALS

GRAPHIC SCALE



SEAL



W&W Land Design Consultants, Inc
Civil Engineering • Subdivision • Land Planning
2335 W. FOOTHILL BLVD., SUITE 1, UPLAND, CA 91786
TEL: (909) 608-7118 • FAX: (909) 946-1137

SCALE: AS SHOWN

DATE: APRIL 27, 2018

DRAWN: W&W STAFF

CHECKED: WEIDONG LIU

CITY OF DALY

PRELIMINARY LANDSCAPE PLAN

2 - SINGLE FAMILY RESIDENCES
717 TEMPLETON AVE, DALY CITY, CA 94014

FOR:

W.O. 1731-B

SHEET

1 OF
1 SHEETS

DWG. NO.



CEQA Environmental Checklist

PROJECT DESCRIPTION AND BACKGROUND

Project Title:	Templeton Homes
Project File Numbers:	General Plan Amendment GPA-3-19-13911, Design Review DR-3-19-13910, and Environmental Review CEQA-3-19-13911
Lead agency name and address:	City of Daly City 333 90 th Street ECD Department, Daly City, CA 94015
Contact person and phone number:	Brian Paland Assistant Planner (650) 991-8035
Project Location:	717 Templeton Avenue Daly City, CA 94014 Assessor's Parcel Numbers: 004-243-020, -120, -130, -140
Project sponsor's name and address:	Darrell Investments, LLC 1400 Fashion Island Blvd., Suite 1000 San Mateo, CA 94404
General Plan description:	Open Space (proposed for amendment to Residential Low Density to conform to existing zoning)
Zoning:	R-1 Single Family Residential
Description of project: (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation.)	The proposal includes the construction of 4 single family homes. The proposal would amend the General Plan designation for the site to Residential – Low Density.
Surrounding land uses and setting; briefly describe the project's surroundings:	The project site is surrounded by primarily single family homes.
Other public agencies whose approval is required (e.g. permits, financial approval, or participation agreements):	None

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. Please see the checklist beginning on page 3 for additional information.

☐	Aesthetics	☐	Agriculture and Forestry	☐	Air Quality
☐	Biological Resources	☐	Cultural Resources	☐	Geology/Soils
☐	Greenhouse Gas Emissions	☐	Hazards and Hazardous Materials	☐	Hydrology/Water Quality
☐	Land Use/Planning	☐	Mineral Resources	☐	Noise
☐	Population/Housing	☐	Public Services	☐	Recreation
☐	Transportation/Traffic	☐	Utilities/Service Systems	☐	Mandatory Findings of Significance

DETERMINATION:

On the basis of this initial evaluation:

☒	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
☐	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
☐	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
☐	I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
☐	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required

Signature: 	Date: 4/24/19
Printed Name and Title: Brian Paland, Assistant Planner	

INITIAL STUDY CHECKLIST:

This checklist identifies physical, biological, social and economic factors that might be affected by the proposed project. In many cases, background studies performed in connection with the projects indicate no impacts. A NO IMPACT answer in the last column reflects this determination. Where there is a need for clarifying discussion, the discussion is included either following the applicable section of the checklist or is within the body of the environmental document itself. The words "significant" and "significance" used throughout the following checklist are related to CEQA, not NEPA, impacts. The questions in this form are intended to encourage the thoughtful assessment of impacts and do not represent thresholds of significance.

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
I. AESTHETICS: Would the project:				
a) Have a substantial adverse effect on a scenic vista	☐	☐	☐	☒
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway	☐	☐	☐	☒
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	☐	☐	☐	☒
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	☐	☐	☐	☒

Discussion of Evaluation:

The applicant provided architectural concept drawings which show the project as four three-story homes, each approximately 2,500 square feet in size. The elevation drawings identify traditional building materials such as horizontal lap siding altered with stucco with composition shingle roofs, which compliments the varied architecture of the adjacent structures.

Mitigation: None required.

II. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and the forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	☐	☐	☐	☒
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	☐	☐	☐	☒
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	☐	☐	☐	☒
d) Result in the loss of forest land or conversion of forest land to non-forest use?	☐	☐	☐	☒

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a vacant lot, surrounded by existing residential homes in a fully urbanized area. There is no evidence of any agricultural activities on the site, nor within the surrounding vicinity of the site. The proposed project would not convert farmland to non-agricultural use. There is no Williamson Act contract for the site. The project site is not considered forest land as defined in Public Resources Code section 12220(g), or timberland as defined in Public Resources Code section 4526. The proposed development will not result in the loss of forest land or conversion of forest land to non-forest use.

Mitigation: None required.

III. AIR QUALITY: Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	☐	☐	☐	☒
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	☐	☐	☐	☒
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non- attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	☐	☐	☐	☒
d) Expose sensitive receptors to substantial pollutant concentrations?	☐	☐	☐	☒
e) Create objectionable odors affecting a substantial number of people?	☐	☐	☐	☒

Bay Area Air Quality Management District (BAAQMD) adopted, *California Environmental Quality Act Air Quality Guidelines* in June, 2010 (Guidelines), to assist lead agencies in evaluating air quality impacts of projects and plans proposed in the San Francisco Bay Area Air Basin (SFBAAB). The Guidelines provides BAAQMD-recommended procedures for evaluating potential air quality impacts during the environmental review process consistent with CEQA requirements. Furthermore, the Guidelines contain instructions on how to evaluate, measure, and mitigate air quality impacts generated from land development construction and operation activities.

Operational-Related Impacts: In 2011, BAAQMD developed screening criteria to provide lead agencies and project applicants with a conservative indication of whether the proposed project could result in potentially significant air quality impacts. The screening criteria identified by BAAQMD are not thresholds of significance, but instead are generally representative of new development on greenfield sites without any form of mitigation measures taken into consideration. In addition, the screening criteria do not account for project design features, attributes, or local development requirements, such as Green Building requirements, that could also result in lower emissions.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of 4 dwelling units, no screening criteria identified in the BAAQMD guidelines would be exceeded by the project.

Community Risk and Hazard Impacts: To assist lead agencies in evaluating air quality impacts at the neighborhood scale, *Thresholds of Significance* have been established for local community risks and hazards associated with Toxic Air Contaminants (TACs) and Fine Particulate Matter (PM_{2.5}) with respect to siting a new source and/or receptor; as well as for assessing both individual source and cumulative multiple source impacts. The Guidelines recommend methods whereby local community risk and hazard impacts from projects for both new sources and new receptors can be determined based on comparison with applicable thresholds of significance and screening criteria and the Guidelines recommend mitigation measures for these impacts.

BAAQMD provides a Risk and Hazard Screening analysis process, to assist lead agencies in deciding whether there should be further environmental review. The process involves identifying emission sources within 1,000 feet of a project's fence line, conducting initial conservative screening, conducting advanced screening for more refined estimates, and conducting refined modeling analysis. Each step of the process either results in an assumption that the project will not have significant impact for risk and hazards and no further analysis is required, or the requirement to pursue the next step in the analysis process. If the risk and hazard estimates are not below the thresholds, after conducting the final step of refined modeling analysis, the project would have to implement risk reduction strategies.

Local Carbon Monoxide Impacts: The Guidelines contain a preliminary screening methodology that provides lead agencies with a conservative indication of whether the implementation of the proposed project would result in CO emissions that exceed the *Thresholds of Significance* shown in Table 2-1 of the Guidelines. The Guidelines state that a proposed project would result in a less-than-significant impact to localized CO concentrations if the following screening criteria is met: 1. Project is consistent with an applicable congestion management program established by the county congestion management agency for

designated roads or highways, regional transportation plan, and local congestion management agency plans; 2. The project traffic would not increase traffic volumes at affected intersections to more than 44,000 vehicles per hour; and 3. The project traffic would not increase traffic volumes at affected intersections to more than 24,000 vehicles per hour where vertical and/or horizontal mixing is substantially limited (e.g., tunnel, parking garage, bridge underpass, etc.). According to the City's Traffic Engineer, a traffic study was not warranted due to the size of the project. The proposed project would not generate more than 100 net PM peak trips and therefore is consistent with the congestion management plan and all of the aforementioned preliminary screening criteria.

Construction Related Impacts:

Construction-related activities are those associated with the building of a project. Construction activities are typically short-term or temporary in duration; however, project-generated emissions could represent a significant impact with respect to air quality and/or global climate change.

The first step in determining the significance of construction-related criteria air pollutants and precursors is to compare the attributes of the proposed project with the applicable *Screening Criteria* listed in Section 3.5.1 of the Guidelines. If all of the *Screening Criteria* are met, construction of the proposed project would result in a less-than-significant impact to air quality. If not, then construction emissions need to be quantified. The development of the four single family homes met all of the criteria.

The second step in determining the significance of construction-related criteria air pollutants and precursors is to quantify the construction emissions. Staff utilized the BAAQMD's recommended URBEMIS (version 9.2.4) modeling program to quantify construction emissions for the proposed land use development project.

The daily average emissions of construction-related criteria air pollutants or precursors of the proposed four single family homes will not exceed any of the *Thresholds of Significance*, and the project therefore, would result in a less-than-significant impact to air quality.

All *Basic Construction Mitigation Measures* will be included in the design of the project design and implemented during construction. The project will not include uses or activities expected to create any objectionable odors affecting a substantial number of people. The project will not result in any significant deterioration of air quality.

Mitigation: None required.

IV. BIOLOGICAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	☐	☐	☐	☒

b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	☐	☐	☐	☒
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	☐	☐	☐	☒
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	☐	☐	☐	☒
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	☐	☐	☐	☒
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a vacant lot, surrounded by existing residential homes in a fully urbanized area. There is no evidence of any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or United States Fish and Wildlife Service located on or near the subject property. There are no riparian habitats or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or US Fish and Wildlife Service located on or near the subject property.

There are no federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) that will be adversely affected through direct removal, filling, hydrological interruption, or other means, by the development of this project.

This project will not interfere with the movement of any native resident or migratory fish or wildlife species, as there are none present on or near this site; or with established native resident or migratory wildlife corridors, as there are none on this site; or impede the use of native wildlife nursery sites, as there are none in the project's vicinity.

There are no habitat areas on or bordering the site. The City has no tree preservation policies or ordinances. There is no adopted Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional or state habitat conservation plan at this site.

Mitigation: None required.

V. CULTURAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	☐	☐	☐	☒
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	☐	☐	☐	☒
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	☐	☐	☐	☒
d) Disturb any human remains, including those interred outside of formal cemeteries?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a vacant lot, surrounded by existing residential homes in a fully urbanized area. There are no known historical or archaeological resources or sites, as defined by §15064.5, on the subject site or within the immediate vicinity. There are also no known paleontological resources or unique geologic features on the subject site or within the immediate vicinity.

The project does not have the potential to cause a physical change, which would affect unique ethnic cultural values. Should evidence of cultural or historic artifacts be uncovered during subsequent development, work shall be halted in the area of the find. An archaeologist or historian, selected by the City, shall be consulted and shall determine the significance of the find; identify feasible mitigation measures to preserve, recover or document the find pursuant to the California Environmental Quality Act; and at that time the City shall specify the measures to be taken.

Mitigation: None required.

VI. GEOLOGY AND SOILS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42?	☐	☐	☐	☒
ii) Strong seismic ground shaking?	☐	☐	☒	☐

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction?	☐	☐	☐	☒
iv) Landslides?	☐	☐	☐	☒
b) Result in substantial soil erosion or the loss of topsoil?	☐	☐	☐	☒
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	☐	☐	☐	☒
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	☐	☐	☐	☒
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	☐	☐	☐	☒

Discussion of Evaluation: The site is not within a State of California designated Alquist-Priolo Earthquake Fault Zone, but is located in the San Francisco Bay Area, considered one of the most seismically active regions in the United States. Significant earthquakes have occurred in the Bay Area, and will continue to occur, with intensities varying, depending upon the magnitude of earthquake, the distance of the site from the causative fault, and the type of materials underlying the site.

According to the Safety Element of the Daly City General Plan, the subject site could experience "Very Strong" ground shaking intensity from an earthquake on the San Andreas Fault. Otherwise, according to more recent data prepared by the Association of Bay Area Governments (ABAG), "*On Shaky Ground, 2010*," there are three different types of ground shaking intensities shown in the project area: high, moderately high, and moderate. These intensities are projected from earthquakes on the San Andreas or other faults in the region.

No known active faults or fault traces are known to traverse the subject site. However, due to the proximity of the nearest active fault line, the San Andreas fault, approximately three miles west, the proposed development, along with all of the City of Daly City, engenders risk of seismic instability. Due to its proximity to the San Andreas Fault and the generally seismically active region, severe ground shaking is likely during the life of the structure(s), particularly during a major seismic event.

Another recently discovered fault, named the Mussel Rock fault, located about two miles southwest of the San Andreas fault, extending offshore at Mussel Rock, was identified in 1998. Although not extensively studied, this fault is not presently classified as active. Compared to the nearby San Andreas Fault, the Mussel Rock Fault is not currently considered to be a significant seismic hazard for the City of Daly City.

The project site is previously developed land, surrounded by existing residential and commercial development in a fully urbanized area. Soils reports are typically required wherever future development is intended, prior to grading or issuance of a building permit, as determined by the Building Official and/or City Engineer. The proposed buildings on the site will be subject to the building and safety requirements of the City of Daly City and the Uniform Building Code of the State of California, and based upon the observed geologic conditions of the site. No significant impact is expected.

Mitigation: No mitigation required beyond compliance with the Uniform Building Code.

VII. GREENHOUSE GAS EMISSIONS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	☐	☐	☐	☒
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	☐	☐	☐	☒

Discussion of Evaluation: BAAQMD's approach to developing a *Threshold of Significance* for Greenhouse Gas (GHG) Emissions is to identify the emissions level for which a project would not be expected to substantially conflict with existing California legislation adopted to reduce statewide GHG emissions needed to move us toward climate stabilization. If a project would generate GHG emissions above the threshold, it would be considered to contribute substantially to a cumulative impact and would be considered significant. The *Thresholds of Significance* for operational-related GHG emissions for land use development projects are either compliance with a qualified GHG Reduction Strategy; or annual emissions less than 1,100 metric tons per year (MT/yr) of CO₂ e; or 4.6 MT of CO₂ e/SP/yr (residents + employees). Land use development projects include residential, commercial, industrial, and public land use facilities. The City of Daly City has not adopted a qualified GHG Reduction Strategy.

According to BAAQMD, if all of the screening criteria are met by a proposed project, then the lead agency or applicant would not need to perform a detailed air quality assessment of their project's air pollutant emissions. Since the proposed project consists of 6 townhomes, the screening criteria identified in the BAAQMD guidelines exceeded would not be exceeded by the project.

Additionally, the City of Daly City adopted a Green Building Ordinance in December, 2010 that requires all new residential construction to meet minimum requirements for Build It Green, LEED, or an equivalent third party rating system certification. Compliance with certification requirements of one of the aforementioned third party rating systems will translate into building

energy efficiency above what is required by Code, greater resource conservation in the demolition, construction and operation of the site, and healthier interior and exterior materials. According to the U.S. Environmental Protection Agency (EPA), buildings account for 38.9% of the nation's total carbon dioxide emissions—a major contributor to GHG emissions. Mandating green building practices in new residential construction will result in increased energy efficiency that can ultimately contribute toward lower GHG emissions and other pollutants.

Mitigation: None required.

VIII. HAZARDS AND HAZARDOUS MATERIALS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	☐	☐	☐	☒
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	☐	☐	☐	☒
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒

g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	☐	☐	☐	☒
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	☐	☐	☐	☒

Discussion of Evaluation: As part of the building permit process, all plans are reviewed for compliance with applicable Building and Fire Department requirements, pursuant to the Uniform Building and Fire Codes, and all other related City requirements. The referenced codes prescribe types of construction to protect safety.

The four proposed single family homes would not involve the routine transport, use, or disposal of hazardous materials. As such, there would be no risk of significant hazard to the public or the environment involving the release of hazardous materials into the environment. While the construction vehicles would typically use gas and diesel fuel, Best Management Practices (BMPs) would be utilized to ensure that no construction-related fuel hazards occur. No hazardous materials are currently present at the site. The proposed project would not result in the emission of hazardous materials, substances or hazardous waste.

The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

The site is not located within an airport land use plan, and would not result in a safety hazard for people residing or working in the project area. The site is not located within a private airstrip. The proposed project would not impair implementation or physically interfere with an adopted emergency plan or emergency evacuation plan.

The proposed project would ultimately result in the grading of the site and construction of four single family homes on the 0.36-acre acre site. As previously stated, the site is currently vacant, all the surrounding land uses are fully developed, and the project site is considered an urban infill site that is located in an urban setting. The site is currently in a disturbed state and, as such, has been totally denuded of any native vegetation. The site is not within an area that is subject to wildland fires.

Mitigation: None required.

IX. HYDROLOGY AND WATER QUALITY: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?	☐	☐	☐	☒

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☐	☐	☒
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	☐	☐	☐	☒
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	☐	☐	☐	☒
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	☐	☐	☐	☒
f) Otherwise substantially degrade water quality?	☐	☐	☐	☒
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐	☐	☐	☒
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	☐	☐	☐	☒
j) Inundation by seiche, tsunami, or mudflow	☐	☐	☐	☒

Discussion of Evaluation: The project is within the jurisdiction of the City of Daly City and will be subject to compliance with San Mateo County Wide Water Pollution Program. As a requirement of Building Permit issuance, the project will be required to demonstrate compliance with program requirements. An initial review of the project for such compliance was issued by the City's third-party consultant, which found that the overall subdivision design and initial stormwater treatment measure proposed (stormwater treatment basins throughout the site) were feasible and could, upon minor modification, receive ultimate design approval.

There are no known subsurface water supplies in the project area. The City of Daly City Department of Water and Wastewater Resources is charged with all the City water quality compliances and has provided appropriate conditions of approval for the proposed project. The project will not draw on or deplete groundwater supplies.

Most project construction including grading and excavation will take place in the dry season to minimize immediate erosion/siltation effects, but some construction activities may extend into the winter months, though surface water runoff flows are anticipated to be minimal. Nevertheless, the project will be subject to the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit, intended to control pollution in storm water associated with construction activities. The project would not degrade water quality due to the implementation of BMPs to control pollution in runoff. These measures would reduce water runoff to a less than significant level.

The site is not located in a portion of Daly City that is within a 100-year flood hazard area. The project would not impede or redirect flood flows. Proposed ground elevations on the subject site are in excess of 200 feet above sea level. There are no impacts from flooding as a result of the proposed project. The project site located upland from the Pacific Ocean and San Francisco Bay, and is not likely subject to the potential effects of a seiche, tsunami (seismic wave) or volcanic hazard. No significant impact upon water resources would be anticipated.

Mitigation: None required.

X. LAND USE AND PLANNING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Physically divide an established community?	☐	☐	☐	☒
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	☐	☐	☒	☐
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	☐	☐	☐	☒

Discussion of Evaluation: The subject parcel is a 0.36-acre infill lot surrounded by a fully developed neighborhood. There is no potential that the project, as it is situated, would physically divide an established community.

The General Plan identifies the land use designation for the subject site as Open Space. The applicant is requesting a General Plan amendment to Residential – Low Density, which would bring it into conformance with the existing zoning.

There is no habitat conservation plan or natural community or natural community conservation plan adopted for this site or the near vicinity.

Mitigation: None Required.

XI. MINERAL RESOURCES: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	☐	☐	☐	☒
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	☐	☐	☐	☒

Discussion of Evaluation: No known mineral resources are located on the site, nor has the site been used for mineral resource extraction.

Mitigation: None Required.

XII. NOISE: Would the project result in:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	☐	☐	☒	☐
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	☐	☐	☐	☒
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☐	☒
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☒	☐
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒
) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	☐	☐	☐	☒

Discussion of Evaluation: According to the Daly City General Plan Noise Element existing and projected noise contour maps, the project site is located in an area with Community Noise Equivalent Level (CNEL) of less than 60. According to the noise model developed for the City's General Plan in 2013, future noise levels are not expected to increase for this area. Within this noise contour, single family homes, such as those proposed, are considered "Normally Acceptable" and therefore no additional noise mitigation is required.

Construction noise will occur during project construction, as with all new construction projects, resulting in increased exterior noise levels within the project vicinity. Noise levels associated with construction activities such as excavation, ground clearing and finishing work range from 78 to 89 dBA at 50 feet from the noise source (Bolt, Beranak & Newman, "Noise from Construction Equipment and Operation, Building Equipment and Home Appliances", 1971). This impact, however, would be temporary only, limited in area, and would be diminished via implementation of Best Management Practices (BMP's). BMPs are required at the time of building permit issuance for all new development and would reduce any impacts of additional noise level

exposure to insignificance. Such BMPs include, as standard conditions of approval for all new construction include requirements for construction vehicles and equipment to be properly muffled. Construction hours will be limited to 8:00 a.m. to 5:00 p.m. Mondays through Fridays and construction on weekends and holidays will be prohibited to avoid inconveniencing neighbors.

The project site is not located within an airport land use plan or, within two miles of a public airport or public use airport

The proposed project is not within the vicinity of a private airstrip.

Mitigation: None required.

XIII. POPULATION AND HOUSING: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	☐	☐	☐	☒
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒

Discussion of Evaluation: The project site is a vacant lot, surrounded by existing residential development in a fully urbanized area. Therefore, the project has no potential for displacement of existing residents or the potential to induce population growth beyond the project boundary. The project infrastructure is also limited to the property proposed for development and provides no substantial capacity increases to water, sewer, or wastewater facilities that would allow the accommodation of additional population growth in the immediate vicinity. The project does not include any improvements to sub-regional or regional roadway networks that would induce population growth.

Mitigation: None required

XIV. PUBLIC SERVICES:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:	☐	☐	☐	☒
Fire protection?	☐	☐	☐	☒
Police protection?	☐	☐	☐	☒
Schools?	☐	☐	☐	☒
Parks?	☐	☐	☐	☒
Other public facilities?	☐	☐	☐	☒

Discussion of Evaluation:

As part of the building permit review process, all departments and agencies responsible for providing services are consulted to determine their ability to provide services to proposed development projects. Such services within the project area may include, but not be limited to fire and police protection, schools, maintenance of public facilities including roads, and other governmental services as anticipated by the City's General Plan. Based on distribution of preliminary plans, all applicable agencies have indicated they would be able to provide the needed public services at acceptable service levels to this project. Park impacts are the subject of the subsequent impact section analysis.

Mitigation: None required.

XV. RECREATION:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	☐	☐	☐	☒
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	☐	☐	☐	☒

Discussion of Evaluation: The proposed project consists of the construction of four single family homes. Prior to project completion, the project applicant will be required to pay park in-lieu fees, Per the Parkland Dedications Ordinance, park in-lieu fees would be required for park or recreational purposes.

Mitigation: None required.

XVI. TRANSPORTATION/TRAFFIC: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	☐	☐	☐	☒
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	☐	☐	☐	☒

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	☒
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	☐	☐	☐	☒
e) Result in inadequate emergency access?	☐	☐	☐	☒
f) Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	☐	☐	☐	☒

Discussion of Evaluation:

The proposed 4 units would generate less than 100 daily trips and 10 less than peak hour trips. Therefore, a traffic study is not required.

Mitigation: None required.

XVII. UTILITIES AND SERVICE SYSTEMS: Would the project:	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	☐	☐	☐	☒
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☐	☒

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☐	☐	☒
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	☐	☐	☐	☒
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	☐	☐	☐	☒
g) Comply with federal, state, and local statutes and regulations related to solid waste?	☐	☐	☐	☒

Discussion of Evaluation: As part of the building permit review process, all departments and agencies responsible for providing utilities are consulted to determine their ability to provide water, sewer, and stormwater facilities to proposed development projects. Based on distribution of preliminary plans, all applicable agencies, i.e., the City of Daly City and Bayshore Sanitary District, have indicated they would be able to provide the necessary utilities required to this project. Furthermore, the project is consistent with the Daly City Water Master Plan, Waste Water Master Plan, other long-range master plans and Capital Improvement Program in terms of future growth anticipated in the project area. The developer will be assessed any necessary fees to cover these services at the time the City issues building permits for the project.

The project will be required to comply with federal, state, and local statutes and regulations related to solid waste, per the City of Daly City's standards. Electric, gas, water, storm, and sewer lines exist within close proximity of the project site, however, there may be upgrades to existing facilities required, per Department of Water and Wastewater Department, Engineering Division and the North County Fire Authority. All facilities will be required to be constructed in compliance with pertinent Codes and standard specifications.

The project will be connected to existing improved drainage facilities and, prior to any issuance of permits, the developer will be required to submit a storm drain analysis for existing and proposed drainage improvements; existing improvements shall be upgraded in compliance with City standards and as required by the impacts of the proposed improvements. The developer may be required to submit a Sewer Flow Study to ensure the existing system is capable of handling the additional flow of this development. The developer shall bear all costs for any water and/or sewer infrastructure improvements that may be necessary and will be designed to meet the current edition of the City of Daly City Standard Specifications and Drawings, or those of the Bayshore Sanitary District.

Mitigation: None required.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	☐	☐	☐	☒

b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	☐	☐	☐	☒
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	☐	☐	☐	☒

Discussion of Evaluation: The proposed four single family home project would not have significant environmental impacts to air quality, greenhouse gas emissions, and traffic.

Mitigation: None required.

LIST OF REFERENCES AND CONTACTS

1. City of Daly City. General Plan, March 2013.
2. City of Daly City. Zoning Regulations, Title 17.
3. Bolt, Beranak & Newman. Noise from Construction Equipment & Operation, Building Equipment & Home Appliances, 1971.
4. CH2Mhill. Daly City Collection System Master Plan, 1993.
5. Brown and Caldwell. Daly City Water Master Plan, 1991.
6. Association of Bay Area Governments. On Shaky Ground, Earthquakes and Hazards Program, 2010.
7. Association of Bay Area Governments. Alquist-Priolo Earthquake Fault Zones Map, reproduced with permission, California Geological Survey from CD-ROM 2001-04 (2001), Official Map of Alquist-Priolo Earthquake Fault Zones.
8. Association of Bay Area Governments. Earthquake Shaking Potential. Derived from Earthquake Shaking Potential for the San Francisco Bay Region. CSSC, CGS, CalEMA, and USGS, 2003.
9. California Department of Conservation, Office of Land Conservation. California Agricultural Land Evaluation and Site Assessment Model Instruction Manual.
10. California Department of Conservation, Office of Land Conservation. Compiled by the Farmland Mapping and Monitoring Program (FMMP) pursuant to Section 65570 of the California Government Code. San Mateo County Important Farmland Map 2006, 2008.
11. California Department of Conservation, Division of Land Resource Protection, Williamson Act Program. San Mateo County Williamson Act 2006, 2006.
12. California Department of Conservation. State of California Special Studies Zones San Francisco South, Revised Official Map, January 1, 1982.
13. Jones, A.L., M. Perlmutter, W.B. Monahan, and D. Yun. 2008. Mapping California's Important Bird Areas. Prepared by Audubon California with support from California Polytechnic Institute. Audubon California, Sacramento, CA.
14. United States Department of Fish and Wildlife Service. National Wetlands Inventory, Wetlands Data.KMZ (Keyhole Markup Language file accessed via Google Earth), May 20, 2010.
15. Bay Area Air Quality Management District. California Environmental Quality Act Air Quality Guidelines, June 2010.
16. Bay Area Air Quality Management District. BAAQMD CEQA Guidelines Risk and Hazard Screening Analysis Process Flow Chart. May, 2010.
17. Bay Area Air Quality Management District. Stationary Source Screening Analysis Tool, San Mateo May 2011, Google Earth KMZ file, accessed February, 2011.
18. Bay Area Air Quality Management District. Roadway Screening Analysis Tables, Roadway Screening Tables. April, 2011.
19. Bay Area Air Quality Management District. GHG Plan Level Quantification Guidance. April 15, 2011.
20. Bay Area Air Quality Management District. Screening Tables for Air Toxics Evaluation During Construction, Version 1.0, May, 2010.
21. Section 503 of the Uniform Housing Code.
22. City/County Association of Governments of San Mateo County. Final San Mateo County Congestion Management Program 2009, September, 2009.
23. Padre and Associates, Inc. Phase I Environmental Site Assessment and Title V Environmental Hazards Evaluation for the Robertson Intermediate School Reconstruction Project, 1 Martin Street, Daly City, San Mateo County, California, September 2014.

24. Institute of Transportation Engineers. TRIP GENERATION, 8TH Edition, Volume 2 of 3, 2008.
25. California Department of Public Health, California Environmental Health Tracking Program (CEHTP). Traffic Volume Linkage Tool, accessed February 15, 2011, www.ehib.org
26. United States Environmental Protection Agency. Buildings and their Impact on the Environment: A Statistical Summary. April 22, 2009.
27. Transportation Impact Analysis Report – Martin Street Residential, Hexagon Transportation Consultants, August 17, 2015.

EXHIBITS

- Site Location Map
- Reduced Plan(s) (8-1/2" x 11")

Comments from concerned citizens of the 700 block of Templeton Avenue

This is regarding the meeting that took place on Tuesday May 11, 2019. It was for General Plan Amendment GPA-01-19-13827, Zone Change ZC-01-19-13828 and referred to as 717 Templeton Ave.

The Agenda for the meeting referenced above, and the flyer that was sent to us, failed to mention the amendment to the Open Space Plan included with the General Plan Amendment.

The picture that was displayed of the north side of Templeton Ave, presented as the houses across from the development, did not represent the properties across from the development; instead the picture depicted the houses and street beginning at 730 Templeton. The slope of the street in this area is very gradual unlike the steep street slope in front of the development.

The slopes of the driveways to the garages of the new houses are indicated on the plans to be over 19% which is very steep considering Templeton Ave itself is steep at 16% slope through the development site (see photo below).





This portion of Templeton is in poor condition and the amount of heavy trucks could impact the properties on the north side significantly. The Planning Commission should reexamine the steepness of the driveways and require the developer to provide driveway slopes in line with realistic design parameters that will offer the ability to use the driveways for parking safely.

In conclusion we feel the 700 block of Templeton Ave has the following issues:

- It has been neglected over the years.
- The amount of construction activity required for this development and the future sites just above the subject site represent a considerable amount of inconvenience and street wear for the residents.
- We believe substantial improvements to the concrete portion of Templeton Ave. including the deteriorating curbs and stairs should be incorporated into any approval of this subdivision and the development of the remaining open space on the south side of Templeton Ave.
- We do not feel it is feasible to allow a haul route for the excavation of the sites to continue up Templeton Ave, but only access the sites and exit down Templeton Ave.



City Council Meeting Agenda Report

Item # _____

Meeting Date: May 28, 2019

Subject: Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424 – Expansion of an Existing Two-Story Medical Office Building at 211 Eastmoor Avenue

Recommended Action

Approve the Use Permit and Design Review, subject to the Findings and Conditions as outlined herein.

Planning Commission Discussion

On May 7, 2019, the Planning Commission voted 4-0 to recommend the City Council approve Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424. Planning Commission comments are provided in bold italics.

Project Description

The applicant has proposed expanding the existing two-story medical office building at 211 Eastmoor Avenue (see Attachment A – Site Location). The expansion would replace an existing one-story 1,204 square foot laboratory space with a two-story medical office use consisting largely of examination space, expanding the north side of the building where seven parking spaces and patio trellis presently exist. The resulting building would provide approximately 8,378 square feet of medical office space on the ground floor and 8,184 square feet of medical office space on the second floor, for a total 16,562 square foot office building (see Attachment B – Project Plans).

Background

The subject site had been occupied by the State Farm Insurance office building since the mid-1960s, with subsequent renovations and a seismic upgrade in 1997. State Farm Insurance vacated the site in 2003. A subsequent owner purchased the property in 2004 with the intent of redeveloping the property with a mix of residential and office uses. In March 2006, the City Council approved a request to re-designate and rezone the property to Planned Development PD63. The proposal incorporated the existing office building and consisted of fourteen attached townhomes, but the project was never constructed.

In 2009, the City Council approved a tenant improvement to the building, allowing North East Medical Services (NEMS) to relocate administrative and laboratory uses to it, with the potential to add patient exam rooms once the facility gained necessary federal approvals to do so. This modification allowed conversion of an existing garage to office space, creating a 10,791 square foot office building.

Planned Development PD63 does not specifically allow the amount of medical office space proposed. However, the Zoning Ordinance allows uses proposed in a planned development district which are dissimilar to the general category of uses allowed by the zone upon first securing a use

permit. Staff has interpreting that the amount of medical office space proposed requires the applicant to obtain a use permit.

Use Permit

As described previously, the expansion of the existing medical office use requires the approval of a use permit. The use permit provides the City Council an opportunity to evaluate the proposal in the context of the existing on-site and adjacent uses, and evaluate if the proposed project merits approval. In so determining, the City Council should evaluate if the building addition would be compatible with existing uses, if infrastructure exists to serve the site, and if the provision of parking is adequate and, as designed, would not have a detrimental impact to the adjacent neighborhood.

Compatibility with Existing Uses. The subject site is presently occupied by a 10,791 square foot office building consisting of a clinic offering primary health care services, basic on-site lab tests, and pharmacy services. After construction of the expansion, the building would continue to offer these same services, although where the existing clinic provides 10 examination rooms, the second-floor expansion would provide 12 additional examination rooms. As the existing and proposed uses on the project site are essentially the same, staff feels the proposed use would be compatible with existing uses.

Infrastructure Capacity. The City's Public Work Department and Department of Water and Wastewater Resources have evaluated the proposal and determined that adequate water and sewer infrastructure exists to serve the subject site. The Fire Department has also reviewed the project and has no objections.

Parking and Circulation. The Zoning Ordinance requires 55 parking spaces for the proposed 16,562 square foot medical office building ($16,562/300 = 55$ spaces) and 55 parking spaces are therefore proposed. As is the case with the current parking lot layout, access to some of the parking stalls have substandard aisle widths and spaces adjacent to the narrower aisles have been required to be dimensioned and labeled as compact. As this is an existing non-conforming condition which the current proposal would not exacerbate, staff does not consider this condition to be materially detrimental.

- *Commissioner Crump noted that the site's existing driveway from Zita Manor is for emergency purposes only and asked if it would remain that way. Staff responded that it would and that the main access to the site was provided from Eastmoor Avenue.*
- *Commissioner Proaño asked if there were any parking meters in the area. Staff responded that there was no time-limited parking in the area, and that, according to the traffic study prepared for the project, the peak parking demand was for fewer parking spaces than the number provided in the proposed site plan.*
- *Ray Driscoll, resident of 35 Zita Manor, offered comment related to the existing intersection at Zita Manor and Eastmoor Avenue, and the expressed reasons as to why a stop sign was needed at the intersection. Commissioner Proaño asked Mr. Driscoll if the*

intersection was an issue with him prior to the current application and he answered that it was.

- *Commissioner Proaño asked about the times of the traffic analysis. Staff responded that the analysis was conducted during peak hours of 7:15 A.M. and 8:15 A.M., and between 5:00 P.M. and 6:00 P.M.*
- *Commissioner Proaño asked about the process for exploring a potential stop sign on Zita Manor. Staff responded that the body responsible for evaluating the need for the sign is the Traffic Safety Committee. Commissioner Proaño asked staff to put Mr. Driscoll in contact with the Traffic Safety Committee.*

Design Review

The existing medical office building is comprised of a stucco exterior with flat roof, painted in a red/yellow color combination. According to the project plans, the entire east elevation of the building would be remodeled to conform to the new northern building elevation created by the proposed expansion. The south and west elevations, facing Eastmoor Avenue and Zita Manor respectively, would not be impacted aside from a new building entry identified at the southeast building corner.

As proposed, the project architecture would largely conform to the existing building design, which provides a contemporary architectural style with full-height (floor to ceiling) windows at regular intervals at all but the east elevation. However, the project designer has not proposed the same full-height windows that exist presently at new and remodeled elevations, and has instead proposed windows with limited height. The result of this would be a somewhat modified visual appearance for the new east and north elevations, although the north elevation would have limited visibility from Eastmoor Avenue.

The subject building is very visible structure along Eastmoor Avenue and it is important that it continue to communicate an interesting visual aesthetic. Although staff believes the existing full-height windows provide relief and visual interest that should be replicated at both new elevations (north and east), staff feels that other design measures can be incorporated to mitigate the omission of the floor-to-ceiling windows.

Staff is therefore recommending a Condition of Approval which requires the applicant to modify the project plans to incorporate a cantilevered metal awning between the first and second floors beginning at the south elevation vestibule, continuing over the new building entry at the building's southeast corner, and horizontally traversing the entire east and north elevation widths. The awning would be constructed from galvanized metal and receive the same paint same color as the decorative fence. For further articulation and visual interest at the east elevation, staff is recommending a Condition of Approval which requires the installation of a metal or braided-wire trellis between each window, extending from the ground to the underside of the aforementioned awning. The project landscape plans would be required to incorporate irrigated vine or other climbing plants to soften the first floor exterior adjacent to the project parking lot.

Fiscal Analysis and Impacts

The construction of the proposed building addition would add an incremental demand for City services. Prior to project completion, the project applicant will be required to pay building permit, plan check, and AB 1600 fees to the City.

Environmental Assessment

The proposed building is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Title 14 of the California Code of Regulations, (State CEQA Guidelines) Section 15301 – Minor Alteration of Existing Public or Private Structures.

- ***Augustus Tagaro, resident of 43 Zita Manor, asked how long construction would last and what preventative measures to control dust and noise would be undertaken. Staff responded that the City would impose standards to ensure that dust does not create an airborne hazard for residents such as watering down the site and that noise would be controlled by imposing construction hour limitations between 8:00 A.M. and 5:00 P.M.***

Findings

On May 7, 2019, the Planning Commission found that the proposed office expansion would be in compliance with Title 17 (Zoning) of the Daly City Municipal Code and that approval of Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424 would not be detrimental to the health, safety, morals, comfort and general welfare of persons residing in or working in the neighborhood, or be injurious or detrimental to the property and improvements in the neighborhood or the general welfare of the city. The Planning Commission recommends that the City Council adopt the following findings:

1. In accordance with Title 17 of the Daly City Municipal Code, as well as applicable State zoning enabling legislation, the City Council will conduct a public hearing on May 28, 2019; notice of said hearing was published in a newspaper of general circulation on May 16, 2019, posting and first class mailing to property owners within 300 feet;
2. The Planning Commission reviewed the proposal under the requirements of the California Environmental Quality Act (CEQA) and has determined the project is Categorical Exempt per Section 15301 – Minor Alteration of Existing Public or Private Structures.
3. The proposed mixed-use building complies with applicable provisions of the Title 17 (Zoning) of the Daly City Municipal Code, include Chapter 17.28 – Planned Development, Chapter 17.44 – Use Permits, and Chapter 17.45 – Design Review;
4. The proposed medical office building addition merits use permit approval, as the building would be compatible with existing adjacent uses, adequate utility and infrastructural capacity exists within close proximity to serve the site, and the provision of parking is adequate and, as designed, would not have a detrimental impact to the adjacent neighborhood;

5. General site considerations, including site layout, open space and topography, orientation and location of buildings, vehicular access, circulation and parking, setbacks, heights, walls, public safety and similar elements have been designed to provide a desirable environment;
6. General architectural considerations have been incorporated in order to ensure the compatibility of this development with its design concept and the character of on-site signage. These considerations include, but are not limited to, the character, scale and quality of the design, the architectural relationship with the site and other buildings, building materials, and colors;
7. General landscape considerations of Chapter 17.41, Landscaping, will be provided to ensure visual relief, to complement buildings and structures and to provide an attractive environment for the enjoyment of the public; and
8. The project will minimize the risk to existing public improvements and adjacent private property by providing controlled stormwater runoff from the site to City facilities in full compliance with Order R-2 NPDES Permit No. CAS612008 and Order No. 2010-0014-DWQ, NPDES No. CAS000002, the statewide National Pollutant Discharge Elimination System (NPDES) General Construction Activity Storm Water Permit.

Conditions of Approval

The Planning Commission recommends the City Council approve Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424 subject to the following conditions and Daly City General Conditions of Approval. Minor deviations from the conditions of approval may be approved by the Planning Division. Significant deviations will require review and approval by the Planning Commission and City Council.

A. DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

General

1. The use permit and design review approval shall be valid for a period of one year from the date of City Council approval. The approvals shall terminate if a building permit has not been obtained and construction commenced within one-year of City Council approval of the project or if the applicant fails to obtain a valid business license.
2. The use permit and design review shall be valid only in conjunction with plans submitted and approved by the City Council. Any significant modifications and changes to the plans shall be treated as an amendment and shall be subject to review by a Council Committee appointed by the Mayor.
3. All buildings, any applicable retaining walls, fences, and trash enclosure materials and colors must match those as approved. High quality materials shall be utilized and final finishes shall be approved by the Director of Economic and Community Development.

Building and Site Design

4. Any reconstruction of the trash enclosure shall be constructed from concrete (CMU is acceptable) and shall receive design elements similar to those of the medical office building, including color, materials, and roof design. The enclosure's doors shall receive a powder-coated metal door painted to match the enclosure's wall color. The capacity, design, and location of the structure shall be approved by both the Planning Division and Republic Services prior to incorporation in the project plans that are submitted to the Building Division for permit issuance.
5. The applicant shall modify the project plans to incorporate a cantilevered metal awning between the first and second floors beginning at the south elevation vestibule, continuing over the new building entry at the building's southeast corner, and horizontally traversing the entire east and north elevation widths. The awning shall be constructed from galvanized metal and receive the same paint same color as the site's decorative fence.
6. The applicant shall install a metal or braided-wire trellis between each window at the north and east elevations, extending from the ground to the underside of the awning required in the Condition of Approval above.
7. Backflow preventers shall be concealed and/or screened from public view to the satisfaction of the Daly City Community and Economic Development Director prior to issuance of building permit.

Landscaping

8. The project landscape plans shall incorporate irrigated vine or other climbing plants to soften the first floor exterior adjacent to the project parking lot.

B. BUILDING DIVISION

9. A seismic upgrade will be required due to substantial addition and structural work.
10. The applicant shall be aware that full accessibility compliance will be required, including an elevator upgrade.
11. If the medical clinic will request for OSPHD certification or license, OSHPD inspections will be required to be performed by a certified OSHPD 3 inspector.

C. ENGINEERING DIVISION

12. If project will create additional impervious surfaces, hydraulic calculations will need to be provided showing post-development stormwater runoff does not increase.
13. All sidewalk and curb ramps fronting the property shall be compliant with current ADA requirements and the City standard details at the discretion of the City Engineer.

D. DEPARTMENT OF WATER AND WASTEWATER RESOURCES

14. The fire service currently is fed from a main on Zita Manor. An increase in the fire service will likely result in an upsize to that service which will require the service to be connected to the larger main on Eastmoor. The existing service will need to be abandoned.
15. The applicant shall verify the intent to abandon or reuse the existing sewer lateral. If the intent is to reuse, applicant must video inspect and perform a watertight test that is subject to review by DWW. A DWW representative shall be on site during the testing and televising. Testing/ televising shall be completed prior to permit/plan approval. If the lateral is not to be used the lateral shall be abandoned per Section 02720, 3.08 of the City of Daly City Standard Specifications and Drawings. The abandonment shall be completed prior to any demolition of the previous building or construction of the new building. All costs associated with the testing, video inspection and abandonment shall be borne by the applicant.

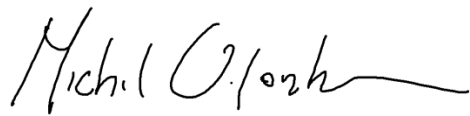
Recommendations

The Planning Commission recommends that the City Council do the following:

1. Adopt the Findings as outlined herein;
2. Affirm the Environmental Assessment; and
3. Approve Use Permit UPR-3-19-13936 and Design Review DR-4-18-13424, subject to the Conditions of Approved outlined herein.

Staff is available to provide any additional information desired by the Council members.

Respectfully submitted,



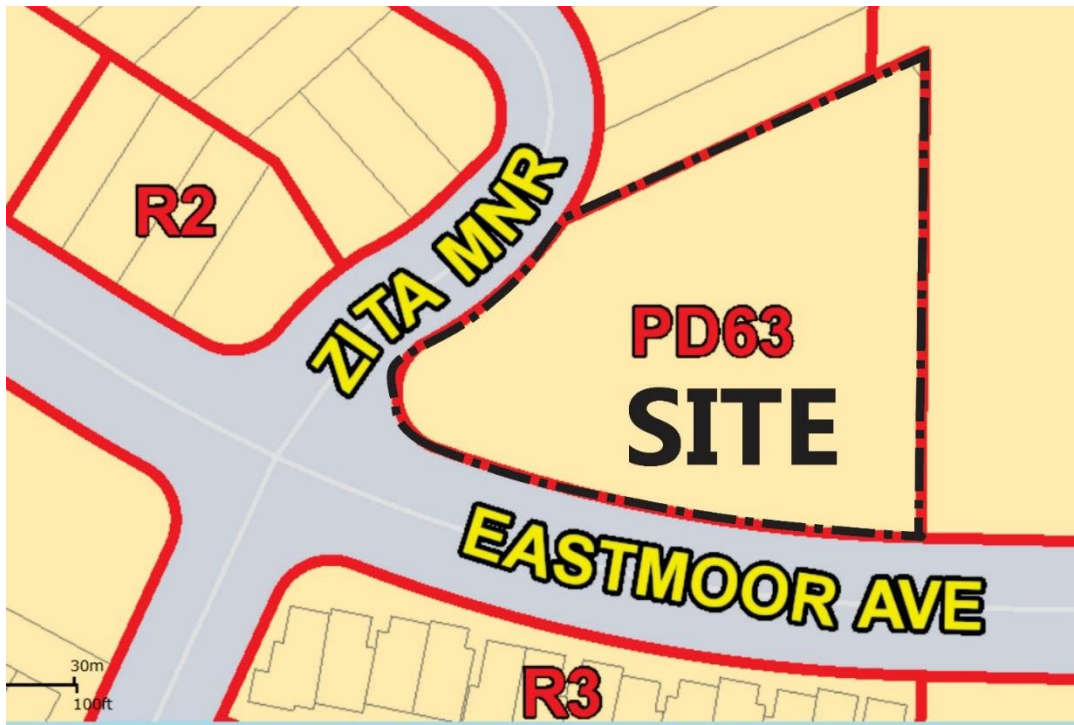
Michael VanLonkhuysen
Planning Manager



Tatum Mothershead
Director of Economic and Community
Development

Attachments

Attachment A – Location Map
Attachment B – Project Plans

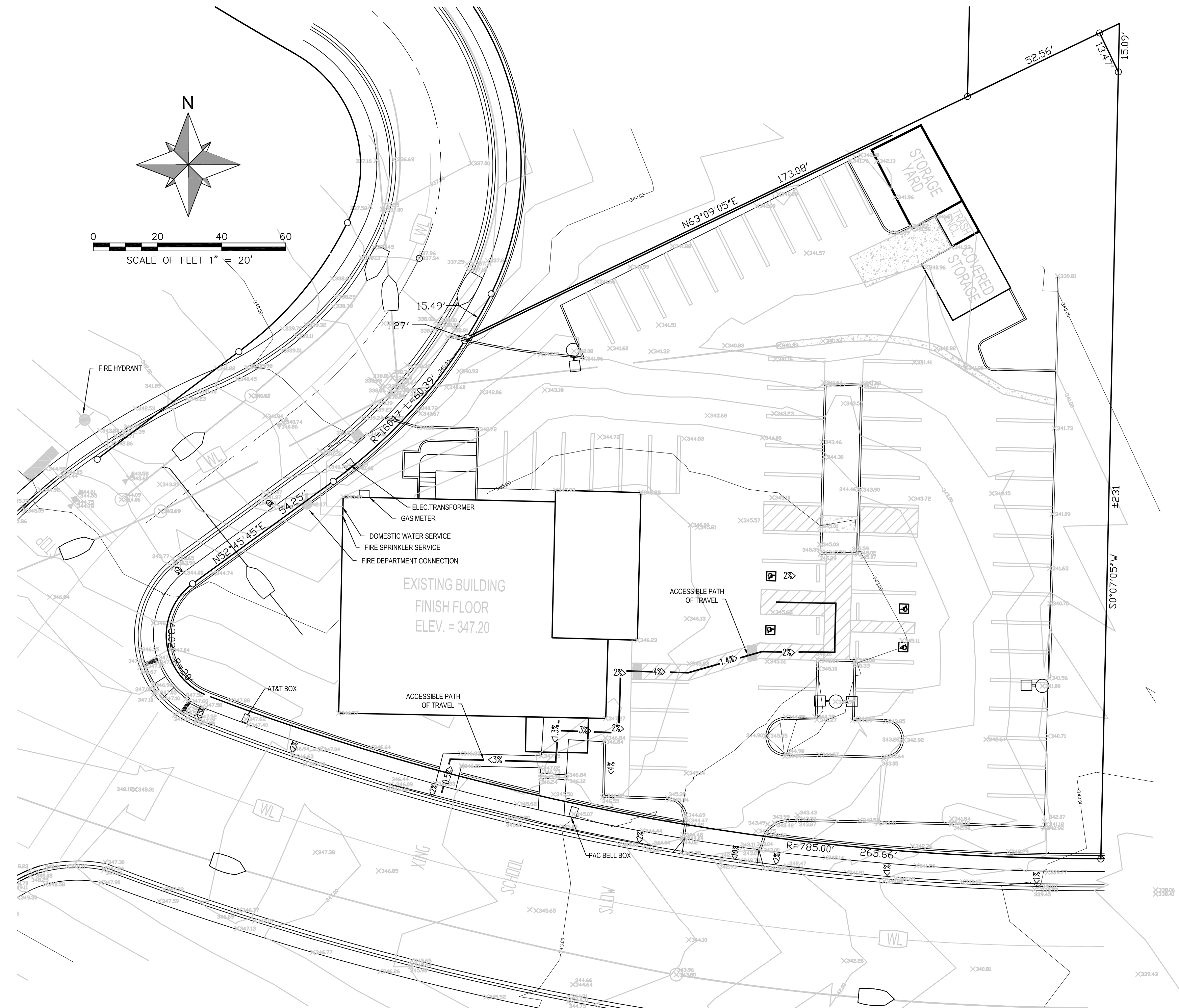


BOUNDARY AND TOPO SURVEY
211 EASTMOOR AVE.
DALY CITY, SAN MATEO COUNTY CA
MARCH, 2018



VICINITY MAP

LEGEND	
	PROPOSED SANITARY SEWER and SIZE (SS)
	EXISTING SANITARY SEWER and SIZE (SS)
	PROPOSED SANITARY FLUSHING BRANCH (FB/CO)
	EXISTING SANITARY FLUSHING BRANCH (FB/CO)
	PROPOSED SANITARY MANHOLE (MH)
	EXISTING SANITARY MANHOLE (MH)
	PROPOSED STORM DRAIN and SIZE (SD)
	EXISTING STORM DRAIN and SIZE (SD)
	PROPOSED DROP INLET (DI)
	EXISTING DROP INLET (DI)
	PROPOSED STORM MANHOLE (MH)
	EXISTING STORM MANHOLE (MH)
	PROPOSED WATER MAIN and SIZE (WL)
	EXISTING WATER MAIN and SIZE (WL)
	PROPOSED BLOW-OFF VALVE (BO)
	EXISTING BLOW-OFF VALVE (BO)
	PROPOSED COMBINATION AIR-VACUUM RELIEF VALVE (AVRV)
	EXISTING AIR-VACUUM RELIEF VALVE (AVRV)
	PROPOSED GATE VALVE (GV)
	EXISTING GATE VALVE (GV)
	PROPOSED RESTRAINED DUCTILE IRON FIRE HYDRANT ASSEMBLY (FH)
	EXISTING FIRE HYDRANT ASSEMBLY (FH)
	PROPOSED SERVICE LATERAL w/ METER BOX
	EXISTING SERVICE LATERAL w/ METER BOX
	R.P. BACKFLOW DEVICE
	DOUBLE CHECK DETECTOR ASSEMBLY w/ FIRE DEPT. CONNECTION
	PROPOSED BUTTERFLY VALVE
	EXISTING BUTTERFLY VALVE
	PROPOSED RESTRAINED JOINTS
	LIMITS





m c g architecture

415.974.6002 415.974.1556

250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

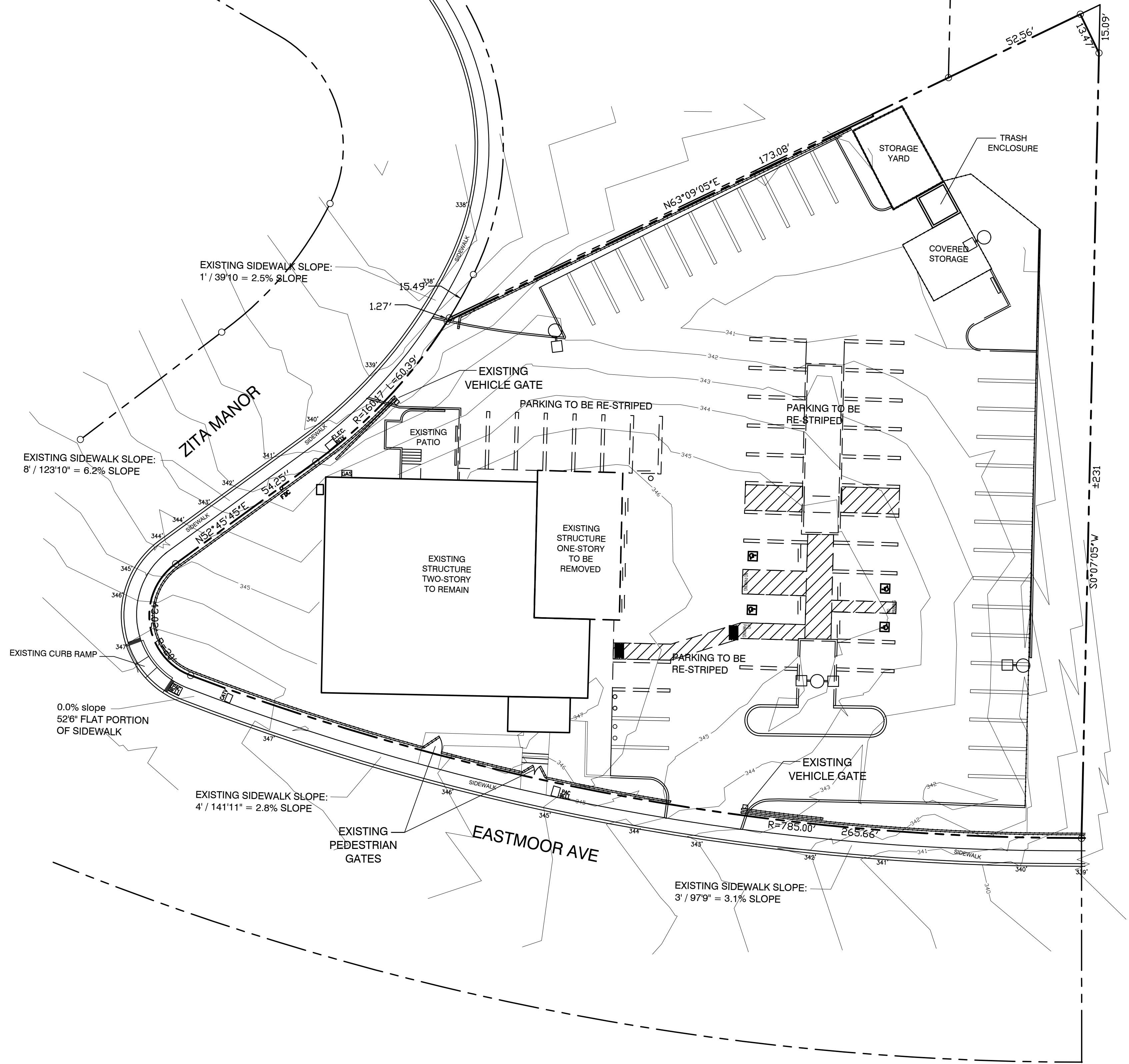
PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

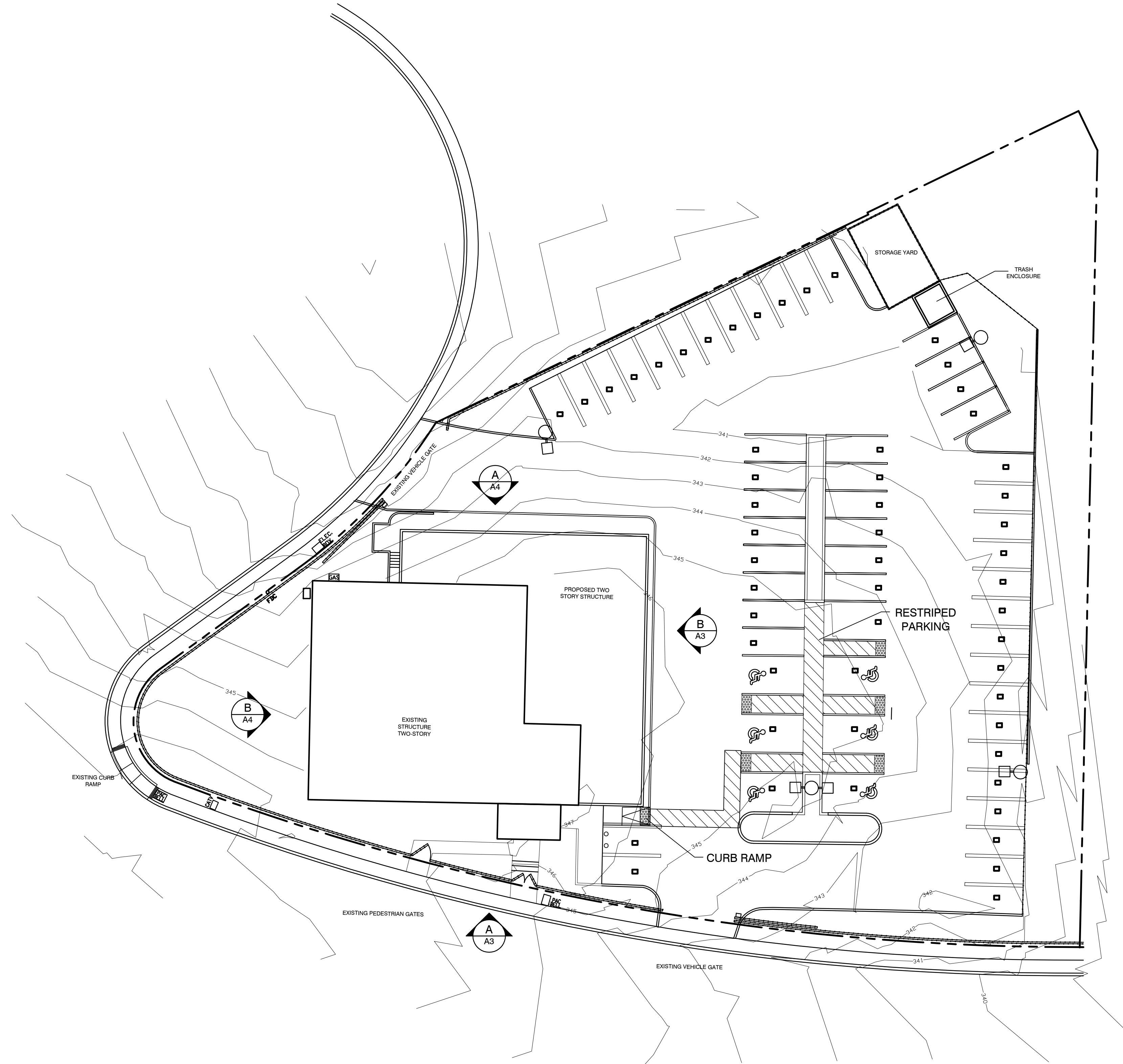
No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	
Filename:		
Sheet Title:		

EXISTING
SITE PLAN

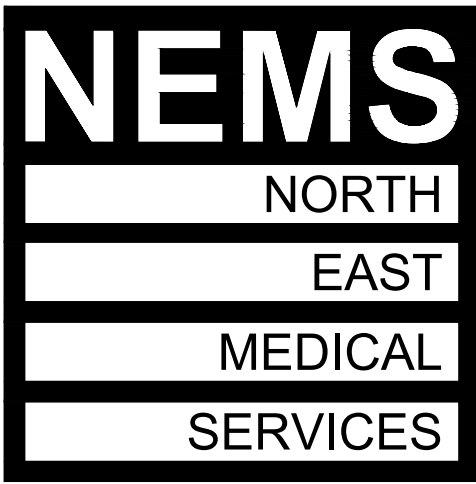
Sheet #:

A0





PARKING COUNT:
TOTAL: 55
HANDICAPPED: 6



m c g architecture

T 415.974.6002 F 415.974.1556

250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18
PLANNING COMMENTS	3-15-19

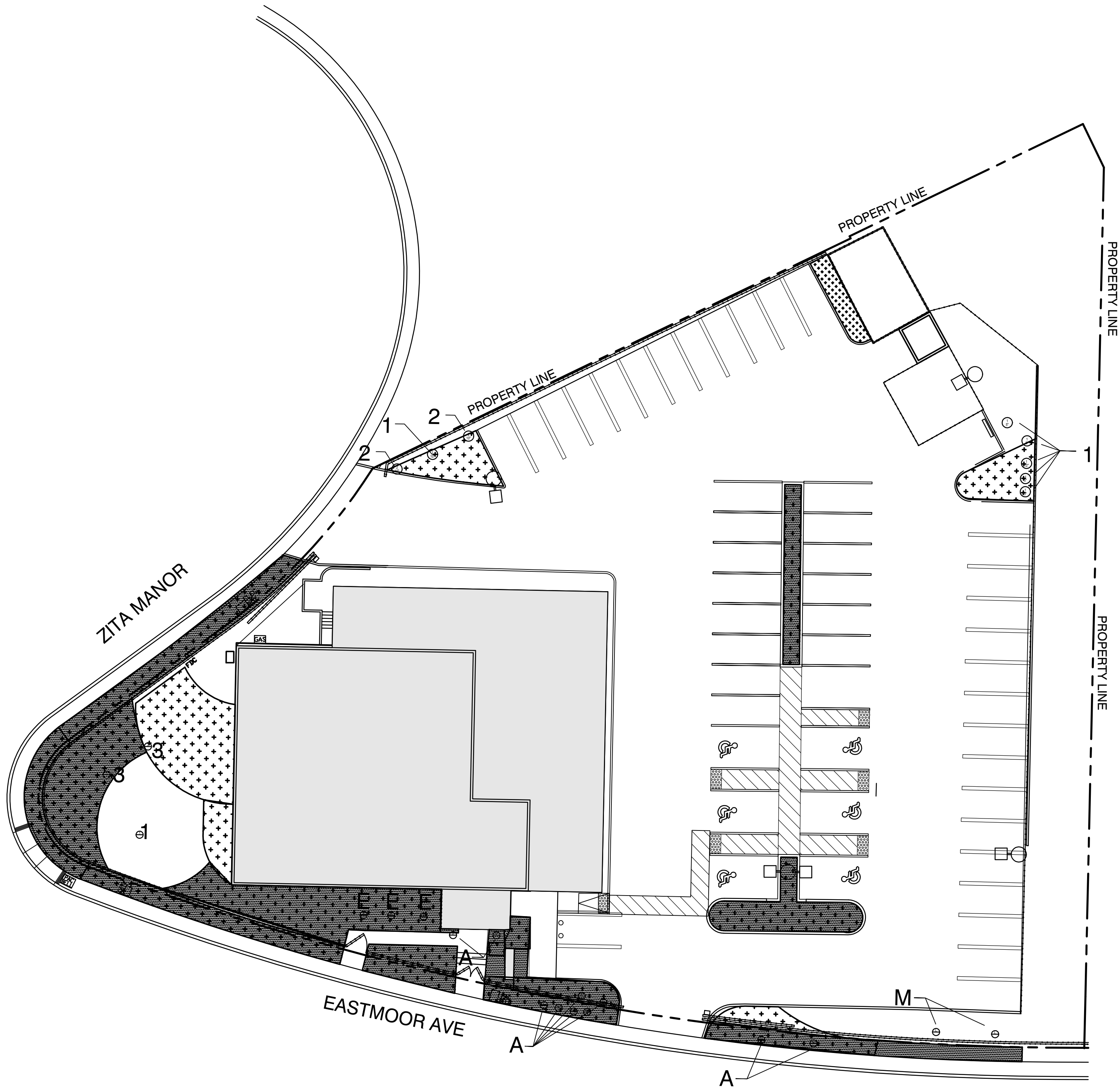
No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	
Filename:		
Sheet Title:		

PROPOSED
SITE PLAN

Sheet #:

A1

© MCG ARCHITECTS 2017 ALL RIGHTS RESERVED



- GROUND COVER
- FLOWERING SUCCULENT - DUDLEYA
 - ▨ BLUE AGAPANTHUS
- TREES
- 1 PINE
 - 2 ARBUTUS TREE
 - 3 MAGNOLIA
- BUSHES/PLANTS
- A BOXWOOD BUSH
 - M ARBUTUS BUSH
 - E HYDRANGEA

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

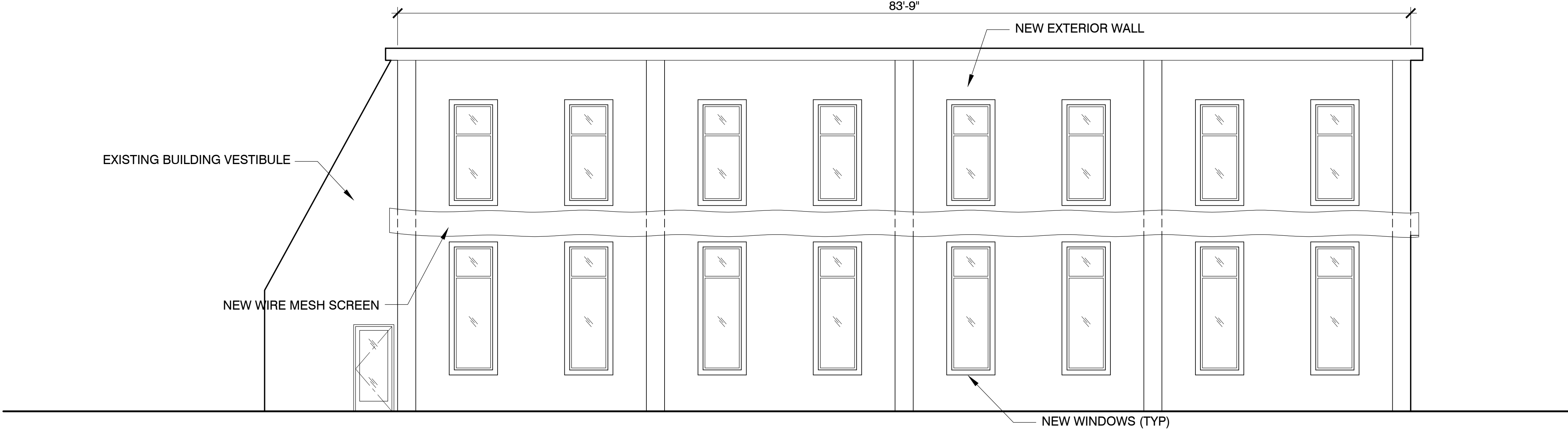
PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	
Filename:		
Sheet Title:		

LANDSCAPE
PLAN

Sheet #:

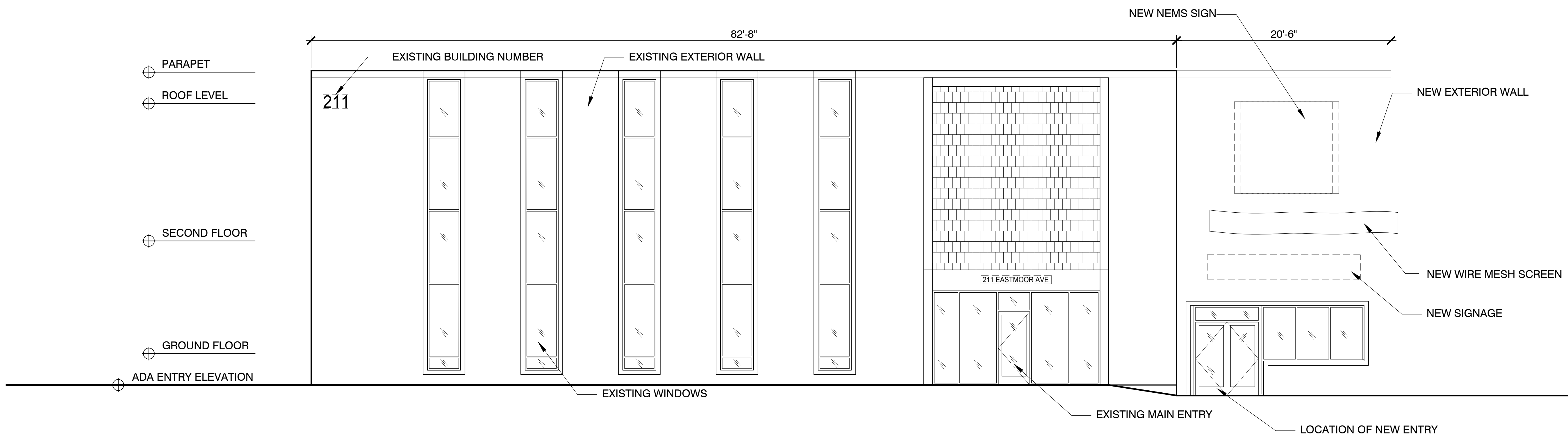
A2



EAST ELEVATION

SCALE
3/16" = 1'-0"

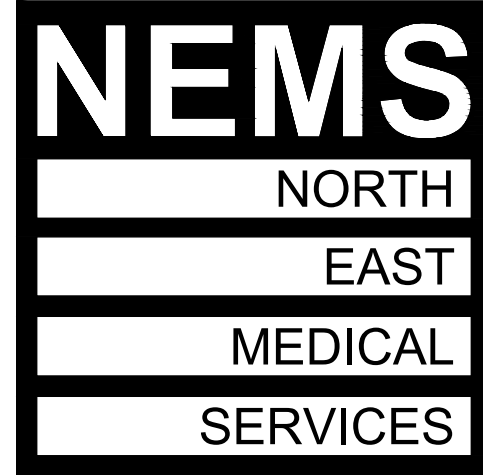
B



SOUTH ELEVATION

SCALE
3/16" = 1'-0"

A



mcg architecture

415.974.6002 415.974.1556

250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

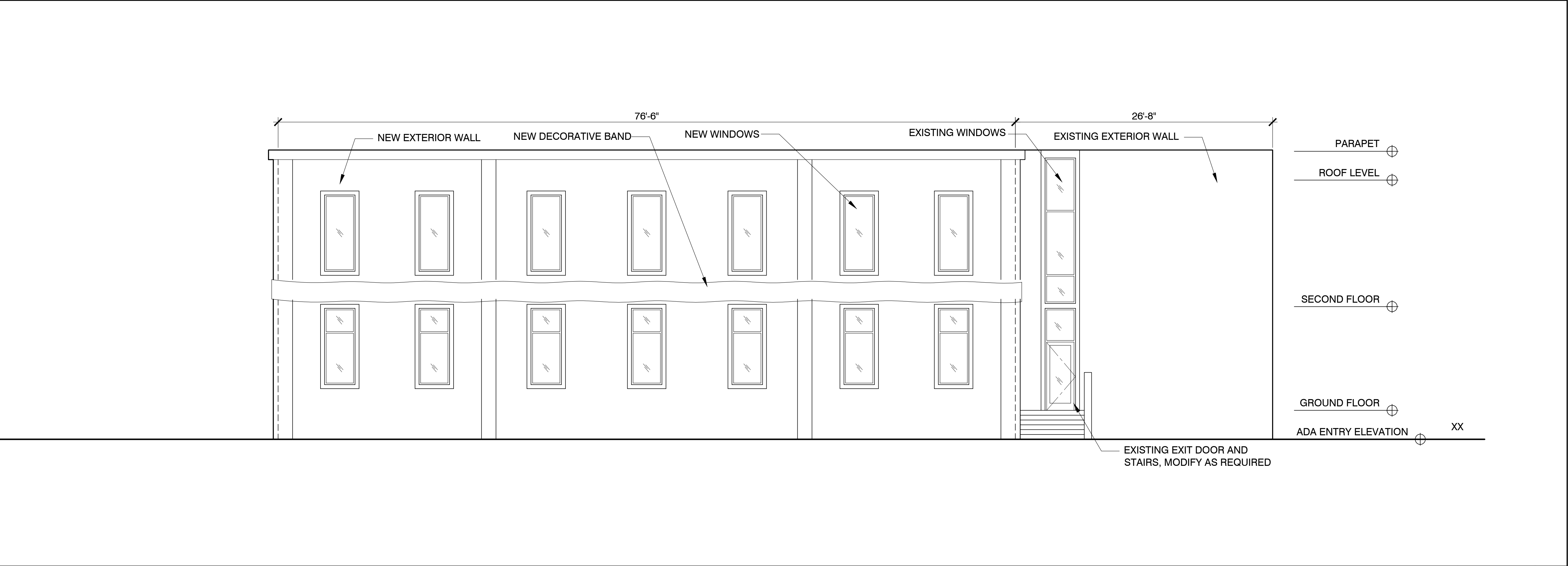
No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	
Filename:		
Sheet Title:		

ELEVATIONS

Sheet #:

A3

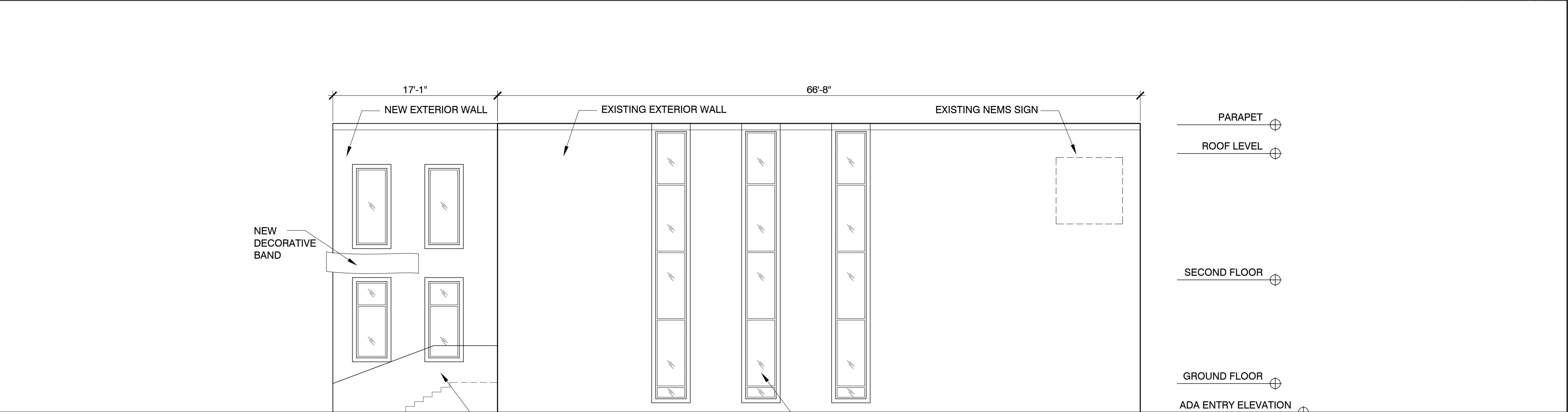
© MCG ARCHITECTS 2017 ALL RIGHTS RESERVED



NORTH ELEVATION

SCALE
3/16" = 1'-0"

B



WEST ELEVATION

SCALE
3/16" = 1'-0"

A



mcg architecture

415.974.6002 415.974.1556
250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	

Filename:
Sheet Title:

ELEVATIONS

Sheet #:

A4

© MCG ARCHITECTS 2017 ALL RIGHTS RESERVED



mcg architecture

415.974.6002 415.974.1556

250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

No.	Description	Date
Project No.:	16.567.06	
Drawn By:	DB	
Reviewed By:		
Scale:	AS NOTED	
Date:	3-7-18	
Filename:		
Sheet Title:		

PROPOSED
GROUND FLOOR
PLAN

Sheet #:

A5



m c g architecture

415.974.6002 415.974.1556

250 Sutter Street, Suite 500, San Francisco, CA 94108-4461

Seal:

A Project for:

PROPOSED EXPANSION TO
211 EASTMOOR
211 EASTMOOR AVE
DALY CITY, CA 94015

Client:

NEMS

1520 STOCKTON STREET
SAN FRANCISCO, CA 94133
Phone 415.391.9686 ext. 5980
Fax 415.398.2688

Revisions:

PLANNING FILING	3-7-18
PLANNING COMMENTS	4-11-18

No.	Description	Date
Project No.:		16.567.06
Drawn By:		DB
Reviewed By:		
Scale:		AS NOTED
Date:		3-7-18
Filename:		
Sheet Title:		

PROPOSED
SECOND FLOOR
PLAN

Sheet #:

A6



Ron Borelli
1442 Crestwood Ct.
San Mateo, CA 94403
Email: ronborelli@aol.com
650 574 5707 home
May 2, 2019

Planning Division
333 90th Street
Daly City, CA 94015

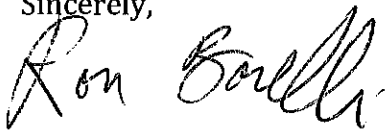
SUBJECT: Use Permit UPR-03-19-13936 and design review DR-04-18-013424
211 Eastmoor Avenue (APN 008-501-320)

I am the property owner of 20 Zita Manor, Daly City, 2 parcels away from the Medical office building located at 211 Eastmoor Avenue. In regard to the expanding the existing two-story medical building I have two concerns:

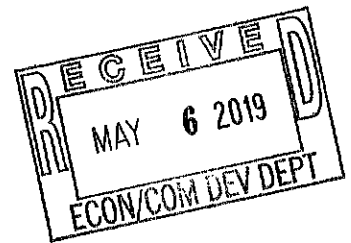
- 1) Parking for the additional workers or guests visiting the proposed 2 story Medical Office will impact Zita Manor residents. Street parking on Zita Manor adjacent to this project is already full of home-owner vehicles. Having visitors or employees trying to park on Zita Manor will create a dissatisfaction to the Zita Manor residences and create a further traffic congestion problem.
- 2) Vehicle entrance to 211 Eastmoor Ave is from Zita Manor. When a vehicle tries to exit Zita Manor, traffic from Eastmoor avenue creates a difficulty, as vehicles are traveling faster than they should be and visibility is somewhat blocked turning left or right from Zita Manor onto Eastmoor Ave. This will all be further impacted with a larger two-story Medical Office with more people entering and exiting Zita Manor. **A stop light or stop sign will definitely be needed at Zita Manor and Eastmoor.**

Please consider the above in approving this project.

Sincerely,



Ron Borelli
Homeowner of 20 Zita Manor, Daly City, CA

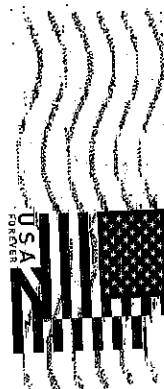




Ronald Borelli
1442 Crestwood Ct
San Mateo, CA 94403-3915

9-70000

SECRET



PLANNING Division
333 90th St.
Oak City, CA. 94015

SUBJECT: 211 ERSBROOK AVE EXPANSION

44-38861-1A
HAR-EXPAN